



**Heritage Advisory Panel Report  
For the Meeting of February 11, 2025**

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**To:** Heritage Advisory Panel **Date:** February 11, 2025  
**From:** Kristal Stevenot, Senior Heritage Planner  
**Subject:** **Heritage Alteration Permit with Variance(s) Application No. 00037 for 1306-1330 Broad Street / 615-625 Johnson Street / Parts of 622 and 630 Yates Street (Duck's Block)**

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**EXECUTIVE SUMMARY**

The Heritage Advisory Panel (HAP) is requested to review a Heritage Alteration Permit Application with Variances for 1306-1330 Broad Street / 615-625 Johnson Street / Parts of 622 and 630 Yates Street (Duck's Block) and provide advice to Council.

This application proposes an eight storey, 167 guestroom hotel addition, while retaining and restoring historic facades of the Duck's block buildings. The new application proposes adding an additional two storeys containing 32 guest rooms to their original application made in 2019, which was approved for a 135 room six storey hotel. Since the initial application's approval, the building has been deconstructed to only retain the facades originally approved for retention, which are currently braced and exposed to the elements.

Many city policies regarding heritage conservation, and balancing development are met with this proposal, however where it strays is in its proposal for eight storeys, as *the Old Town Design Guidelines* limit new buildings to five storeys.

Staff are looking for commentary from the Heritage Advisory Panel with regard to:

- height and massing
- step backs at upper storeys
- window fenestration shape, pattern, and finish
- materiality
- any other commentary, feedback or recommendations the Heritage Advisory Panel chooses to make.

The Options section of this report provides guidance on possible recommendations the Panel may make, or use as a basis to modify, in providing advice on this application.

## BACKGROUND

<b>Applicant:</b>	Mr. Byron Chard, Chard Development
<b>Architect:</b>	Mark Thompson and Aaron Petruic, MCMP Architects
<b>Development Permit Area:</b>	Development Permit Area 1 (Heritage Core)
<b>Heritage Status:</b>	Designated

### Description of Proposal

The Duck's Building is a large-scale Romanesque Revival style heritage-designated building in Development Permit Area 1 (Heritage Conservation): Core Historic designed by architect William Whiteway and constructed in 1892. The Duck's Building is named after its original owner Simeon Duck, a colonial businessman, MLA and eventually the Minister of Finance for British Columbia. The Duck's Building was an office building with tenants including a hotel and the Knights of Pythias organization. It was adjacent to the Duck's Carriage Factory at the corner of Broad Street, which Duck commissioned in 1874. Character-defining elements of the Duck's Building, as identified in the Statement of Significance, include:

- location, setback, and continuous commercial and retail use
- commercial form, scale and massing, as expressed in its three-storey cubic massing, symmetrical rectangular plan and flat roof
- design elements of the Romanesque Revival style
- masonry construction
- symmetrical fenestrations
- contiguous relationship of its rear wall with the 1874 rubble stone wall of the Duck's Carriage Factory to the north
- the architectural solidity of the structure seen in such elements as the rusticated masonry piers at street level, and the stone lintels
- bold Victorian detailing, such as arched windows on the uppermost storey, the corbelled cornice detailing, and the small triangular pediment above the cornice
- the mixed use of this building for a variety of commercial enterprises
- intact original storefront elements such as cast-iron columns.

The Duck's Carriage Factory Building at 615-625 Johnson Street was originally constructed in 1874 as a two-storey building for Simeon Duck's carriage and wagon making business. For more details on its history please see the attached Statement of Significance. The carriage factory building faced Johnson Street and the alley to the west became known as Duck's Alley. The building has been subject to numerous alterations over the years. As the only unaltered portion of the building, the rubble stone wall at the back of the building is its most significant heritage feature, and has been included in the Façade retention plan.

### Relevant History

In June 2019 applications for a Rezoning, Heritage Alteration Permit with Variances and Heritage Designation applications were submitted to rehabilitate the Duck's Block and build a 135-unit hotel with commercial spaces at the ground level. Prior to Council approval, the application was presented to the Heritage Advisory Panel, who recommended to Council at their August 13<sup>th</sup>, 2019,

meeting that the Heritage Alteration Permit with Variances be approved with consideration given to the following:

- *The Panel supports the general design and direction of the proposal but would be open to some design development to incorporate more contemporary and assertive architectural expression.*

The applicant made design revisions and in September 2021, the Rezoning, Heritage Alteration Permit with Variances and Heritage Designation applications were approved by Council, with the final adoption of the associated bylaws. Construction began in October 2023, with demolition, and the deconstruction of the buildings, as well as structurally restraining the façades. This works has been put on hold, with the retained historic facades exposed to the elements as we review this new application.

Changes to the approved plans:

The previous proposal that was approved in 2021, was to retain selected exterior walls of the Duck’s building and the rubble wall from the Duck’s Carriage Factory and to rehabilitate the property, by adding a six-storey building addition flanking both sides of the Duck’s Building, and a six-storey addition behind the façade of the Duck’s building, with the sixth floor stepped back from the street facing elevations on the entire development.

This new proposal includes the following major design components that differ from the 2021 approved submission:

- to add two additional levels to the new development, making the development up to 8 storeys (26.25 metres), going from 135 to 167 hotel rooms
- change the materiality of the facades of the new development
- change some of the fenestration of the new development.

The following data table compares the proposal with the existing Site-Specific Zone, and the Old Town District. An asterisk is used to identify where the proposal is less stringent than the existing Zone. Additionally, the key City policy that pertains to the area has been included in this table.

Zoning Criteria	Proposal	Previously Approved Proposal	Zone Standard
Site area (m <sup>2</sup> ) - minimum	1,889.00	1,889.00	n/a
Density (Floor Space Ratio) - maximum	4.86:1*	4.37:1	3.00:1 3.98:1 – site specific
Total floor area (m <sup>2</sup> ) - maximum	9,177.00	8,252	
Height (m) - maximum	26.25*	18.81	15.00
Storeys - maximum	8*	6	5 (OCP/ OTDG)
Site coverage (%) - maximum	87	87	n/a

Open site space (%) - minimum	10	13	n/a
<b>Setbacks</b> - minimum			
Front (Broad Street)	0	0	0
Rear (W)	0	0	0
Side (S)	0	0	0
Side (N)	0	0	0

**Sustainability Features**

Retention and rehabilitation of the Duck’s Building and the Duck’s Carriage Factory rubble wall contributes to the reduction of construction waste and the conservation of energy embodied by its original materials.

**Consistency with Policies and Design Guidelines**

Official Community Plan

The *Official Community Plan* (OCP) envisions buildings in the “Core Historic” designation up to five storeys with a density/floor space ratio (FSR) of 3:1. While the applicant is proposing an eight-storey building at a density of 4.86:1, policy 8.52 of the Placemaking chapter in the OCP states that density increases can be considered in exchange for conservation enhancements to heritage properties. Old Town also includes multiple buildings new and old that are six storeys tall or more. Examples include the Best Western Hotel (six storeys with one storey partial rooftop addition) directly across the street from the site, the Central Building on Government Street, and the Yarrow building at Broad Street (both sixth storeys), and the Belmont Building (eight storeys) at Government Street and Humboldt Street. There is also the Magnolia Hotel, which is a new building, at seven storeys, across from the Belmont building.

The proposal is consistent with the built form and place-character features envisioned for the Core Historic designation. The development is set close to the sidewalk with high site coverage, continuous commercial uses at grade, and wide sidewalks. Its design deliberately emulates historic buildings downtown, making it compatible with the character of the Old Town. It is consistent with other Placemaking policies that encourage the conservation of heritage property and new buildings that have a human scale and enhance local area distinctiveness.

Development Permit Area 1 (HC): Core Historic

The subject property is located within Development Permit Area 1 (Heritage Conservation): Core Historic. The proposed development is consistent with the following objectives of the Heritage Conservation Area:

- 4. (a) To conserve and enhance the heritage value, special character and significant historic buildings, features and characteristics of this area.



4. (b) To revitalize an area of commercial use through infill, building additions and heritage conservation including exterior alterations and interior improvements that could alter the exterior of the building.
4. (c) To enhance the area through infill, building additions and open spaces with a high quality of architecture, landscape and urban design that responds to its historic setting through sensitive and innovative interventions.

The proposal is consistent with these objectives because it would continue to preserve and rehabilitate the most significant features of the Duck's Buildings to ensure their long-term protection and while contributing to the streetscape of Victoria's Old Town district. The proposal also retains and celebrates a feature rubble stone wall within the rear lane exiting onto Johnson Street and defined by a public walkway.

The guidelines to be considered in assessing the proposal are the *Downtown Core Area Plan*; the *Old Town Design Guidelines* and the *Standards and Guidelines for the Conservation of Historic Places in Canada*.

#### Downtown Core Area Plan

The subject property is within the "Historic Commercial District" of the *Downtown Core Area Plan* (DCAP, 2011). The DCAP provides more specific direction regarding built form and design of the public realm. At a high level, some key policies that relate to this site are:

- retain and protect heritage property as a benefit to the public
- balance development and heritage conservation through sensitive infill and property additions
- integrate heritage conservation and urban design in public history initiatives
- balance new development and heritage conservation
- conserve heritage values and its character-defining elements
- support new development that conserves and enhances the form, character and features of heritage property and areas
- encourage owners of heritage properties to upgrade the seismic conditions of buildings and structures
- provide incentives for heritage conservation, such as tax incentives, parking variances and other zoning variances
- provide zoning that accommodates a diverse range of active commercial uses and multi-residential development.

The new application is still consistent with the objectives of the Old Town District. The proposal will increase the number of active commercial uses on Broad Street while rehabilitating and seismically upgrading the Duck's Building. The proposal respects the character of the district with durable, textured materials, traditional storefront rhythm, punched windows, and upper storey setbacks.

#### Old Town Design Guidelines (2006)

The new development is generally consistent with the *Old Town Design Guidelines*. The design is made up of three distinct parts:

- the eight-storey northern infill portion at the corner of Government Street and Broad Street
- the rehabilitated Duck's Building and stepped three-storey rooftop addition
- the seven-storey southern infill portion adjacent to the Legacy Gallery.

The infill portions of the hotel framing the Duck's Building each have a three-part composition consisting of a base, middle and top (guideline 5.3.1), which is a character-defining element of the Old Commercial District Sub-Area of Old Town. By aligning the parapets of the buildings (5.3.5), dividing the façade into a rhythm of vertical structural bays (5.23, 5.24) and maintaining similar window proportions and detailing (5.3.9), the southern and northern part of the development respectfully emulates the proportions and composition of the adjacent Duck's Building (5.1.2). Its height is modulated through a setback and material change at the sixth to eighth storeys (guideline 5.1.7). The use of a contrasting-coloured brick as the dominant material complies with section 5.5 of the guidelines, which states that high quality, textured and durable materials should be used for new buildings in Old Town. The corner of the building is highlighted with a chamfer which meets guidelines, 5.3.8.

However, there are some aspects of the proposal that may benefit from further refinement to align with the design guidelines. These are discussed in the Issues and Analysis section of this report.

#### Standards and Guidelines for the Conservation of Historic Places in Canada

The following are the relevant sections of the *Standards and Guidelines for the Conservation of Historic Places in Canada*:

##### General Standards for Preservation, Rehabilitation and Restoration

10. Repair rather than replace *character-defining elements*. Where character-defining elements are too severely deteriorated to repair, and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements. Where there is insufficient physical evidence, make the form, material and detailing of the new elements compatible with the character of the *historic place*.
11. Conserve the *heritage value* and *character-defining elements* when creating any new additions to an *historic place* or any related new construction. Make the new work physically and visually compatible with, subordinate to and distinguishable from the historic place.
12. Create any new additions or related new construction so that the essential form and integrity of an *historic place* will not be impaired if the new work is removed in the future.

The rooftop addition to the Duck's Building is compatible with, distinguishable from and subordinate to the historic building. It is set back from the Duck's façade, at the sixth storey and then again at the seventh and eighth storeys. The lighter palette of terra cotta tiles aims to complement the brick façade of the Duck's building while receding back. The window shadow boxes surrounded with terra cotta tiles also emulate the punched windows of the historic buildings in the area.

The conservation aspect of the proposal is unchanged from the initial report:

*The Duck's Block development proposes to conserve the Duck's Building's most significant and publicly visible character-defining elements, including its form, scale and massing and the relationship of the rear wall with the 1874 stone wall of the Duck's Carriage Factory. The development proposes to rehabilitate and enhance the façade's Romanesque Revival design elements, front and rear masonry façades and original fenestration.*

*Although the Duck's Building sidewalls are not completely retained, they were designed as blank party walls with the expectation that adjacent buildings would eventually obscure them from a public view. On the interior, the masonry sidewalls of the building would have been covered with an interior wall finish rather than decoratively exposed. In staff's opinion, there is little net impact to the public's perception of the intactness or wholeness of the building resulting from the sidewalls being removed.*

*The old Duck's Carriage Factory at the corner of Johnson Street and Broad Street has been significantly altered and in staff's opinion does not retain sufficient heritage character to justify conservation. The original second-storey bay windows were removed, the brickwork was covered in stucco and the original storefront assemblies replaced. The building's proportions were altered by dividing the second storey into two. The interventions needed to restore the building to its original appearance would amount to a reconstruction based on the incomplete information in partial historic photographs of the building. A small one-storey structure in the original Duck's Alley is proposed to be removed to expose the 1874 rubble wall of the Duck's Carriage Factory. The rubble wall would become a major feature of Duck's Alley and Johnson Street and would become visible to the public for the first time in decades.*

*The rear elevation of the Duck's Building and the rubble stone wall would retain their current pattern of openings and original windows with minimal intervention. The applicant is proposing three new openings in the ground floor of the Duck's Building rear elevation for servicing access.*

## **Regulatory Considerations**

The variance that has the most impact on the design and is relevant for further discussion is the addition of storeys therefore affecting the height.

## **ISSUES AND ANALYSIS**

The following section(s) identify and provide a brief analysis of the areas where the Panel is requested to provide commentary. The Panel's commentary on any other aspects of the proposal is also welcome.

Since the project is already underway, demolition completed, with the heritage facades retained, Staff will not be asking the Panel for their feedback on this aspect of the design, but to focus their commentary on the differences of the two applications, such as the following topics:

### **Height and Massing**

The original proposal met the intent of the Old Town Design Guidelines in that it maintained a contextual street wall, with the upper sixth level being stepped back, and unseen from many vantage

points. Now with the addition of two storeys, the new building addition goes beyond what is envisioned for Old Town and will be seen from various locations. The façade height of the new building exceeds the façade height of directly adjacent lower-scale heritage buildings such as the Legacy Gallery, by more than three storeys. The design guidelines (5.1.5) discourage this type of drastic change in scale along the street

There were also discussions around simplifying the massing of the addition to lessen its impact, and to better meet the intent of *Standard 11*. Staff request that the Panel comment on the additional height and massing of the addition, its impact on the historic streets, and any strategies to minimize the scale of the addition if necessary.

### **Step Backs at Upper Storeys**

In order to minimize the affects of the height, the applicant has stepped back the upper storeys. This is most evident along Broad Street, but also at all elevations. Staff have also encouraged a better transition of the 5 storeys above the two-storey Legacy Gallery, by stepping back the south and southeast side of the building. The Panel is asked to comment on this strategy for mitigating the impact of height and massing and any additional measures, such as additional step backs, to mitigate the effects of increased height.

### **Window Fenestration** (shape, pattern, and finish)

Part of the simplification discussion was regarding windows, and reducing the window types, and reducing curtain wall as much as possible especially now that the addition can be seen from the pedestrian experience. The punched window in the vertical format with a rhythm that complements the historic fabric has been presented in this design submission. The Panel's commentary on its success or need for further revision is requested.

### **Materiality**

Lastly, since the addition is more visible from the street, and to better meet the design guidelines for Old Town, high quality materials were insisted upon, and the applicant has removed all of the cement board panels used to differentiate the new from the old. Instead, a lighter palette of terra cotta tile has been introduced which will complement the brick masonry and rubble stone wall but be subdued in colour to hopefully diminish the massing of the new building and allow the historic building to stand out.

Staff welcome any other commentary, feedback or recommendations the Heritage Advisory Panel chooses to make.

## **OPTIONS**

The following are three potential options that the Panel may consider using or modifying in formulating a recommendation to Council:

### **Option One**

That the Heritage Advisory Panel recommends to Council that Heritage Alteration Permit with Variances No.00037 for 1306-1330 Broad Street / 615-625 Johnson Street / Parts of 622 and 630 Yates Street be approved as presented.

## **Option Two**

That the Heritage Advisory Panel recommend to Council that Heritage Alteration Permit with Variances application No.00037 for 1306-1330 Broad Street / 615-625 Johnson Street / Parts of 622 and 630 Yates Street be approved with the following changes:

- as listed by the Panel.

## **Option Three**

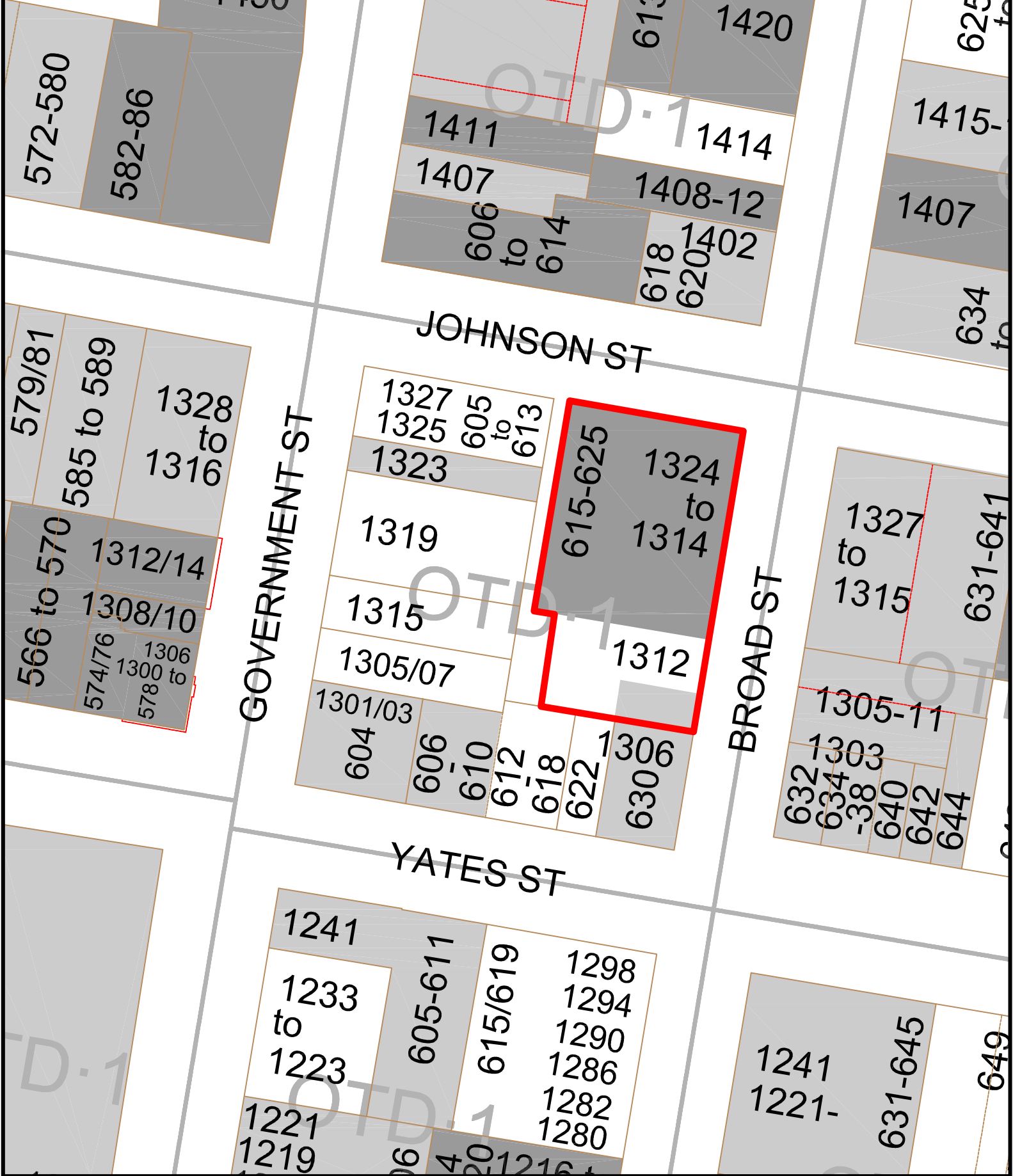
That the Heritage Advisory Panel recommend to Council that Heritage Alteration Permit with Variances application No.00037 for 1306-1330 Broad Street / 615-625 Johnson Street / Parts of 622 and 630 Yates Street does not sufficiently meet the applicable design guidelines and polices and should be declined (and that the key areas that should be revised include):

- as listed by the Panel, if there is further advice they would like to provide on how the Application could be improved.

## **ATTACHMENTS**

- Subject Map
- Aerial Map
- Plans date stamped February 4, 2025
- Applicants' letter dated January 27, 2025
- Statement of Significance

cc: Byron Chard and Anthony Quin, Chard Developments  
Mark Thompson and Aaron Petruic, MCMP Architects



N 1312 - 1324 Broad Street and 615 - 625 Johnson Street

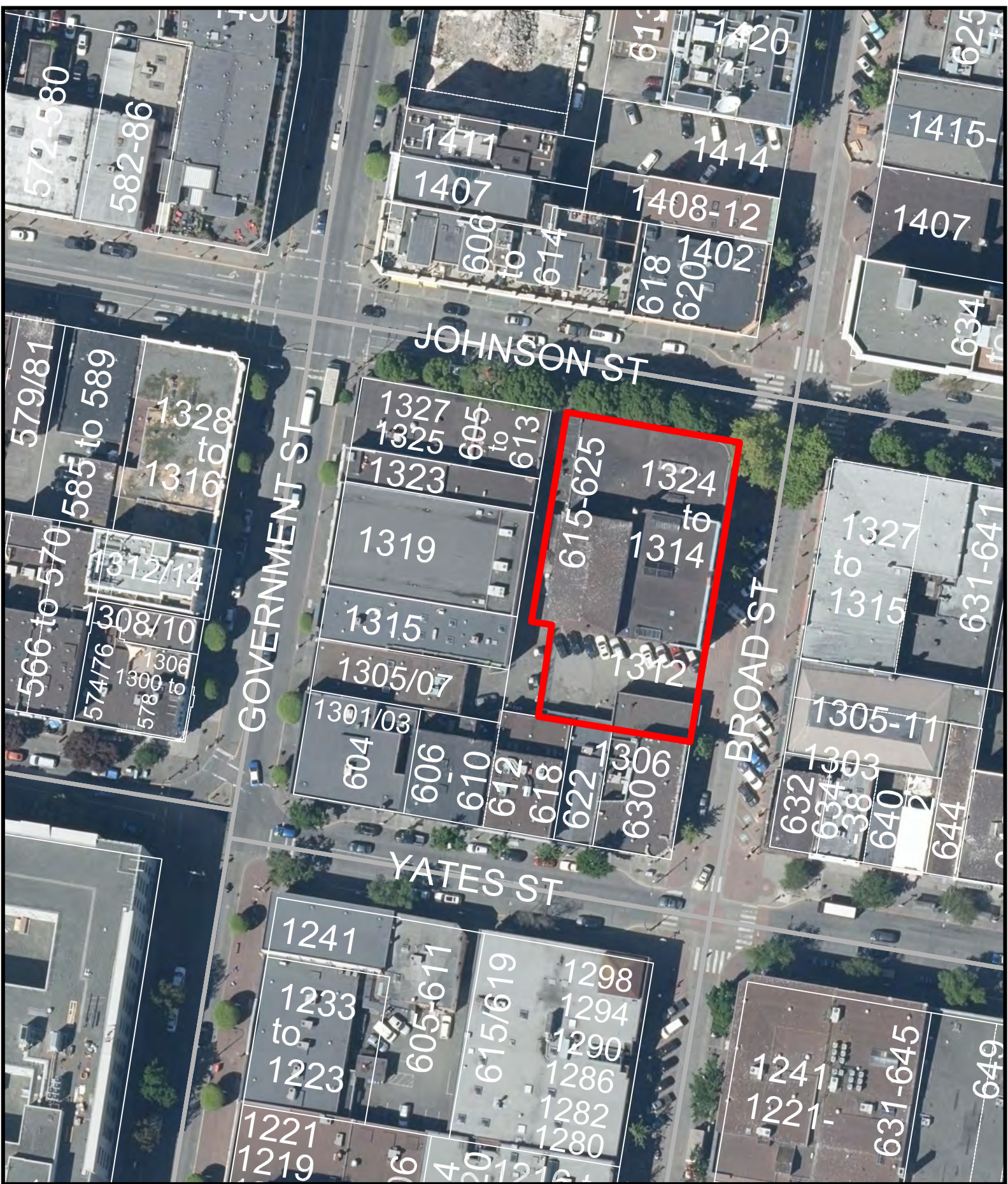
Heritage Alteration Permit w. Variance #00037



Designated
  Registered







N 1312 - 1324 Broad Street and 615 - 625 Johnson Street

Heritage Alteration Permit w. Variance #00037



Designated



Registered







# ARCHITECTURAL

## PROJECT DIRECTORY

**DEVELOPER**

**BROAD STREET LIMITED PARTNERSHIP**  
1400-510 BURRARD ST.  
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**DEVELOPMENT MANAGER**

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CC: CASSIDY TAYLOR

**ELECTRICAL**

**AES**  
3RD FLR - 1815 BLANDSHARD ST.  
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**LANDSCAPE**

**MURDOCH DE GREEFF INC.**  
200 - 524 CULDUTHEL RD.  
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**HERITAGE**

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VANCOUVER, B.C. V6C 1V5  
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**KNIGHTSTONE**  
1001 - 45 ST CLAIR AVE.  
TORONTO, ON. M4V 1K9  
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**INTERIOR DESIGN**

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CC: ROSS TUCK

**GEOTECHNICAL**

**RYZUK GEOTECHNICAL**  
28 CREASE AVE.  
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**SURVEYOR**

**EXPLORER LAND SURVEY**  
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CC: KENNETH NG

**ENVELOPE**

**RJC**  
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TEL: 604.386.7794  
  
CC: KEVIN PICKWICK

BROAD STREET

222021

Revisions	YYYY-MM-DD
1 ISSUED FOR HRA	2024-10-21
2 REISSUED FOR HRA	2025-01-24



BROAD STREET

1312-1324 BROAD STREET  
VICTORIA, B.C.

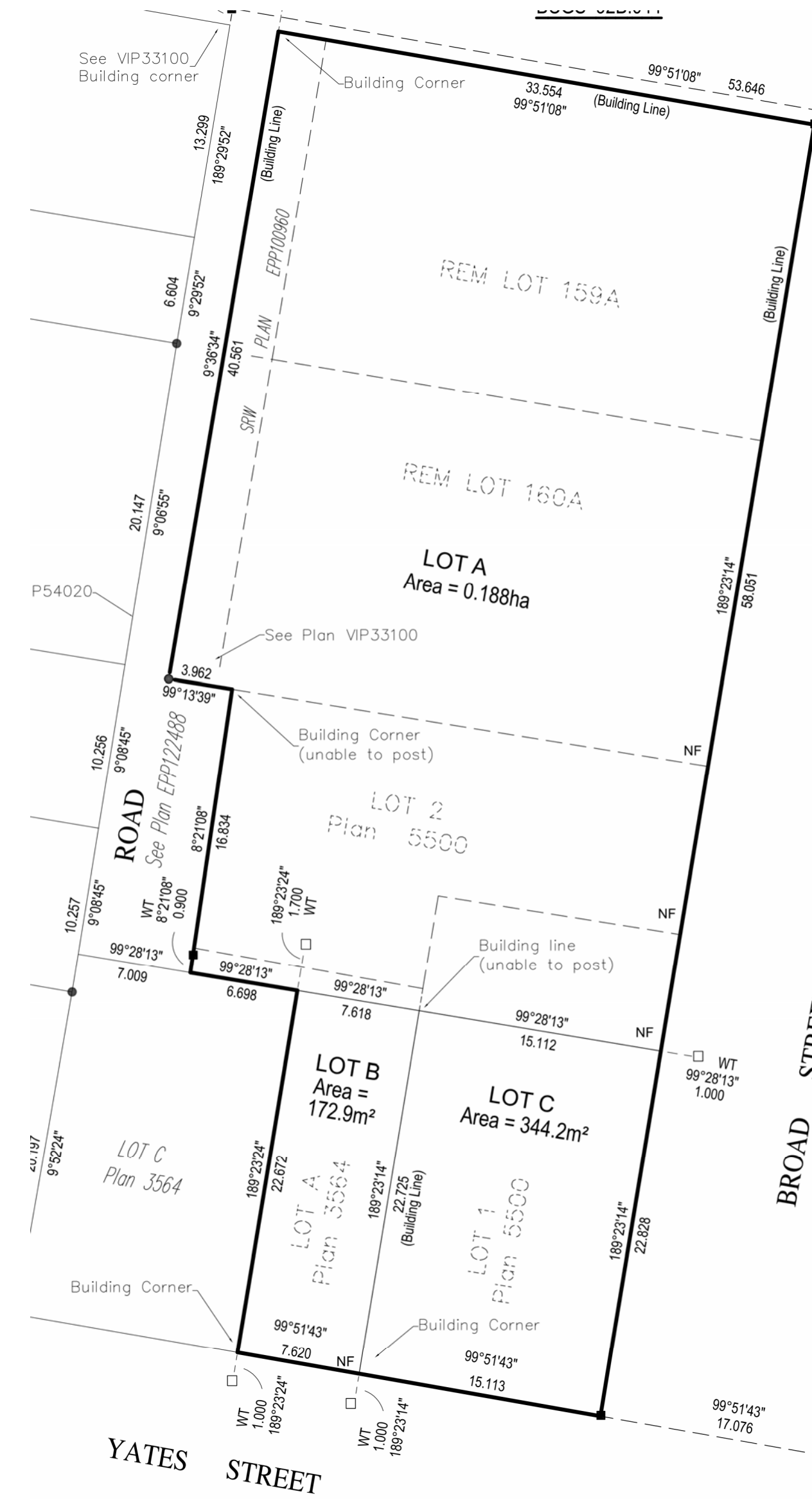
Project  
COVER SHEET

Drawing  
Scale  
Project 222021  
Sheet **A000**





LOCATION PLAN



CONTEXT SURVEY PLAN

BROAD STREET REDEVELOPMENT	
Civic Address	1312-1324 Broad Street, Victoria, BC
Legal Address	New Consolidated LOT A
Building Description	8 Storey Hotel Building
Uses	Hotel
Existing Zone	OTD-1 (2018)
Proposed Zone	Site Specific
Development Permit Area	DPA1 (HC) Historic Core
Final Site Area (sm)	1,889
Final Gross Floor Area (sm)	9,177
Final FAR	4.86
Duck's Building Current Floor Area (sm)	2,346
Ducks Building Retained Floor Area (sm)	2,346
Total Floor Area @ Ground (sm)	1,338
Commercial Floor Area: Restaurant and Café (sm)	494
<i>Restaurant and Café are part of the Hotel</i>	
Site Coverage	90%
Open Site Space	10%
Average Grade (m)	16.3
<i>Refer to calculations on A103</i>	
Height of Building (m)	26.25
<i>Refer to A311, A312</i>	
Roof Top Structures:	
Distance from Top of Roof (m)	1.4
<i>Refer to A210</i>	
Mechanical Screen (Roof)	2.14
Mechanical Room (Roof)	0.78
Elevator Overrun (Roof)	
Minimum From Property Line (m)	7.73
<i>Refer to A210</i>	
South	4.29
North	
Roof Coverage	29%
<i>Refer to A210</i>	
Parking Stalls on Site (REQ)(PROVIDED)	(42)(18)
EV Outlets (REQ)(PROVIDED)	(2)(2)
<i>Refer to A201 for locations</i>	
Drive Aisle Slope (%)	0%
<i>One level of parking accessed by car elevator - Refer to A201</i>	
Driveway Slope (%)	0%
<i>One level of parking accessed by car elevator - Refer to A201</i>	
Driveway /parking materials	Concrete (Solid)
Bicycle Parking Long Term (REQ)(PROVIDED)	(7)(27)
Bicycle Parking Short Term (REQ)(PROVIDED)	(4)(0)
<i>Placement of short term bike parking on public sidewalks will be explored</i>	
Number of Storeys	8
Building Setbacks:	
Front Yard (m)	0
Rear Yard (m)	0
Side Yard (m)	0
Side Yard (m)	0
Combined Side Yard (m)	0
Hotel Use Details:	
Total Number of Units	167
Unit Type	Hotel
Ground Oriented Units	25
Min Unit Floor Area (sm)	0
Total Hotel Floor Area (sm)	8,683

Sheet List		
Sheet Number	Sheet Name	Sheet Scale
A000	COVER SHEET	N/A
A001	PROJECT DATA	N/A
A101	SITE SURVEY	N/A
A102	EXISTING SITE PLAN	3/32" = 1'-0"
A103	SITE PLAN	3/32" = 1'-0"
A104	CIVIL PLAN	N/A
A201	LEVEL P1	1/8" = 1'-0"
A202	LEVEL 1	1/8" = 1'-0"
A203	LEVEL 2	1/8" = 1'-0"
A204	LEVEL 3	1/8" = 1'-0"
A205	LEVEL 4 (CROSSOVER FLOOR)	1/8" = 1'-0"
A206	LEVEL 5	1/8" = 1'-0"
A207	LEVEL 6	1/8" = 1'-0"
A208	LEVEL 7	1/8" = 1'-0"
A209	LEVEL 8	1/8" = 1'-0"
A210	ROOF PLAN	1/8" = 1'-0"
A301	BUILDING ELEVATION NORTH	1/8" = 1'-0"
A302	BUILDING ELEVATION SOUTH	1/8" = 1'-0"
A303	BUILDING ELEVATION EAST	1/8" = 1'-0"
A304	BUILDING ELEVATION WEST	1/8" = 1'-0"
A311	BUILDING SECTION	1/8" = 1'-0"
A312	BUILDING SECTION	1/8" = 1'-0"
A501	SITE CONTEXT	N/A
A502	SITE CONTEXT	N/A
A503	PERSPECTIVE STUDIES	N/A
A503a	PERSPECTIVE STUDIES - PREVIOUSLY APPROVED DP	N/A
A504	PERSPECTIVE STUDIES	N/A
A504a	PERSPECTIVE STUDIES - PREVIOUSLY APPROVED DP	N/A
A510	STONE WALL AND DETAILS	3/16" = 1'-0"

FLOOR AREA	Parking <sup>1</sup>		Roof Top Structures <sup>2</sup>		Commercial <sup>3</sup>		Hotel		Assembly <sup>4</sup>		Total	
	sf	sm	sf	sm	sf	sm	sf	sm	sf	sm	sf	sm
P1	15,210	1,413	0	0	0	0	0	0	0	0	0	0
Level 1	0	0	0	0	5,318	494	9,084	844	0	0	14,402	1,338
Level 2	0	0	0	0	0	0	4,900	455	0	0	4,900	455
Level 3	0	0	0	0	0	0	16,771	1,558	0	0	16,771	1,558
Level 4	0	0	0	0	0	0	16,233	1,508	0	0	16,233	1,508
Level 5	0	0	0	0	0	0	14,163	1,316	0	0	14,163	1,316
Level 6	0	0	0	0	0	0	12,832	1,192	0	0	12,832	1,192
Level 7	0	0	0	0	0	0	9,742	905	0	0	9,742	905
Level 8	0	0	0	0	0	0	9,742	905	0	0	9,742	905
Roof	0	0	0	0	0	0	0	0	0	0	0	0
<b>Total</b>	<b>15,210</b>	<b>1,413</b>	<b>1,557</b>	<b>145</b>	<b>5,318</b>	<b>494</b>	<b>93,467</b>	<b>8,683</b>	<b>0</b>	<b>0</b>	<b>98,785</b>	<b>9,177</b>

<sup>1</sup> Parking excluded from overall area calculation

<sup>2</sup> Roof top structures excluded from overall area calculation

<sup>3</sup> Restaurant and Café are part of the hotel and contribute to hotel area for overall area calculations

<sup>4</sup> Assembly designation is for hotel suites to be used as a rotating gallery for calculation of short term bicycle parking, but contribute to hotel area for overall calculations

PARKING					
Type of Building or Use	Units / Floor Area	Parking Required	Total	Visitor Parking Required	Total
Hotel <sup>1</sup>	167	167 x 0.25 =	41.75	n/a	0
<sup>1</sup> 0.25 spaces per room					

BICYCLE PARKING					
Type of Building or Use	Units / Floor Area	Long Term Bicycle - Required	Total	Short Term Bicycle - Required	Total
Hotel <sup>1,2</sup>	167	167 / 25 =	6.68	167 / 40 =	4.175
Assembly <sup>3</sup>	0	n/a	0	0 / 2152sf =	0
<b>Total</b>			<b>7</b>		<b>4</b>

<sup>1</sup> 1 long term space per 25 rooms and 1 short term space per 40 rooms

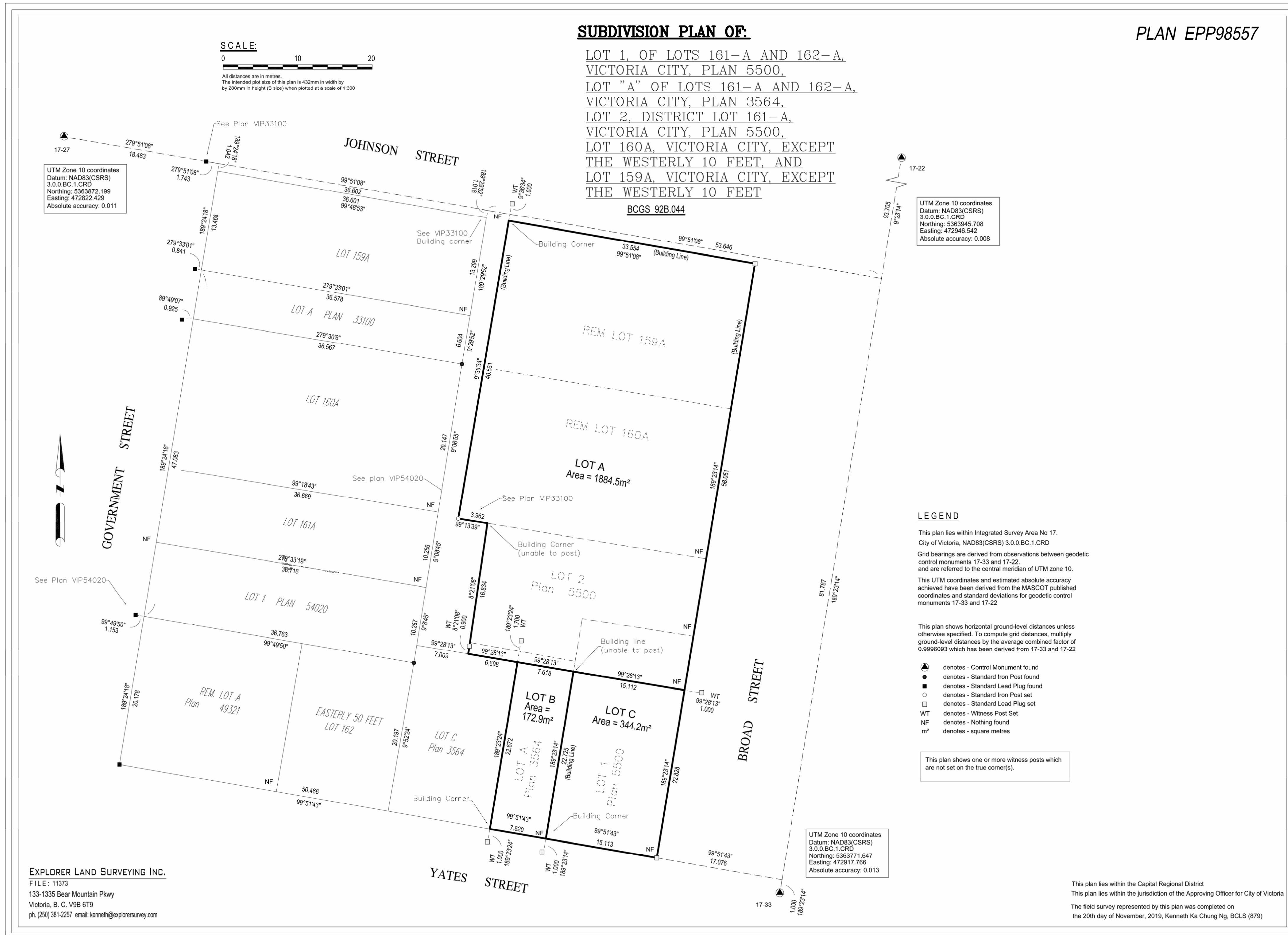
<sup>2</sup> Per Zoning Bylaw 2018 'hotel' use may include accessory amenities such as 'restaurant' so for the purposes of calculating bicycle parking the café and restaurant space are considered under 'hotel' use.

<sup>3</sup> 1 space per 200m2 (2152 sf) of floor area (or part thereof)





Revisions	YYYYMMDD
1 ISSUED FOR HRA	2024-10-21
2 REISSUED FOR HRA	2025-01-24



PLAN EPP98557

**SUBDIVISION PLAN OF:**  
LOT 1, OF LOTS 161-A AND 162-A,  
VICTORIA CITY, PLAN 5500,  
LOT "A" OF LOTS 161-A AND 162-A,  
VICTORIA CITY, PLAN 3564,  
LOT 2, DISTRICT LOT 161-A,  
VICTORIA CITY, PLAN 5500,  
LOT 160A, VICTORIA CITY, EXCEPT  
THE WESTERLY 10 FEET, AND  
LOT 159A, VICTORIA CITY, EXCEPT  
THE WESTERLY 10 FEET  
BCGS 92B.044

BROAD STREET

1312-1324 BROAD STREET  
VICTORIA, B.C.

Project  
SITE SURVEY

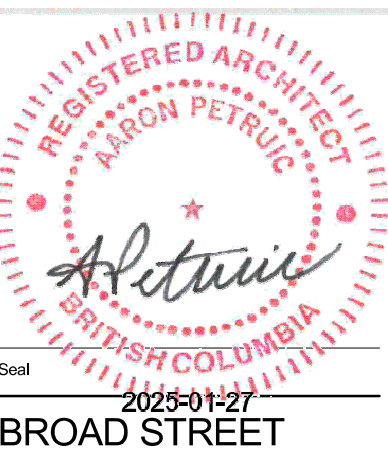
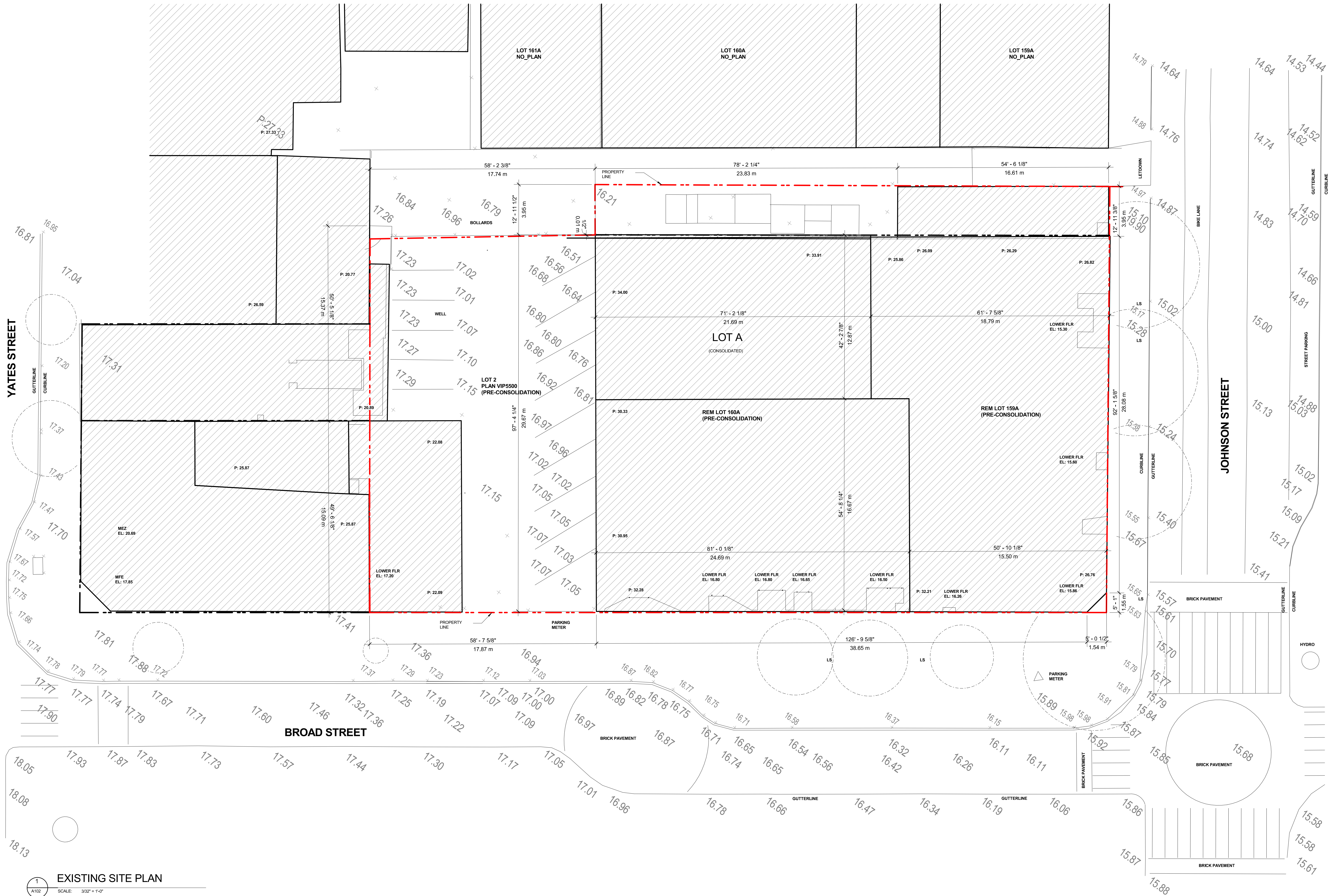
Drawing

Scale

Project 222021

Sheet





BROAD STREET

1312-1324 BROAD STREET  
VICTORIA, B.C.

Project  
EXISTING SITE PLAN

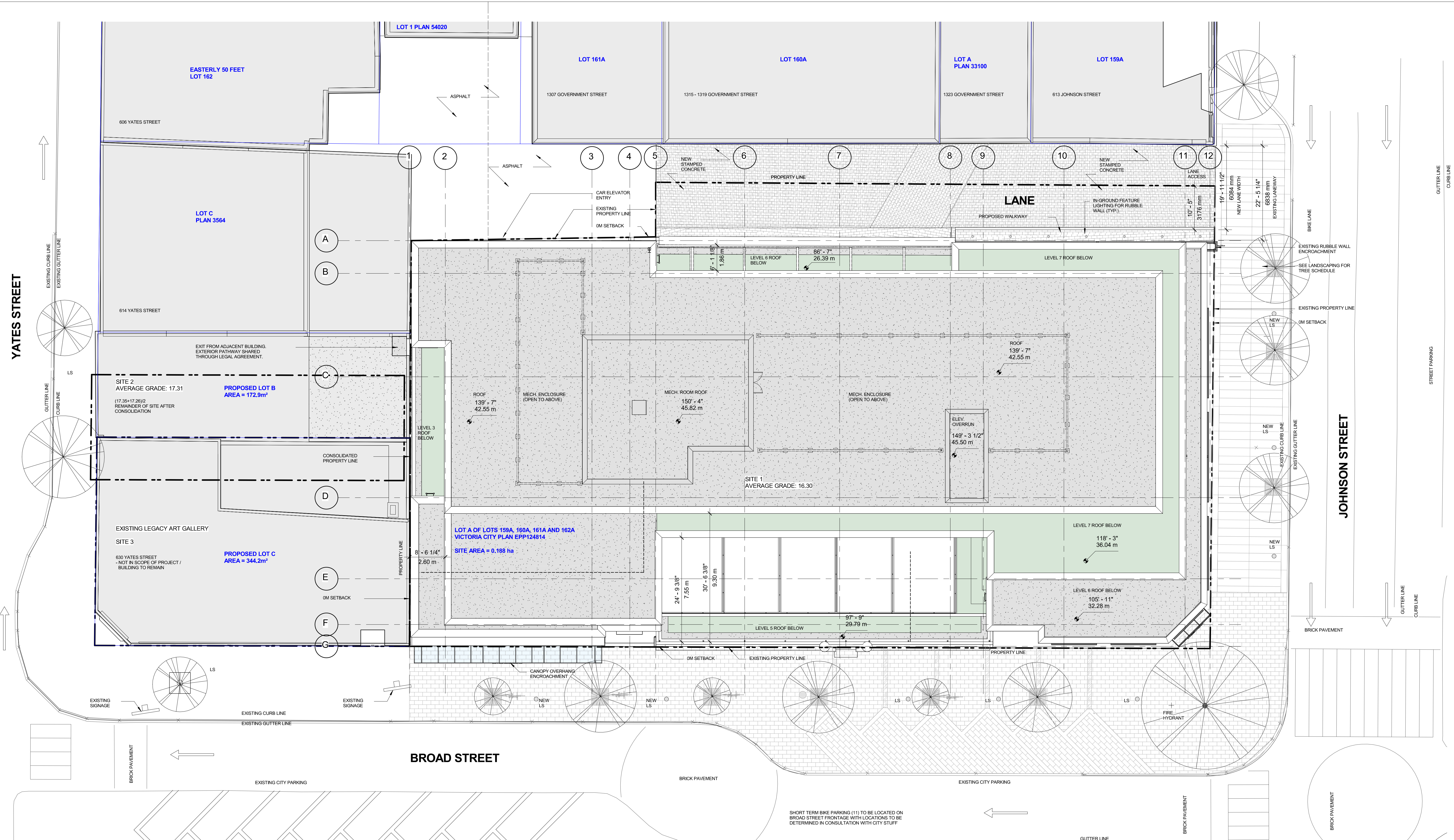
Drawing

Scale 3/32" = 1'-0"

Project 222021

Sheet





1 SITE PLAN  
SCALE: 3/32" = 1'-0"

Average Grade						
The Duck's Building Redevelopment						
Point	Point Value	Grade Points	Average of Points	Distance		
A	17.33	A+B	16.60	57.70	957.53	
B	15.86	B+C	15.49	29.30	453.86	
C	15.12	C+D	16.01	57.70	923.78	
D	16.90	D+A	17.12	29.30	501.47	
Average Grade	16.30			Perimeter	Sum	
				174.00	2836.64	
Existing Duck's Building						
Point	Point Value	Grade Points	Average of Points	Distance		
A	17.02	A+B	16.44	40.31	662.70	
B	15.86	B+C	15.49	29.30	453.86	
C	15.12	C+D	15.74	40.31	634.48	
D	16.36	D+A	16.69	29.30	489.02	
Average Grade	16.09			Perimeter	Sum	
				139.22	2240.05	



1312-1324 BROAD STREET  
VICTORIA, B.C.

SITE PLAN

Drawing

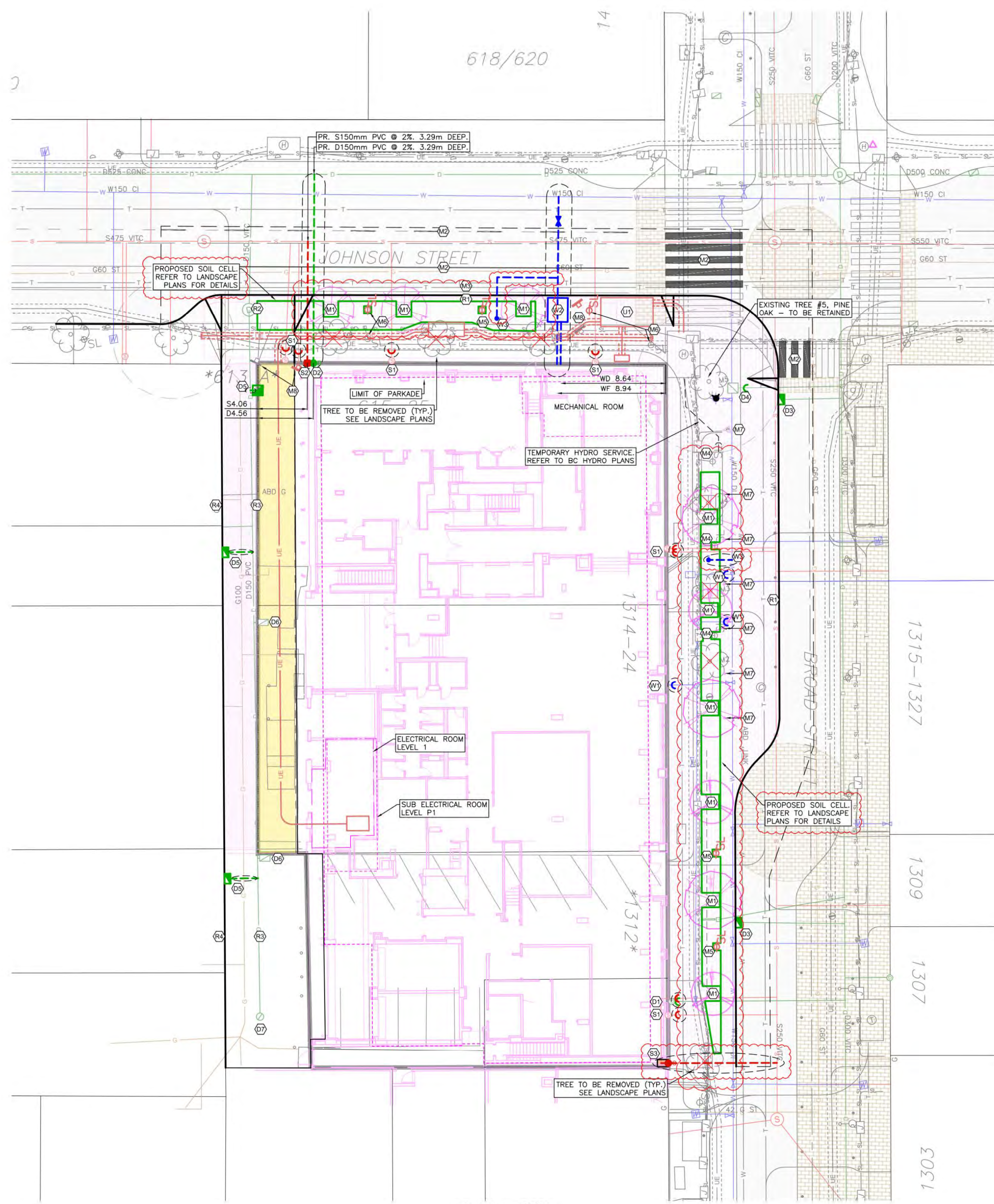
Scale 3/32" = 1'-0"

Project 222021

Sheet A103

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PLAN - SITE  
 H 1:200



SHEET NOTES:

- DRAIN**
- (01) CONTRACTOR TO CAP AND ABANDON EXISTING DRAIN SERVICES AT DEVELOPERS EXPENSE.
  - (02) CITY OF VICTORIA CREWS TO INSTALL A 150mm DRAIN SERVICE TO PROPERTY LINE COMPLETE WITH INSPECTION CHAMBER AT DEVELOPERS EXPENSE.
  - (03) CONTRACTOR TO RESET EXISTING CATCHBASINS AS REQUIRED AS PER CITY OF VICTORIA SD 511a.
  - (04) CONTRACTOR TO REMOVE EXISTING AREA DRAIN AND CAP LEAD AS REQUIRED.
  - (05) CITY OF VICTORIA CREWS TO INSTALL CATCHBASIN LEAD. CONTRACTOR TO INSTALL PROPOSED TOP-INLET CATCH BASIN AS PER CITY OF VICTORIA SD 11a.
  - (06) CONTRACTOR TO REMOVE EXISTING CATCH BASIN AND CAP LEAD AS REQUIRED.
  - (07) CONTRACTOR TO REMOVE AND REPLACE EXISTING DRAIN VENT AS REQUIRED.
- SEWER**
- (S1) CONTRACTOR TO CAP AND ABANDON EXISTING SANITARY SERVICES AT DEVELOPERS EXPENSE.
  - (S2) CITY OF VICTORIA CREWS TO INSTALL 150mm SANITARY SERVICE TO PROPERTY LINE COMPLETE WITH INSPECTION CHAMBER AT DEVELOPERS EXPENSE.
  - (S3) CITY OF VICTORIA CREWS TO INSTALL PROPOSED 100mm SANITARY SERVICE COMPLETE WITH INSPECTION CHAMBER TO 630 YATES STREET AS REQUIRED. SRW REQUIRED FOR SERVICE AND MAINTENANCE.
- WATER**
- (W1) CITY OF VICTORIA CREWS TO CAP AND ABANDON EXISTING WATER SERVICES AT DEVELOPERS EXPENSE.
  - (W2) CITY OF VICTORIA CREWS TO INSTALL 100mm DOMESTIC WATER AND 150mm FIRE SERVICE COMPLETE WITH DCAV AND VALVE AS PER CITY OF VICTORIA SD W21 AT DEVELOPERS EXPENSE. DESIGN TO BE CONFIRMED AT BUILDING PERMIT STAGE.
  - (W3) CITY OF VICTORIA CREWS TO INSTALL PROPOSED IRRIGATION WATER SERVICE AND METER. DETAILS TO BE CONFIRMED AT BUILDING PERMIT STAGE.
- ROAD**
- (R1) CONTRACTOR TO REINSTATE FRONTAGE INCLUDING GUTTER, SIDEWALK, BOULEVARD, BRICK WORK AND PARKING TO CENTERLINE AS REQUIRED. SEE LANDSCAPE PLANS FOR PAVEMENT PATTERN AND CONCRETE DETAILS.
  - (R2) CONTRACTOR TO INSTALL 6.0m DRIVEWAY COMPLETE WITH 1.5m FLARES AS PER CITY OF VICTORIA SD C7a HIGHWAY ACCESS BYLAW. DRIVEWAY TO BE 3.0% MAX SLOPE FOR FIRST 6.0m.
  - (R3) CONTRACTOR TO RECONSTRUCT AND REGRADE 6.0m LANE. SEE LANDSCAPE AND ARCHITECT PLANS FOR DETAILS.
  - (R4) CONTRACTOR TO CONSTRUCT ASPHALT WATER-CONTROL CURB AS REQUIRED.
- UTILITIES**
- (U1) PROPOSED VISTA SWITCH AND HYDRO SERVICING LOCATION. REFER TO BC HYDRO PLANS FOR DETAILS.
- MISCELLANEOUS**
- (M1) PROPOSED BOULEVARD TREES COMPLETE WITH GRATES AS PER CITY OF VICTORIA SPECIFICATIONS. SEE LANDSCAPE PLANS FOR DETAILS.
  - (M2) CONTRACTOR TO REINSTATE CROSSWALK AND LINE PAINT AS REQUIRED. PAINT TO BE THERMOPLASTIC AS PER TAC SPECIFICATIONS. CONTRACTOR TO CONFIRM FINAL PAINT LOCATIONS AND SPECIFICATIONS WITH THE CITY OF VICTORIA AT TIME OF CONSTRUCTION.
  - (M3) CONTRACTOR TO REINSTATE WHITE AND YELLOW CURB PAINTING ON JOHNSON STREET REQUIRED.
  - (M4) EXISTING STREETLIGHT TO BE RETAINED. SEE LANDSCAPE AND ELECTRICAL PLANS FOR DETAILS.
  - (M5) CONTRACTOR TO INSTALL NEW STREETLIGHTS AS PER CITY OF VICTORIA STANDARDS. SEE LANDSCAPE AND ELECTRICAL PLANS FOR DETAILS.
  - (M6) CONTRACTOR TO RELOCATE EXISTING STREETLIGHT AS REQUIRED. SEE LANDSCAPE AND ELECTRICAL PLANS FOR DETAILS.
  - (M7) CONTRACTOR TO REMOVE AND REPLACE EXISTING PARKING POSTS AND METER KIOSK ON BROAD STREET TO THE SATISFACTION OF THE CITY OF VICTORIA.
  - (M8) CONTRACTOR TO RE/RE SIGNAGE ON JOHNSON AND BROAD STREET FRONTAGE AS REQUIRED. CONTRACTOR TO COORDINATE WITH THE CITY OF VICTORIA.

IRRIGATION NOTES:

- ALL IRRIGATION WORK, INCLUDING REQUIRED INSPECTIONS, SHALL FOLLOW THE SUPPLEMENTARY SPECIFICATIONS FOR STREET TREES AND IRRIGATION, SCHEDULE C TO THE VICTORIA SUBDIVISION AND DEVELOPMENT SERVICING BYLAW 12-042, AND COMPLY WITH THE IRRIGATION INDUSTRY ASSOCIATION OF BC STANDARDS.
- IRRIGATION DESIGN SHALL BE SUBMITTED FOR REVIEW AND APPROVAL TO CITY OF VICTORIA PARKS NO LESS THAN 30 DAYS PRIOR TO SCHEDULED INSTALLATION.
- CONTACT PARKS AT tsherbo@victoria.ca OR 250-361-0600 WITH AT LEAST 48 HOURS (2 BUSINESS DAYS) NOTICE TO ARRANGE FOR IRRIGATION INSPECTIONS.
- REQUIRED PARKS INSPECTIONS FOR IRRIGATION:
  - a) IRRIGATION SLEEVING PRIOR TO BACKFILL.
  - b) OPEN TRENCH MAINLINE AND LATERAL LINES.
  - c) PRESSURE TEST.
  - d) IRRIGATION SYSTEM, CONTROLLER, COVERAGE TEST, BACKFLOW PREVENTER ASSEMBLY TEST REPORT REQUIRED, AND BACKFLOW ASSEMBLY (INCLUDING INSPECTION TAG AND TESTING REPORT).

CONCRETE ROAD BASE NOTE:

- ALL WORKS WITHIN ROADWAY WITH CONCRETE ROAD BASE ARE SUBJECT TO CITY OF VICTORIA CONCRETE ROAD BASE RESTORATION AS PER CITY OF VICTORIA DETAIL SD 65b.

SOIL NOTE:

4.4. DUE TO RECENT CHANGES TO PROVINCIAL LEGISLATION RELATED TO SOIL RELOCATION AND SOIL RECEIVING SITES THAT CAME INTO EFFECT ON MARCH 1, 2023, THE APPLICANT IS REQUIRED TO RETAIN THE SERVICES OF A QUALIFIED PROFESSIONAL FOR ANY PROJECT REQUIRING EXCAVATION AND DISPOSAL OF ANY VOLUME OF SOIL FOR THE PURPOSE OF CHARACTERIZING THE SOIL AND DETERMINING A SUITABLE DISPOSAL FACILITY. THE SOIL ASSESSMENT MUST INCLUDE SAMPLES FROM PROPOSED SERVICE TRENCH LOCATIONS, WITH A REPORT TO BE PROVIDED TO THE CITY. THIS IS REQUIRED TO ALLOW THE CITY TO PROVIDE THE MOST ACCURATE ESTIMATE AND TO INSTALL THE NEW SERVICES MOST EFFICIENTLY. ADDITIONALLY, SOIL FROM A PROPERTY WITH A CURRENT OR FORMER BC CSR SCHEDULE 2 ACTIVITY MUST COMPLY WITH PROVINCIAL SOIL RELOCATION REQUIREMENTS, INCLUDING THE ONE WEEK NOTIFICATION PERIOD PRIOR TO SOIL RELOCATION.



KEY PLAN  
 NTS

LEGAL DESCRIPTION: LOT A OF PLAN 3564, LOT 1 AND LOT 2 OF PLAN 5500, REM LOT 159A AND REM LOT 160A, VICTORIA DISTRICT.  
 BENCHMARK: MONUMENT 17-33 ELEV. 17.88m



**JEA J E ANDERSON & ASSOCIATES**  
 SURVEYORS - ENGINEERS  
 VICTORIA NANAIMO PARKSVILLE CAMPBELL RIVER  
 PHONE: 250-727-2214 info@jeanderson.com

CHARD DEVELOPMENTS  
 1324 BROAD STREET  
 SITE SERVICING PLAN

Scale: 1:200  
 Scale: N/A  
 Sheet: 1 of 1  
 Eng. Project No. 33915  
 Drafted by: JA

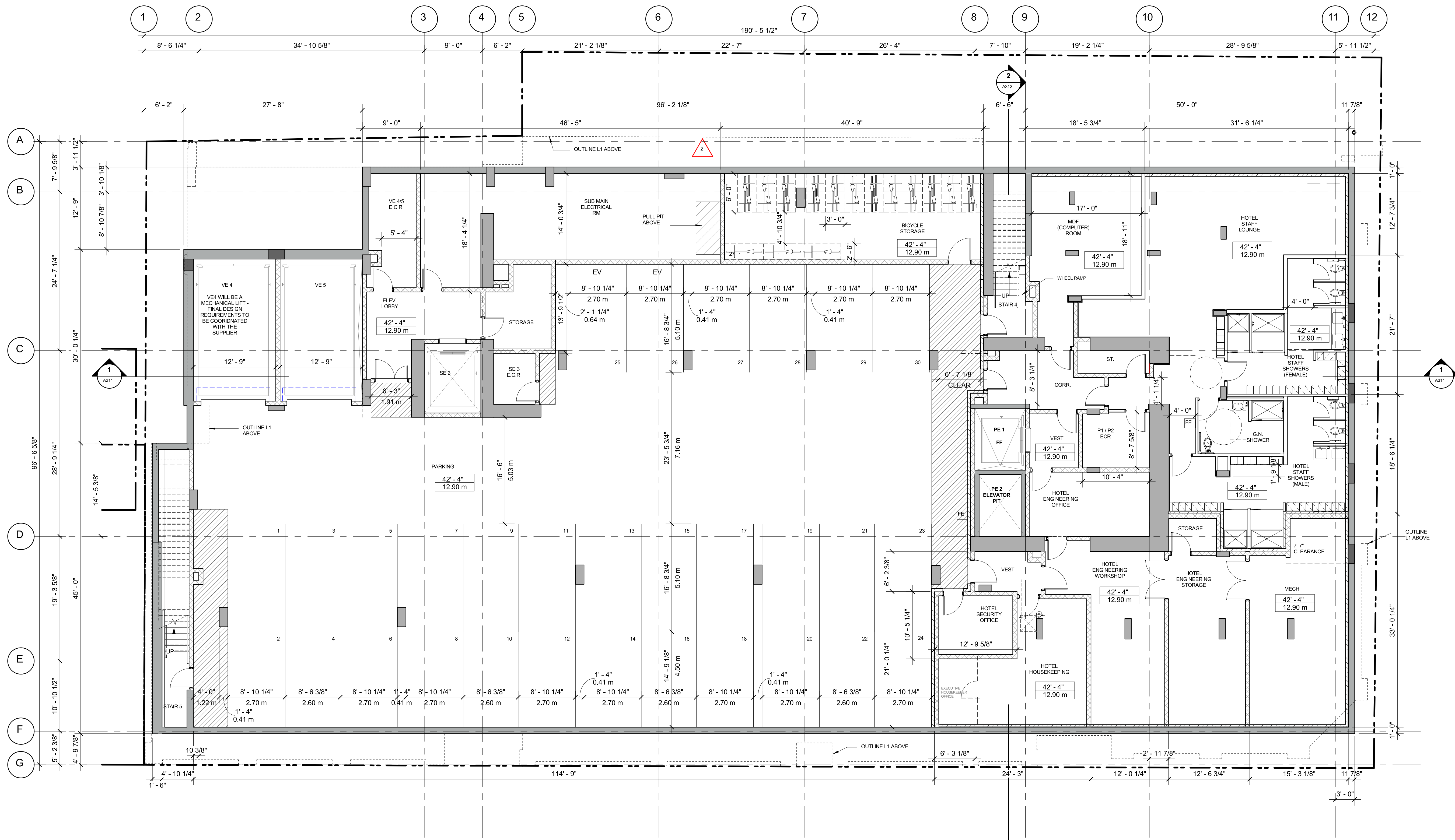
BROAD STREET

1312-1324 BROAD STREET  
 VICTORIA, B.C.  
 Project  
 CIVIL PLAN

Drawing  
 Scale  
 Project 222021

ISSUED FOR DEVELOPMENT PERMIT





1 LEVEL P1  
SCALE: 1/8" = 1'-0"

Car Parking Stalls			
Level	Regular Stalls	Tandem*	Total
LEVEL P1	18)	12)	30)

Bike Stalls			
Level	Horizontal Stalls	Vertical Stalls	Total
LEVEL P1	15)	0)	15)

\* TANDEM STALLS ARE NOT BYLAW COMPLIANT AND DO NOT COUNT TOWARDS THE REQUIRED BYLAW REQUIRED STALLS.


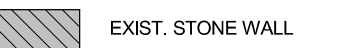




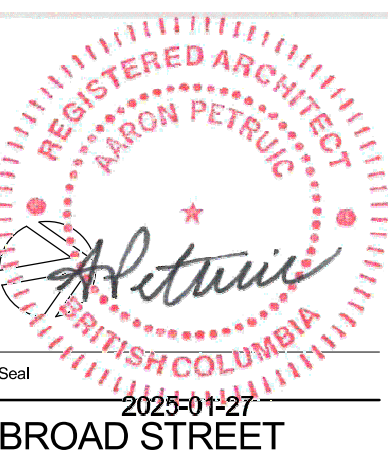
BROAD STREET

1312-1324 BROAD STREET  
VICTORIA, B.C.  
Project  
LEVEL P1

Drawing  
Scale 1/8" = 1'-0"  
Project 222021



- WALL MATERIALS:**
-  EXIST. BRICK WALL
  -  EXIST. STONE WALL
  -  EXIST. RUBBLE WALL
  -  NEW CONCRETE STRUCTURE



BROAD STREET

1312-1324 BROAD STREET  
VICTORIA, B.C.

Project

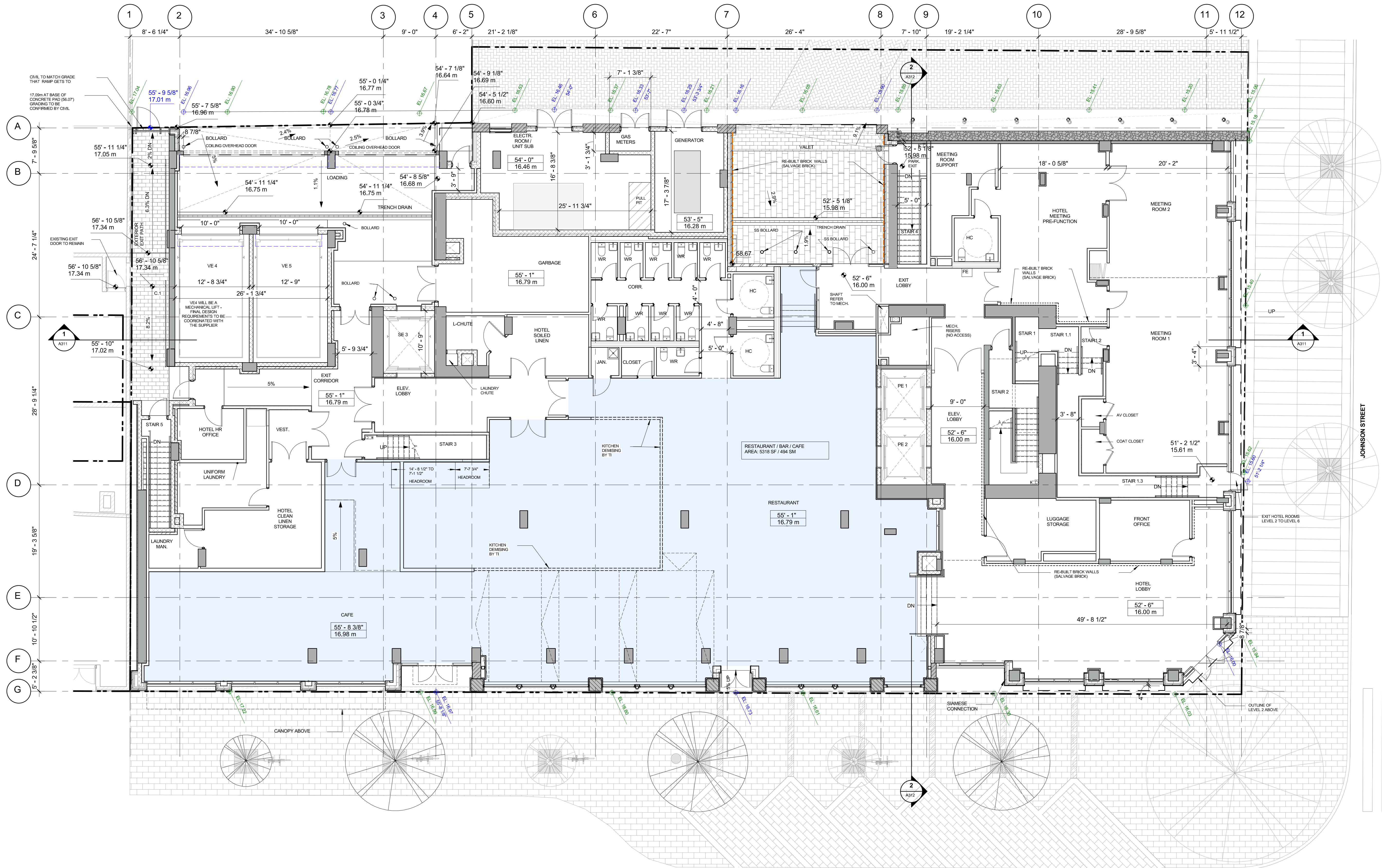
LEVEL 1

Drawing

Scale 1/8" = 1'-0"

Project 222021

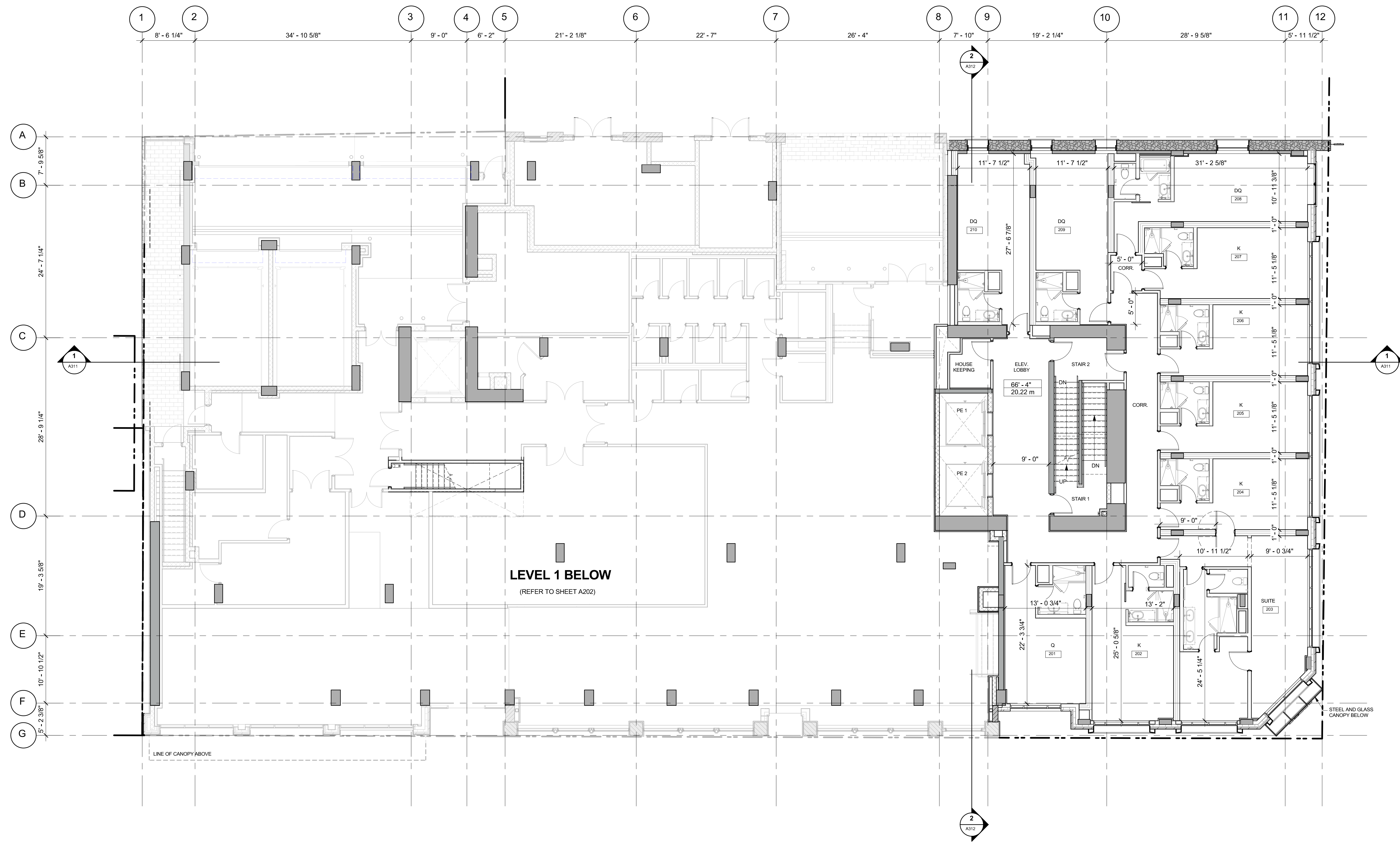
Sheet **A202**



**1** LEVEL 1  
SCALE: 1/8" = 1'-0"

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**LEVEL 2**  
SCALE: 1/8" = 1'-0"

ROOM COUNT SCHEDULE					
LEVEL	Q	DOUBLE QUEEN	KING	SUITE	TOTAL
LEVEL 2	1	3	5	1	10
LEVEL 3	1	14	16	1	32
LEVEL 4	1	9	21	1	32
LEVEL 5	1	9	20	1	31
LEVEL 6	0	7	20	1	28
LEVEL 7	0	1	12	4	17
LEVEL 8	0	1	12	4	17
ROOF PLAN	0	0	0	0	0
<b>TOTAL</b>	<b>4</b>	<b>44</b>	<b>106</b>	<b>13</b>	<b>167</b>

- WALL MATERIALS:**
- EXIST. BRICK WALL
  - EXIST. STONE WALL
  - EXIST. RUBBLE WALL
  - NEW CONCRETE STRUCTURE



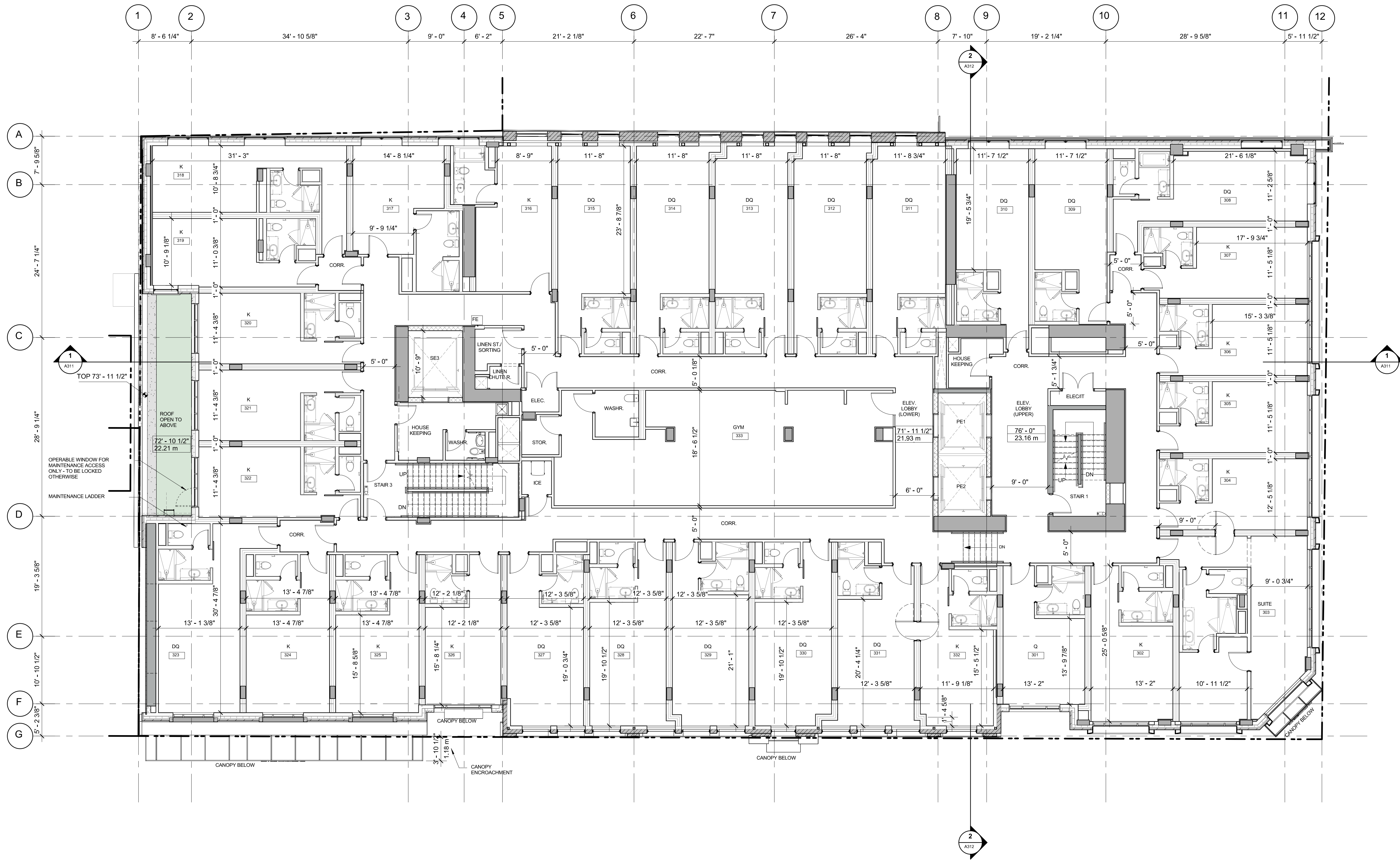
BROAD STREET

1312-1324 BROAD STREET  
VICTORIA, B.C.  
Project  
LEVEL 2

Drawing  
Scale: 1/8" = 1'-0"  
Project: 222021

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**1** LEVEL 3  
SCALE: 1/8" = 1'-0"

- WALL MATERIALS:**
- EXIST. BRICK WALL
  - EXIST. STONE WALL
  - EXIST. RUBBLE WALL
  - NEW CONCRETE STRUCTURE



BROAD STREET

ROOM COUNT SCHEDULE					
LEVEL	Q	DOUBLE QUEEN	KING	SUITE	TOTAL
LEVEL 2	1	3	5	1	10
LEVEL 3	1	14	16	1	32
LEVEL 4	1	9	21	1	32
LEVEL 5	1	9	20	1	31
LEVEL 6	0	7	20	1	28
LEVEL 7	0	1	12	4	17
LEVEL 8	0	1	12	4	17
ROOF PLAN	0	0	0	0	0
<b>TOTAL</b>	<b>4</b>	<b>44</b>	<b>106</b>	<b>13</b>	<b>167</b>

1312-1324 BROAD STREET  
VICTORIA, B.C.

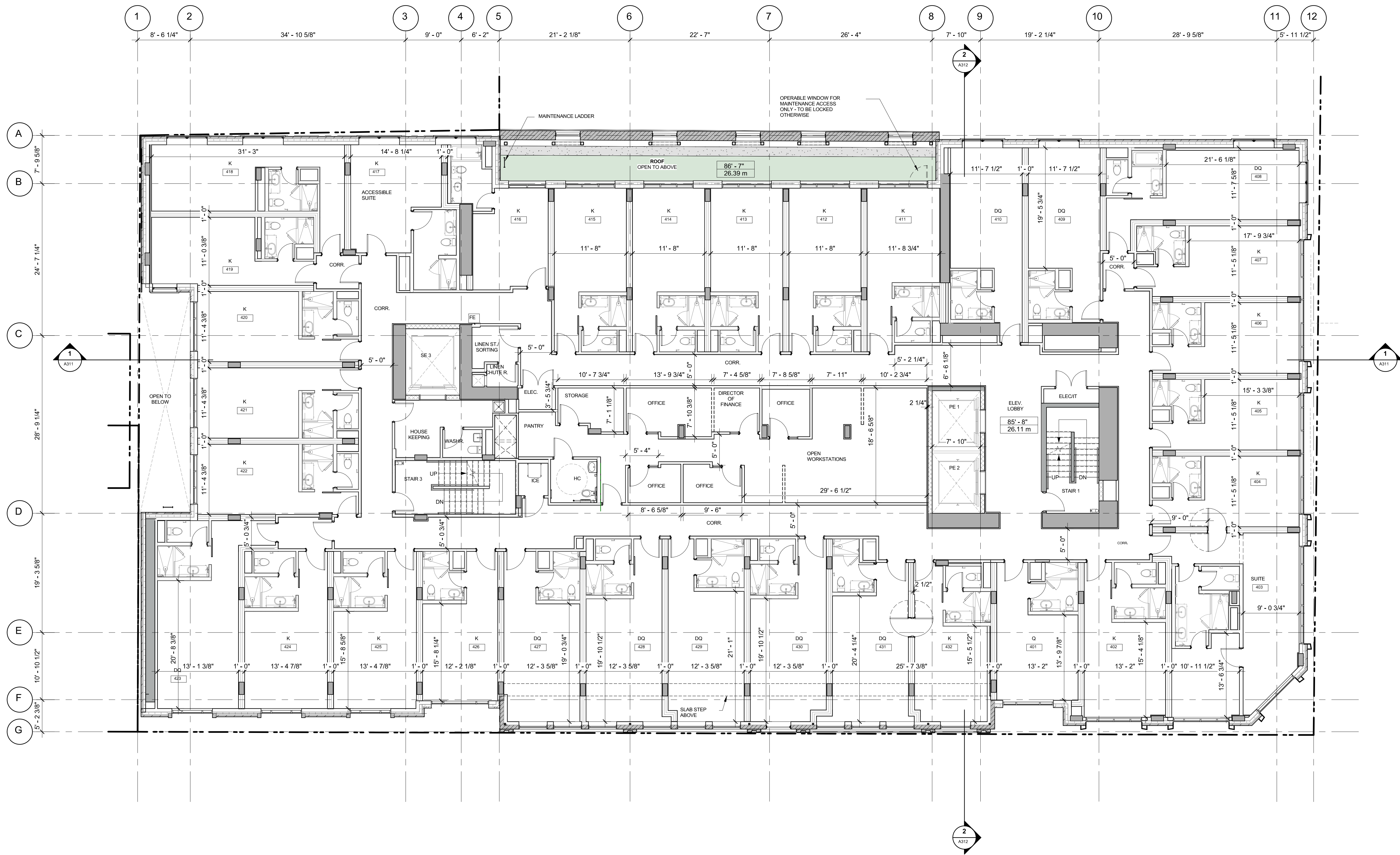
Project  
LEVEL 3

Drawing

Scale 1/8" = 1'-0"

Project 222021

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1  
A301  
LEVEL 4  
SCALE: 1/8" = 1'-0"

- WALL MATERIALS:**
- EXIST. BRICK WALL
  - EXIST. STONE WALL
  - EXIST. RUBBLE WALL
  - NEW CONCRETE STRUCTURE



BROAD STREET

ROOM COUNT SCHEDULE					
LEVEL	Q	DOUBLE QUEEN	KING	SUITE	TOTAL
LEVEL 2	1	3	5	1	10
LEVEL 3	1	14	16	1	32
LEVEL 4	1	9	21	1	32
LEVEL 5	1	9	20	1	31
LEVEL 6	0	7	20	1	28
LEVEL 7	0	1	12	4	17
LEVEL 8	0	1	12	4	17
ROOF PLAN	0	0	0	0	0
<b>TOTAL</b>	<b>4</b>	<b>44</b>	<b>106</b>	<b>13</b>	<b>167</b>

1312-1324 BROAD STREET  
VICTORIA, B.C.

Project

LEVEL 4  
(CROSSOVER  
FLOOR)

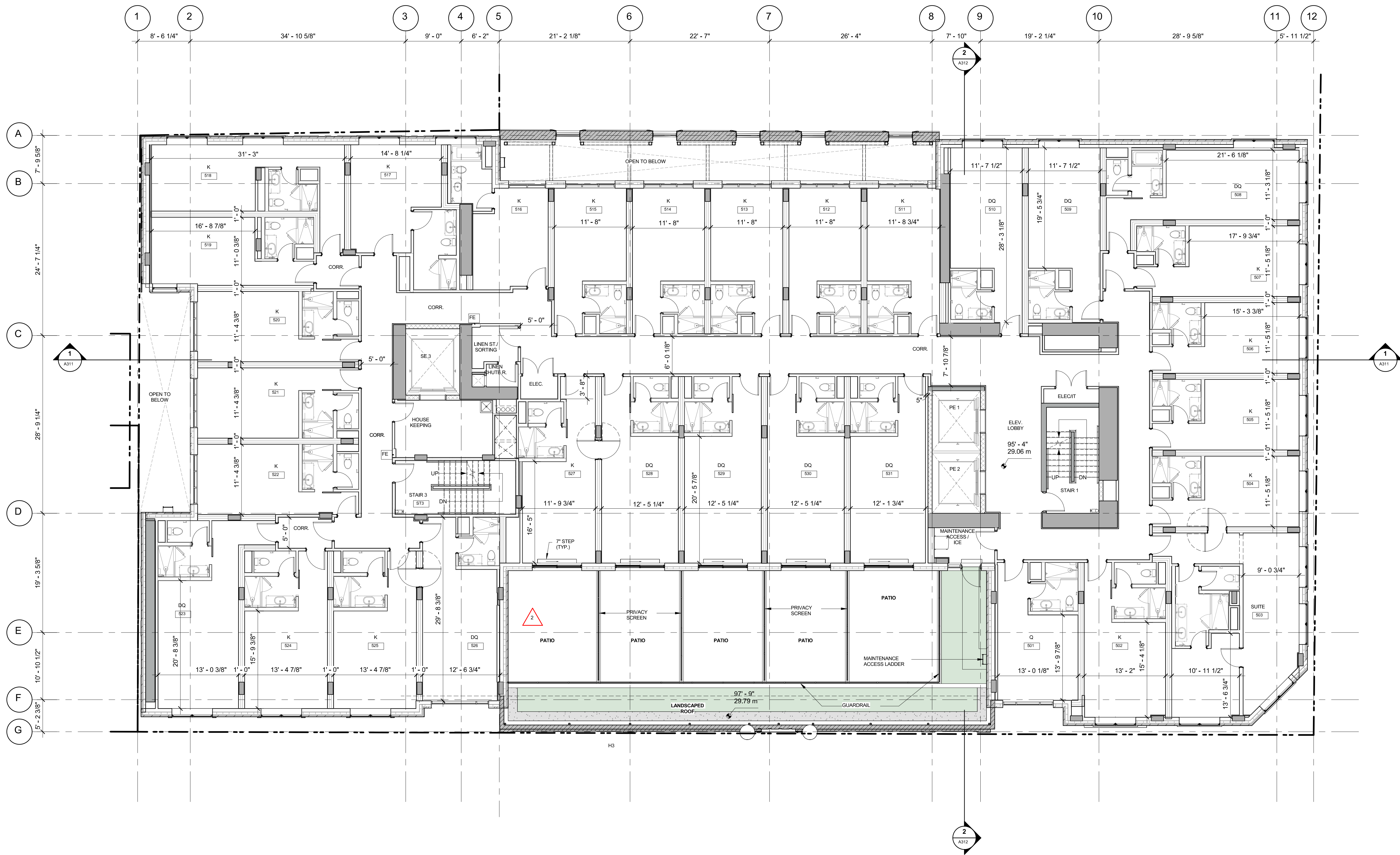
Drawing

Scale 1/8" = 1'-0"

Project 222021

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**LEVEL 5**  
SCALE: 1/8" = 1'-0"

- WALL MATERIALS:**
- EXIST. BRICK WALL
  - EXIST. STONE WALL
  - EXIST. RUBBLE WALL
  - NEW CONCRETE STRUCTURE



BROAD STREET

ROOM COUNT SCHEDULE					
LEVEL	Q	DOUBLE QUEEN	KING	SUITE	TOTAL
LEVEL 2	1	3	5	1	10
LEVEL 3	1	14	16	1	32
LEVEL 4	1	9	21	1	32
LEVEL 5	1	9	20	1	31
LEVEL 6	0	7	20	1	28
LEVEL 7	0	1	12	4	17
LEVEL 8	0	1	12	4	17
ROOF PLAN	0	0	0	0	0
<b>TOTAL</b>	<b>4</b>	<b>44</b>	<b>106</b>	<b>13</b>	<b>167</b>

1312-1324 BROAD STREET  
VICTORIA, B.C.

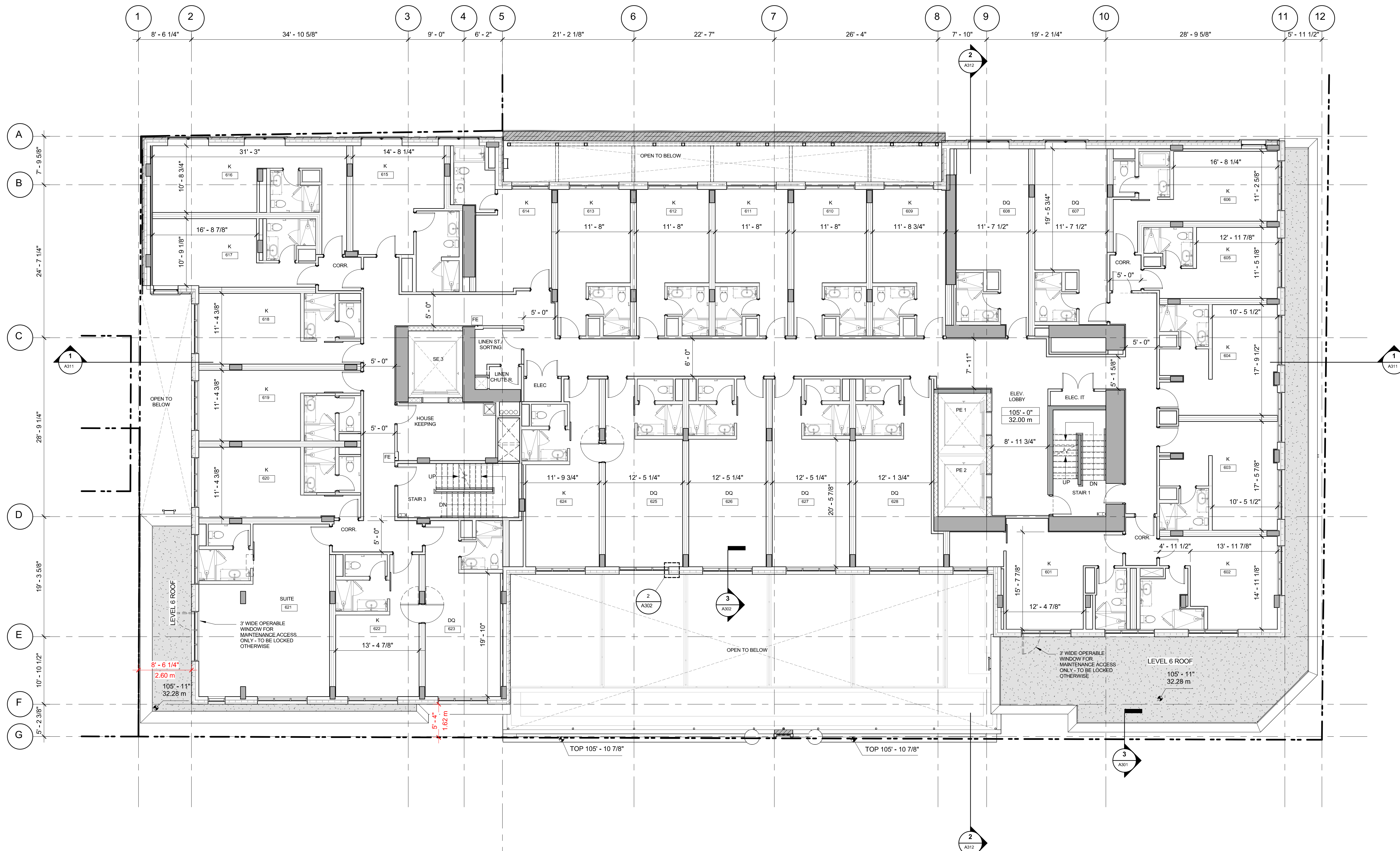
Project  
LEVEL 5

Drawing

Scale 1/8" = 1'-0"

Project 222021

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**WALL MATERIALS:**

- EXIST. BRICK WALL
- EXIST. STONE WALL
- EXIST. RUBBLE WALL
- NEW CONCRETE STRUCTURE



BROAD STREET

**LEVEL 6**  
SCALE: 1/8" = 1'-0"

ROOM COUNT SCHEDULE					
LEVEL	Q	DOUBLE QUEEN	KING	SUITE	TOTAL
LEVEL 2	1	3	5	1	10
LEVEL 3	1	14	16	1	32
LEVEL 4	1	9	21	1	32
LEVEL 5	1	9	20	1	31
LEVEL 6	0	7	20	1	28
LEVEL 7	0	1	12	4	17
LEVEL 8	0	1	12	4	17
ROOF PLAN	0	0	0	0	0
<b>TOTAL</b>	<b>4</b>	<b>44</b>	<b>106</b>	<b>13</b>	<b>167</b>

1312-1324 BROAD STREET  
VICTORIA, B.C.

Project

LEVEL 6

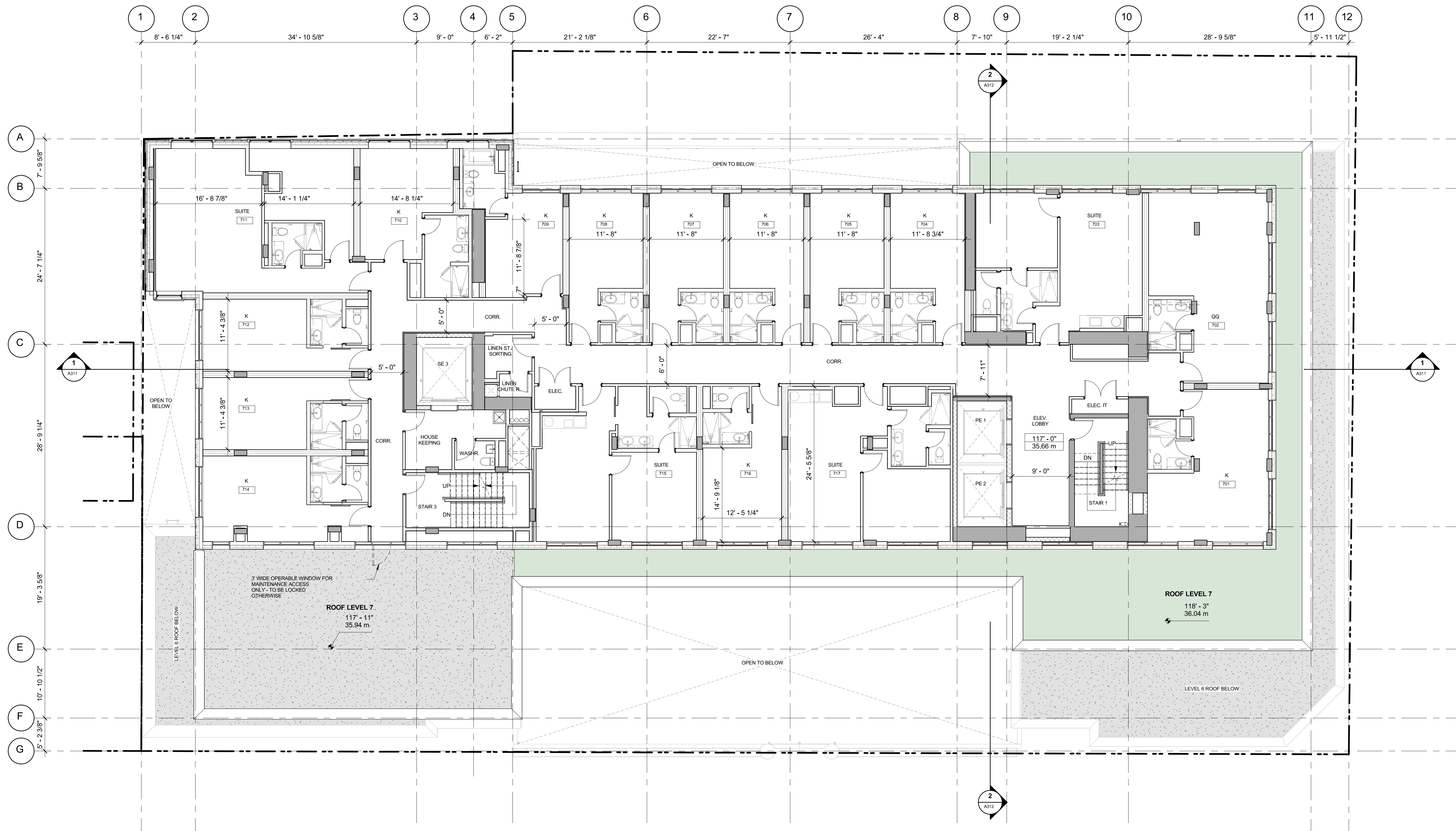
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Scale: 1/8" = 1'-0"

Project: 222021

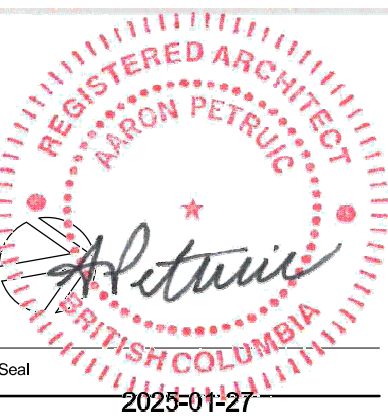
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1 LEVEL 7  
SCALE: 1/8" = 1'-0"

- WALL MATERIALS:
- EXIST. BRICK WALL
  - EXIST. STONE WALL
  - EXIST. RUBBLE WALL
  - NEW CONCRETE STRUCTURE



BROAD STREET

1312-1324 BROAD STREET  
VICTORIA, B.C.

Project  
LEVEL 7

Drawing

Scale 1/8" = 1'-0"

Project 222021

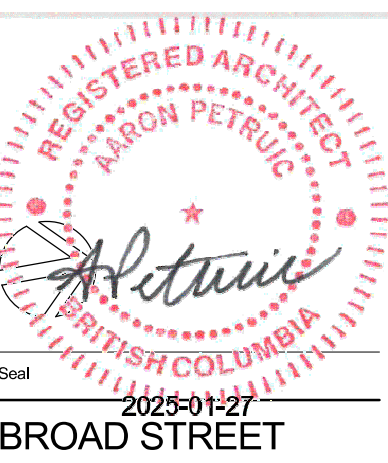
Sheet A208

ROOM COUNT SCHEDULE					
LEVEL	Q	DOUBLE QUEEN	KING	SUITE	TOTAL
LEVEL 2	1	3	5	1	10
LEVEL 3	1	14	16	1	32
LEVEL 4	1	9	21	1	32
LEVEL 5	1	9	20	1	31
LEVEL 6	0	7	20	1	28
LEVEL 7	0	1	12	4	17
LEVEL 8	0	1	12	4	17
ROOF PLAN	0	0	0	0	0
TOTAL	4	44	106	13	167



1 LEVEL 8  
SCALE: 1/8" = 1'-0"

- WALL MATERIALS:
- EXIST. BRICK WALL
  - EXIST. STONE WALL
  - EXIST. RUBBLE WALL
  - NEW CONCRETE STRUCTURE



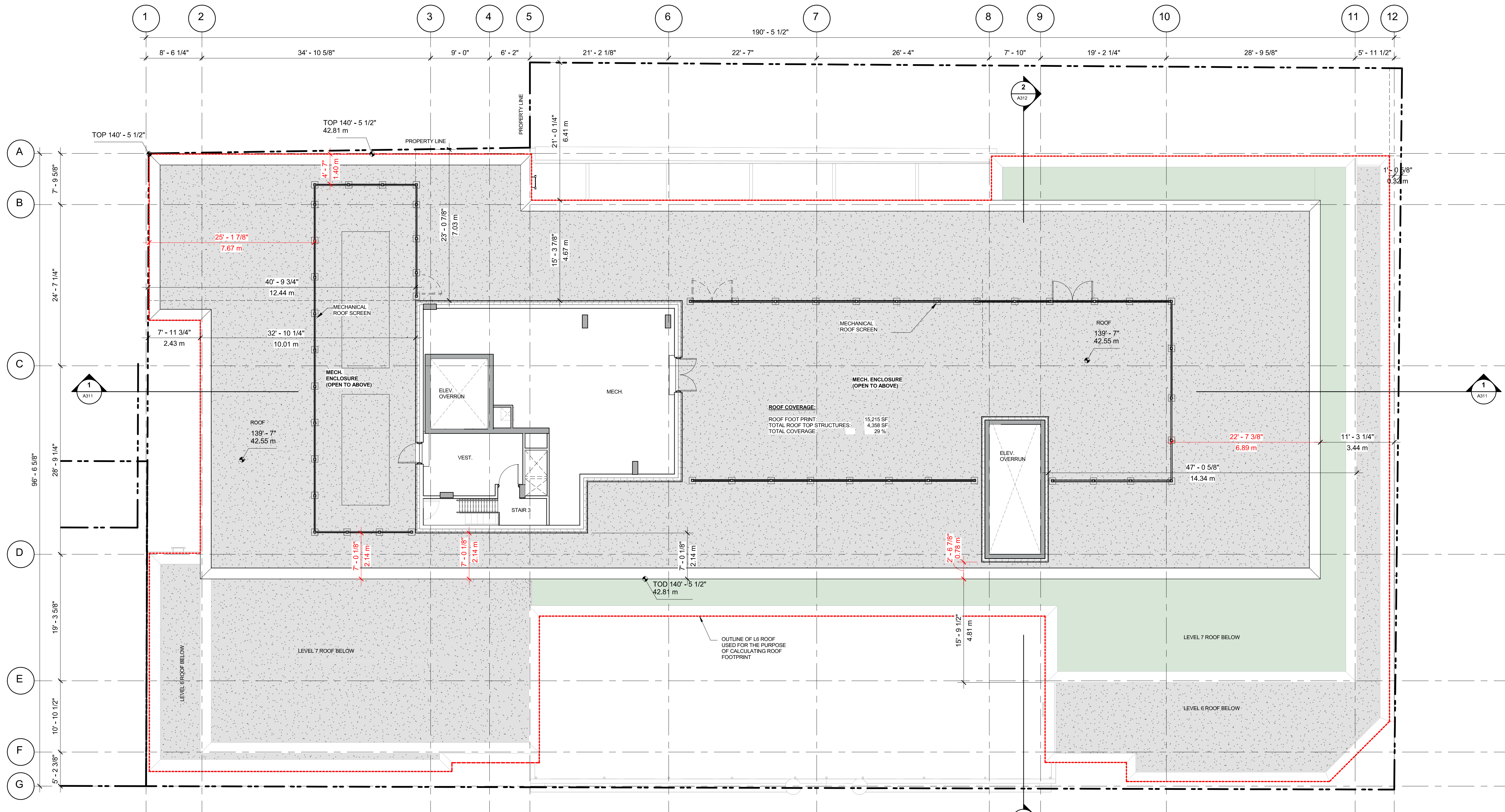
BROAD STREET

1312-1324 BROAD STREET  
VICTORIA, B.C.  
Project  
LEVEL 8

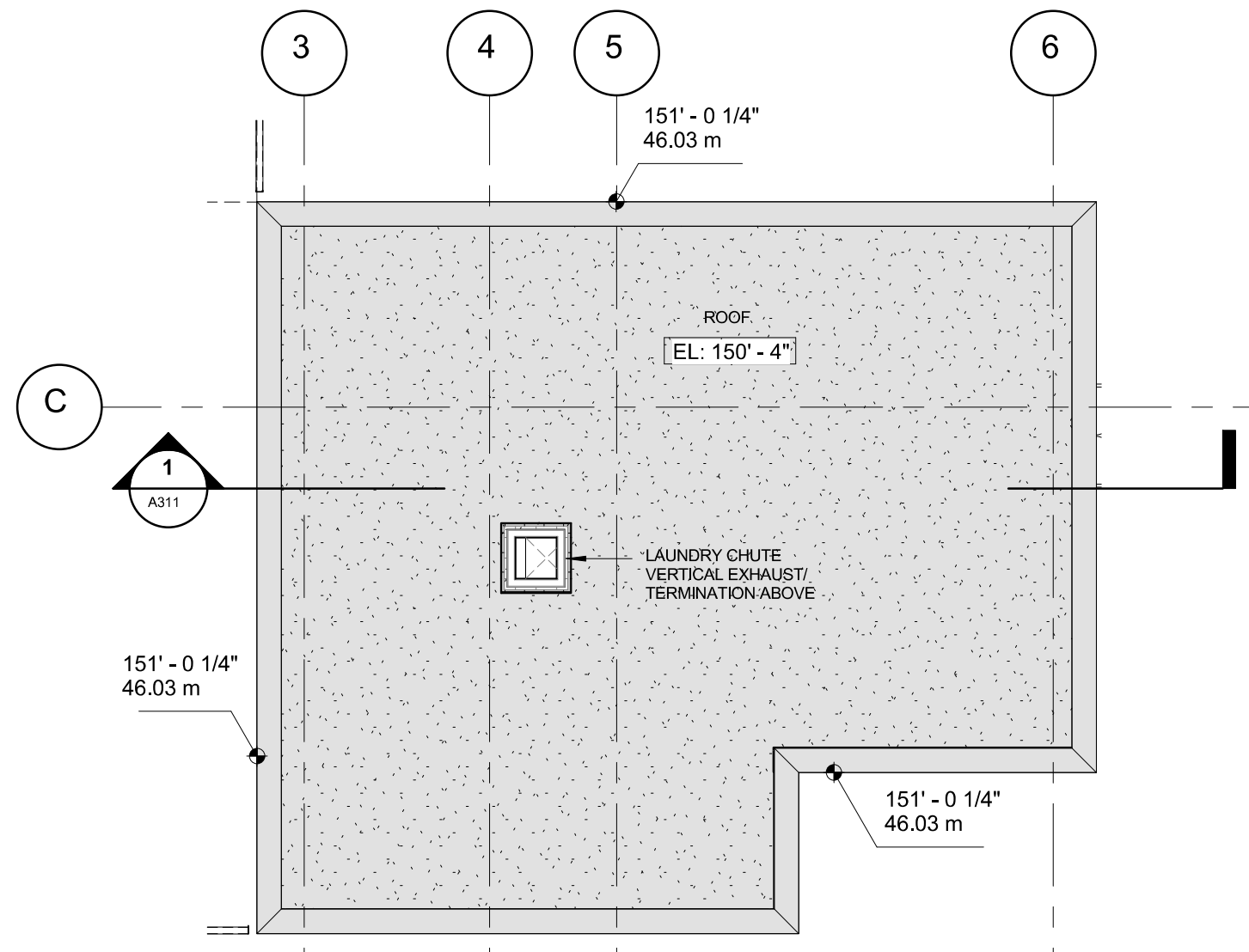
ROOM COUNT SCHEDULE					
LEVEL	Q	DOUBLE QUEEN	KING	SUITE	TOTAL
LEVEL 2	1	3	5	1	10
LEVEL 3	1	14	16	1	32
LEVEL 4	1	9	21	1	32
LEVEL 5	1	9	20	1	31
LEVEL 6	0	7	20	1	28
LEVEL 7	0	1	12	4	17
LEVEL 8	0	1	12	4	17
ROOF PLAN	0	0	0	0	0
TOTAL	4	44	106	13	167



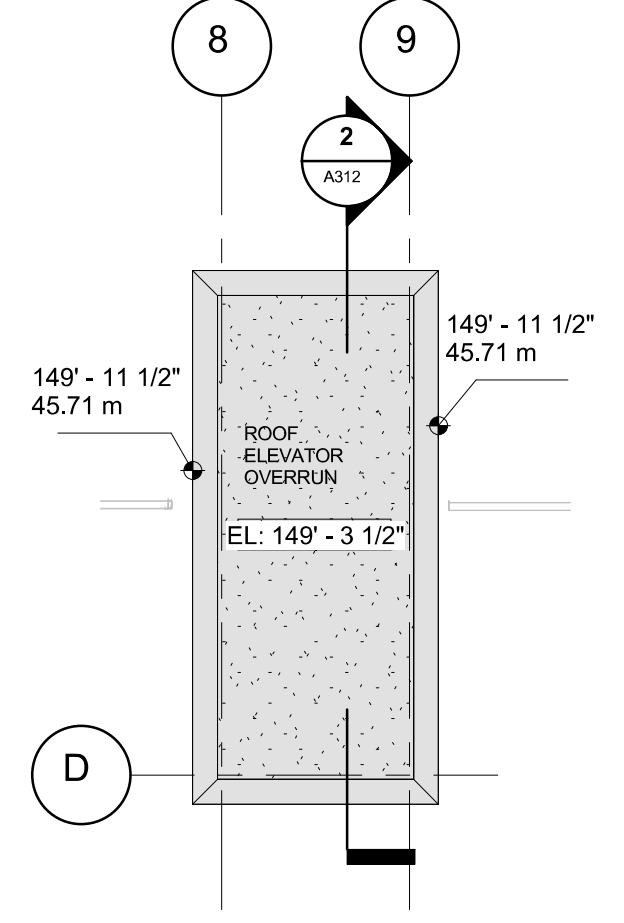
Revisions	YYYYMMDD
1 ISSUED FOR HRA	2024-10-21
2 REISSUED FOR HRA	2025-01-24



2 ROOF PLAN  
SCALE: 1/8" = 1'-0"



1 MECHANICAL ROOM ROOF  
SCALE: 1/8" = 1'-0"



3 ELEVATOR OVERRUN ROOF  
SCALE: 1/8" = 1'-0"

WALL MATERIALS:

[Pattern]	EXIST. BRICK WALL
[Pattern]	EXIST. STONE WALL
[Pattern]	EXIST. RUBBLE WALL
[Pattern]	NEW CONCRETE STRUCTURE



1312-1324 BROAD STREET  
VICTORIA, B.C.  
Project  
ROOF PLAN

Drawing  
Scale 1/8" = 1'-0"  
Project 222021  
Sheet **A210**

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**CONSERVATION STRATEGY:**

REFER TO CONSERVATION PLAN (MARCH 2023) FOR ADDITIONAL DESCRIPTION AND DETAILS OF HERITAGE CONSERVATION STRATEGY AND REQUIREMENTS.

**MASONRY:**  
BRICKWORK, STONE, PARGING, AND MASONRY DETAILS TO BE PRESERVED (TYP.)  
EXTERIOR BRICK WALLS AND STONE ELEMENTS TO BE PRESERVED (TYP.)  
EXTERIOR RUBBLE STONE WALL TO BE PRESERVED (TYP.)  
ORIGINAL CORNICE WITH CORBELLED DETAILING, BRACKETS, CENTRAL TRIANGULAR PEDIMENT WITH DECORATIVE NAME AND DATE PLATES TO BE PRESERVED (TYP.)  
RUSTICATED STONE PIERS, LINTELS, SILLS TO BE PRESERVED (TYP.)  
REMOVE PAINT FROM EXTERIOR BRICK WORK, STONE, PARGING WHERE APPLICABLE. UNDERTAKE TEST SAMPLES FOR ALL CLEANING AND PAINT REMOVAL IN INCONSPICUOUS AREA USING ONLY APPROVED PRODUCTS AND PROCESSES. CLEANING AND PAINT REMOVAL NOT TO CAUSE DAMAGE TO MASONRY.  
REPAIR DETERIORATED MASONRY USING APPROVED MASONRY REPAIR MORTARS AND TECHNIQUES. COMPLETE MOCK UP OF REPAIR FOR APPROVAL BY CONSULTANTS PRIOR TO PROCEEDING WITH WORK. IF MASONRY IS TOO DETERIORATED TO REPAIR, REPLACE IN KIND.  
REPOINT MASONRY USING MORTAR MATCHING STRENGTH, COMPOSITION, COLOUR, AND JOINT PROFILE AS ORIGINAL. COMPLETE MOCK UP OF REPOINTING FOR APPROVAL BY CONSULTANTS PRIOR TO PROCEEDING WITH WORK. BRICK TO BE LEFT EXPOSED, FINAL CONDITION TO BE REVIEWED BY HERITAGE CONSULTANT AND BUILDING ENVELOPE ENGINEER.  
PAINT SANDSTONE WITH BREATHABLE MINERAL PAINT.

**FENESTRATION:**  
PRESERVE EXISTING WINDOW OPENINGS OF FRONT ELEVATION. PRESERVE WOOD JAMBS AND REPAIR. REPLACE IN KIND JAMBS TOO DETERIORATED TO REPAIR. REHABILITATE DOUBLE-HUNG WINDOW SASHES WITH NEW WOOD SASHES WITH THERMAL GLAZING UNITS REFLECTIVE OF ORIGINAL SASHES.  
PRESERVE AND REHABILITATE WINDOWS OF REAR ELEVATION TO SUIT NEW SITE USE AND INTERIOR LAYOUT. UPPER FLOOR WINDOW OPENINGS TO BE PRESERVED AND WINDOW ASSEMBLIES REMOVED. MAKE GOOD OPENINGS OF UPPER FLOOR WHERE WINDOWS HAVE BEEN REMOVED. LOWER FLOOR WINDOW OPENINGS TO BE PRESERVED WITH SOME OPENINGS REHABILITATED TO SUIT NEW INTERIOR LAYOUT. PRESERVE WOOD JAMBS AND REPAIR. REPLACE IN KIND JAMBS TOO DETERIORATED TO REPAIR. REHABILITATE WINDOW SASHES WITH NEW WOOD SASHES WITH THERMAL GLAZING UNITS REFLECTIVE OF HISTORICAL ORIGINAL SASHES.  
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REHABILITATE STOREFRONT OF FRONT ELEVATION WITH NEW WOOD ASSEMBLY STOREFRONT WITH NEW STOREFRONT, TRANSOM, AND ENTRIES REFLECTIVE OF THE APPEARANCE OF THE ORIGINAL AND MADE TO SUIT THE NEW INTERIOR LAYOUT.

**METALWORK:**  
PRESERVE AND REPAIR THE CAST IRON COLUMNS OF THE FRONT ELEVATION'S STOREFRONT.  
**COLOUR SCHEME:**  
REFER TO CONSERVATION PLAN FOR COLOUR SCHEME FOR PAINTED ELEMENTS OF RETAINED FRONT AND REAR ELEVATIONS.

TILE COLOUR



PRELIMINARY COLOUR TABLE

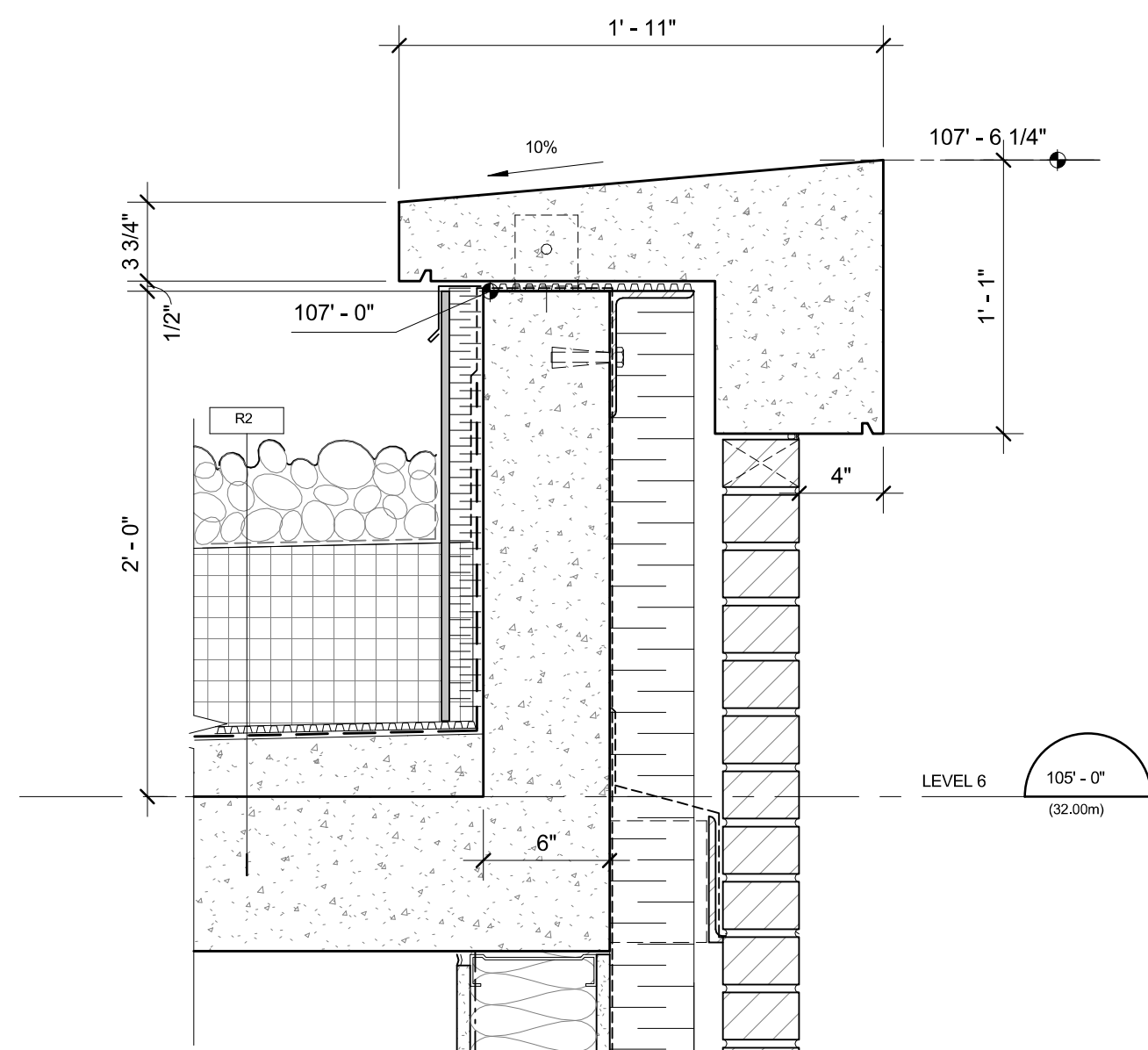
Element	Colour*	Code	Sample	Finish
Window Sash & Storefront	Blackwatch Green Pratt & Lambert	19-17	[Sample]	Gloss
Signage/lettering backdrop	Hastings Red	SW 2801	[Sample]	Low Lustre
Parging	Haddington Grey	SW 2845	[Sample]	Flat
Sandstone	Mineral Paint matched to Haddington Grey	Beek or Keim	[Sample]	Flat
Cast Iron Columns	Blackwatch Green Pratt & Lambert	19-17	[Sample]	Gloss

1. PAINT COLORS MATCHED FROM BENJAMIN MOORE'S HISTORICAL VANCOUVER TRUE COLOURS  
2. PRIOR TO INSTALLATION SAMPLES OF NOTED COLORS TO BE PLACED ON THE BUILDING TO BE VIEWED IN NATURAL LIGHT BY PROJECT HERITAGE CONSULTANT.

NOTE: BRICK TO BE RUNNING BOND U.N.O.  
GLAZING DIMENSIONS TO C.L. OF MULLION U.N.O.

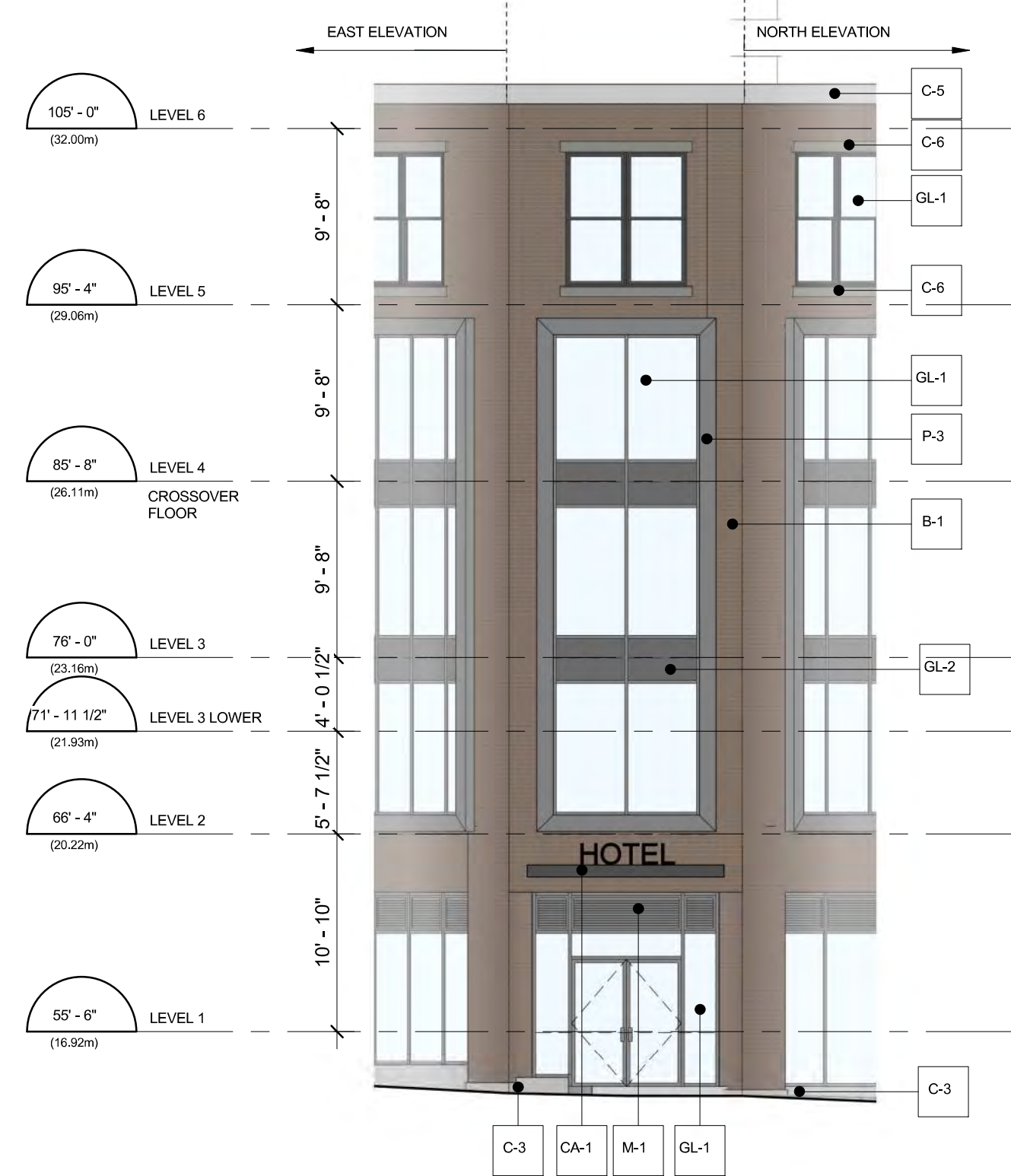
MATERIAL LEGEND

B-1	BRICK (FOREST BLEND, NORMAN SIZE BRICK)
B-2	BRICK (WHEAT, NORMAN SIZE BRICK)
C-1	SEALED EXPOSED CONCRETE
C-3	PRECAST CONCRETE PANEL (EXPOSED)
C-4	PRECAST CONCRETE FRAME (EXPOSED)
C-5	PRECAST CONCRETE PARAPET (EXPOSED)
C-6	PRECAST CONCRETE HEADERS/SILL (EXPOSED)
CA-1	STEEL AND GLASS CANOPY
EB-1	EXISTING BRICK
EG-1	REHABILITATED HISTORICALLY COMPATIBLE WINDOW
ES-1	EXISTING STONE
GL-1	DOUBLE GLAZED WINDOW W/ CHARCOAL GREY MULLIONS
GL-2	INSULATED METAL SPANDREL (BLACK)
GL-3	INSULATED SINGLE GLAZED SPANDREL (HARMONIZED WITH VISION GLASS)
M-1	PREFINISHED ALUMINUM LOUVERS (COLOR TO MATCH MULLIONS)
P-1	METAL PANEL - LIGHT GREY
P-2	METAL PANEL - BLACK
P-3	METAL PANEL - DARK GREY
T-1	TERRACOTTA TILE - MAIN WALL FILL
T-2	TERRACOTTA TILE - WINDOW SHADOW BOX



3 TYP PARAPET CAP

A301 SCALE: 1/12" = 1'-0"



2 NORTH EAST CORNER AT 45°

A301 SCALE: 1/8" = 1'-0"



1 NORTH ELEVATION

A301 SCALE: 1/8" = 1'-0"



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PAINT SANDSTONE WITH BREATHABLE MINERAL PAINT.

**FENESTRATION:**

PRESERVE EXISTING WINDOW OPENINGS OF FRONT ELEVATION. PRESERVE WOOD JAMBS AND REPAIR. REPLACE IN KIND JAMBS TOO DETERIORATED TO REPAIR. REHABILITATE DOUBLE-HUNG WINDOW SASHES WITH NEW WOOD SASHES WITH THERMAL GLAZING UNITS REFLECTIVE OF ORIGINAL SASHES.

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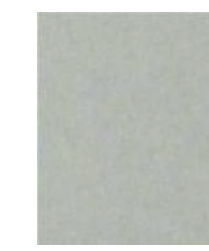
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**COLOUR SCHEME:**  
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**TILE COLOUR**

P-1 METAL PANEL LIGHT GREY



T-1 TERRACOTTA TYP01



T-2 TERRACOTTA TW01



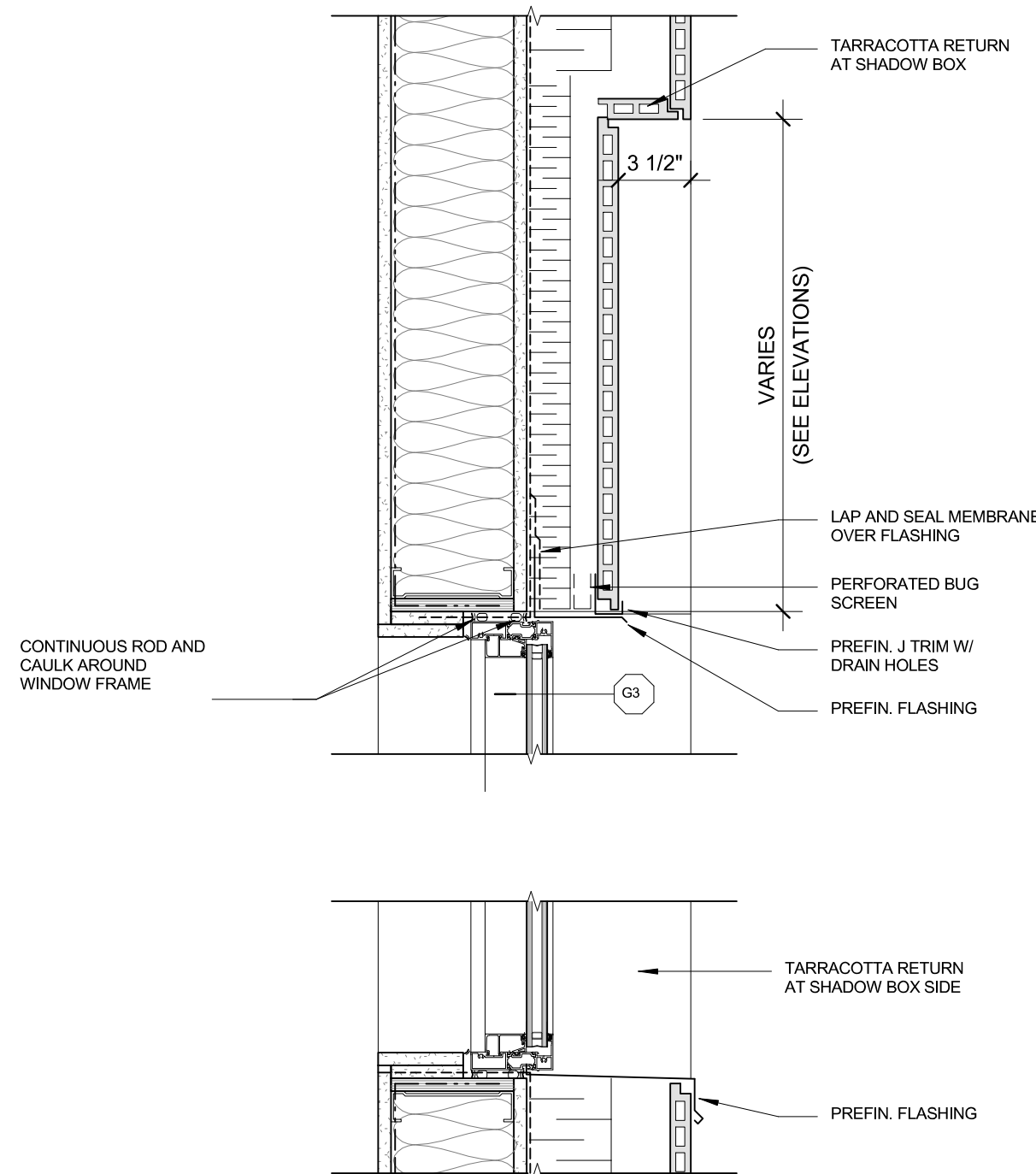
**PRELIMINARY COLOUR TABLE**

Element	Colour*	Code	Sample	Finish
Window Sash & Storefront	Blackwatch Green Pratt & Lambert	19-17		Gloss
Signage/lettering backdrop	Hastings Red	SW 2801		Low Lustre
Parping	Haddington Grey	SW 2845		Flat
Sandstone	Mineral Paint matched to Haddington Grey	Beek or Keim		Flat
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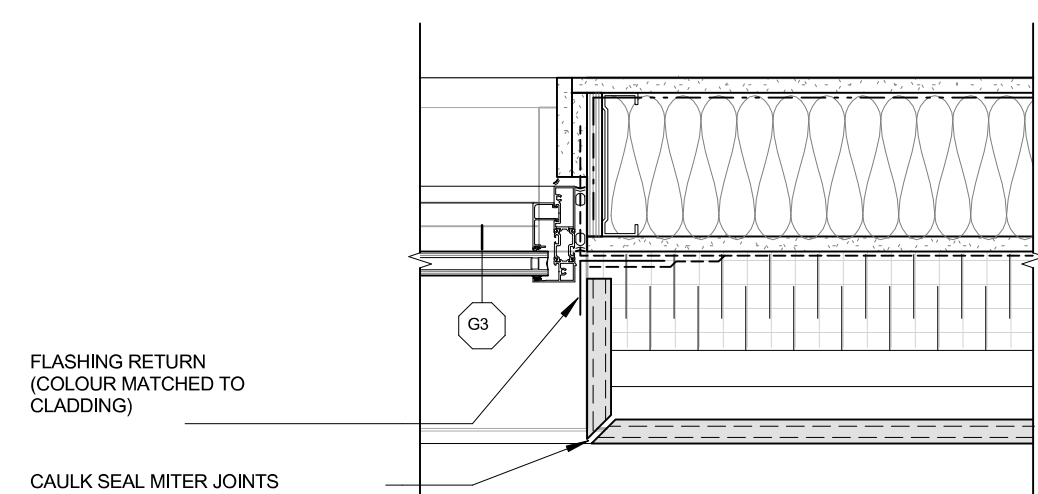
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**3 SHADOW BOX WINDOW HEAD**

SCALE: 1 1/2" = 1'-0"



**2 WINDOW PLAN DETAIL**

SCALE: 1 1/2" = 1'-0"

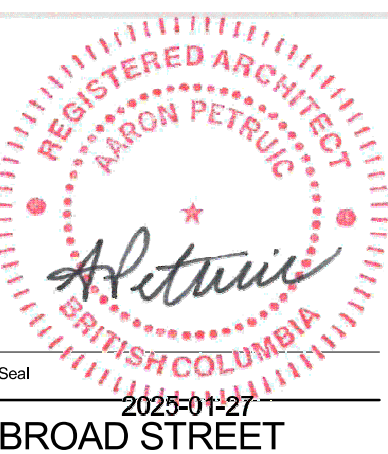


**1 SOUTH ELEVATION**

SCALE: 1/8" = 1'-0"

Revisions: YYYTABCD

- 1 ISSUED FOR HRA 2024-10-21
- 2 REISSUED FOR HRA 2025-01-24



1312-1324 BROAD STREET  
VICTORIA, B.C.

Project

BUILDING ELEVATION  
SOUTH

Drawing

Scale: As indicated

Project: 222021

Sheet

**A302**



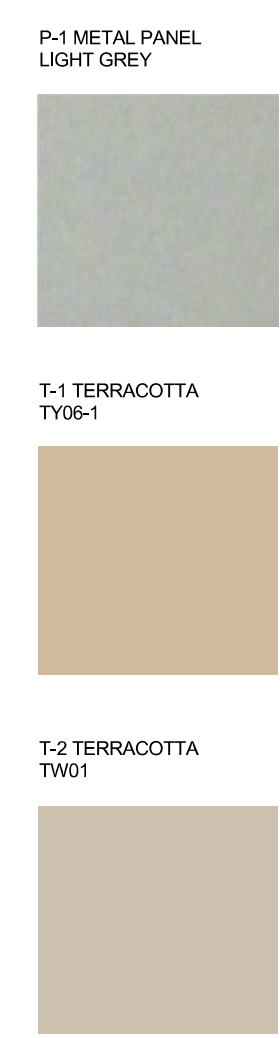
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COLOUR SCHEME:  
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TILE COLOUR



PRELIMINARY COLOUR TABLE

Element	Colour*	Code	Sample	Finish
Window Sash & Storefront	Blackwatch Green Pratt & Lambert	19-17	[Sample]	Gloss
Signage/lettering backdrop	Hastings Red	SW 2801	[Sample]	Low Lustre
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ES-1	EXISTING STONE
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GL-2	INSULATED METAL SPANDREL (BLACK)
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M-1	PREFINISHED ALUMINUM LOUVERES (COLOR TO MATCH MULLIONS)
P-1	METAL PANEL - LIGHT GREY
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T-1	TERRACOTTA TILE - MAIN WALL FILL
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2 EAST ELEVATION  
SCALE: 1/8" = 1'-0"



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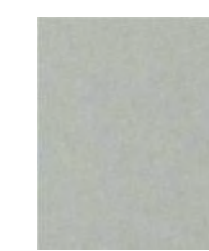
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TILE COLOUR

P-1 METAL PANEL LIGHT GREY



T-1 TERRACOTTA TW04



T-2 TERRACOTTA TW01



PRELIMINARY COLOUR TABLE

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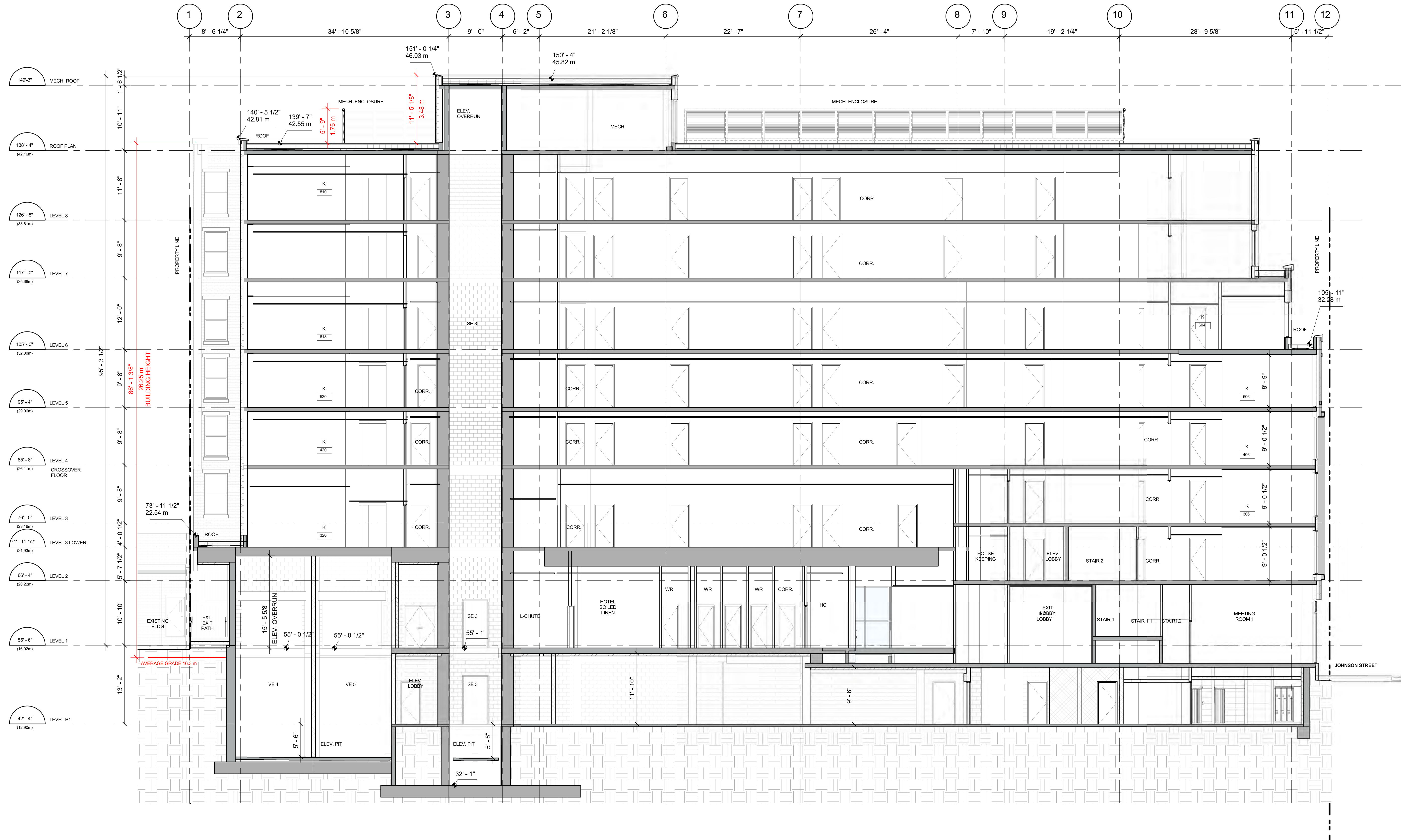
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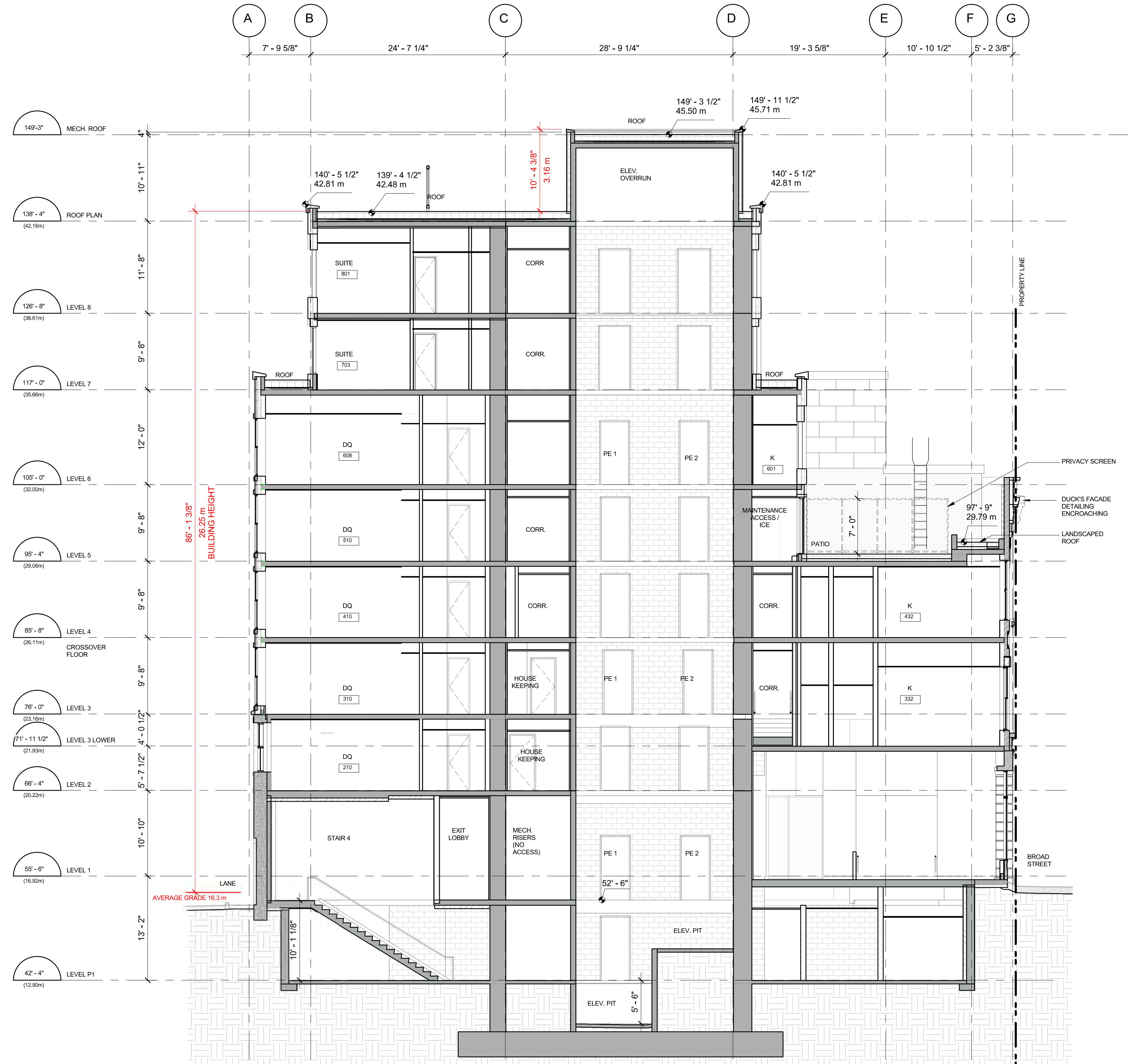
1 WEST ELEVATION  
SCALE: 1/8" = 1'-0"





1 BUILDING SECTION 1  
A201 SCALE: 1/8" = 1'-0"





2 BUILDING SECTION 2  
SCALE: 1/8" = 1'-0"



1312-1324 BROAD STREET  
VICTORIA, B.C.  
Project  
BUILDING SECTION

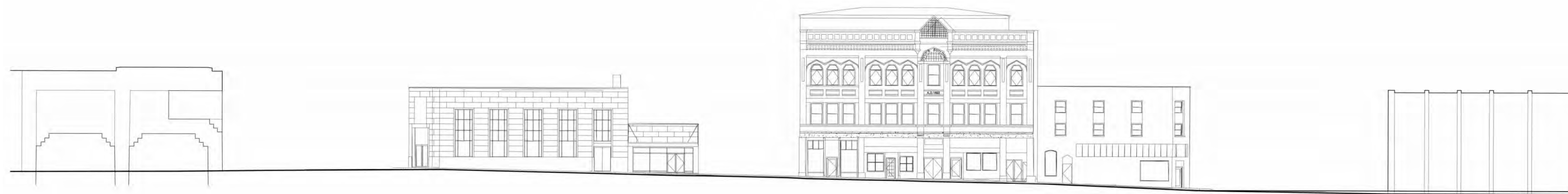
Drawing  
Scale 1/8" = 1'-0"  
Project 222021  
Sheet A312





**3 EAST ELEVATION CONTEXT PROPOSED**

SCALE: 1" = 20'-0"



**1 EAST ELEVATION CONTEXT EXISTING**

SCALE: 1" = 20'-0"



**4 NORTH ELEVATION CONTEXT PROPOSED**

SCALE: 1" = 20'-0"



**2 NORTH ELEVATION CONTEXT EXISTING**

SCALE: 1" = 20'-0"





JOHNSON STREET

LONDON FLATS  
1313 BROAD STREET

ROBINSON'S OUTDOOR STORE  
1307 BROAD STREET

METTA YOGA  
1303 BROAD STREET

YATES STREET

1 BROAD STREET CONTEXT FACING EAST  
SCALE: N/A



606 - 614 JOHNSON STREET

AUDIO VIDEO REPLAY  
620 JOHNSON STREET

BROAD STREET



BEST WESTERN PLUS  
636 JOHNSON STREET

2 JOHNSON STREET CONTEXT FACING NORTH  
SCALE: N/A



1288 BROAD STREET SQUARE



AUDIO VIDEO REPLAY  
620 JOHNSON STREET



631 - 635 JOHNSON STREET

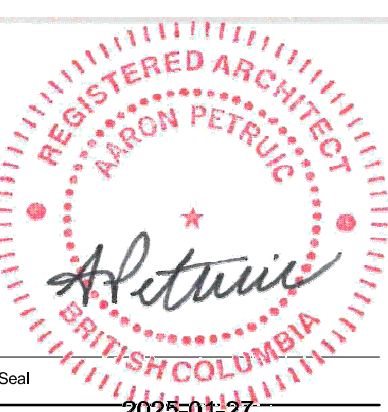


605 - 613 JOHNSON STREET

3 BROAD STREET CONTEXT FACING WEST  
SCALE: N/A

4 JOHNSON STREET CONTEXT FACING SOUTH  
SCALE: N/A

Revisions	YYYYMMDD
1 ISSUED FOR HRA	2024-10-21
2 REISSUED FOR HRA	2025-01-24



BROAD STREET

1312-1324 BROAD STREET  
VICTORIA, B.C.

Project  
SITE CONTEXT

Drawing

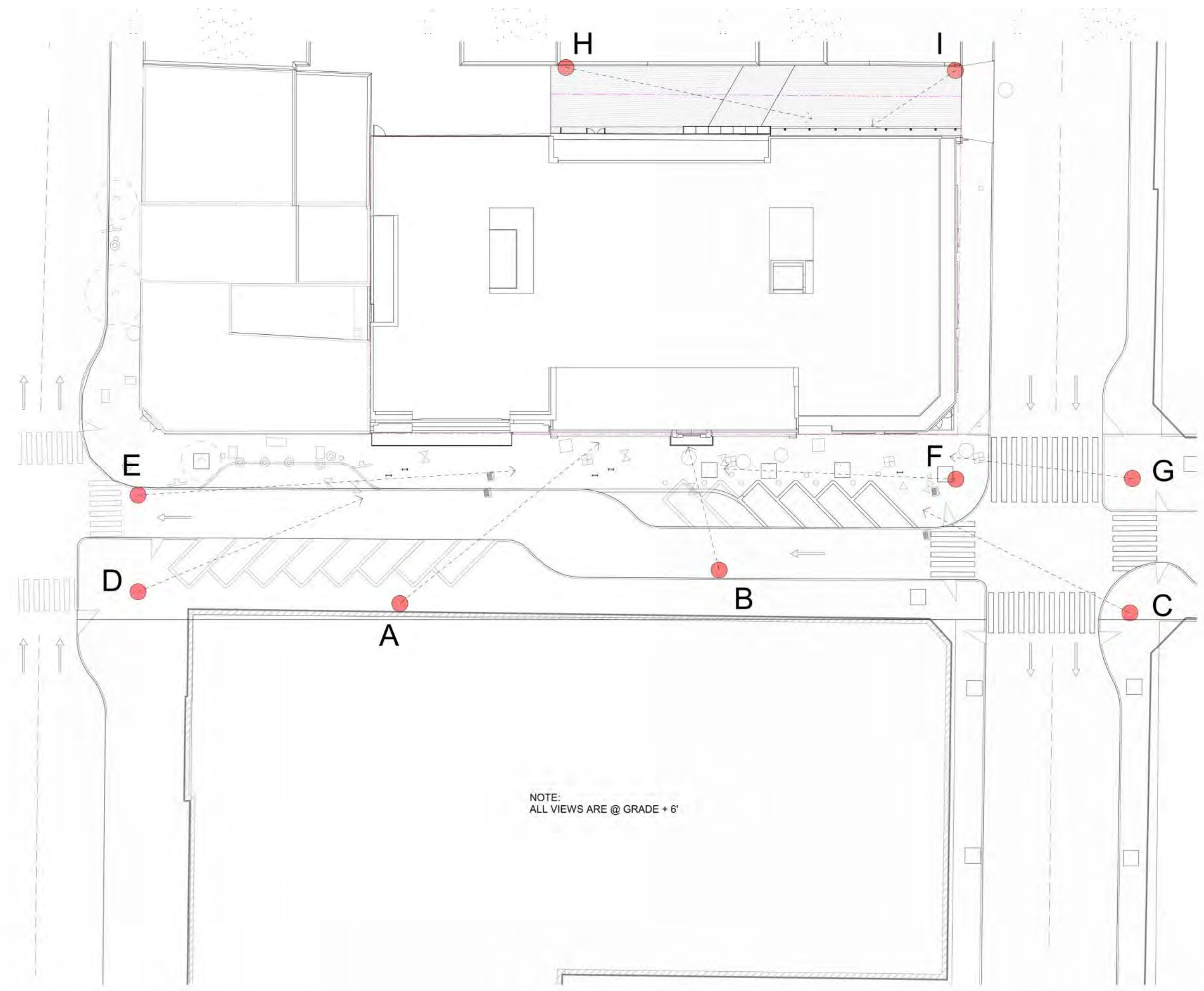
Scale 1/8" = 1'-0"

Project 222021

Sheet A502



Revisions	YYYYMMDD
1 ISSUED FOR HRA	2024-10-21
2 REISSUED FOR HRA	2025-01-24



1 KEY PLAN SHEET VIEW IMAGES  
SCALE: 1/8" = 1'-0"



2 YATES TO JOHNSON EAST - A  
SCALE:



3 BROAD STREET - SOUTH BUILDING & DUCKS - B  
SCALE:



4 BROAD & JOHNSON - C  
SCALE:



1312-1324 BROAD STREET  
VICTORIA, B.C.

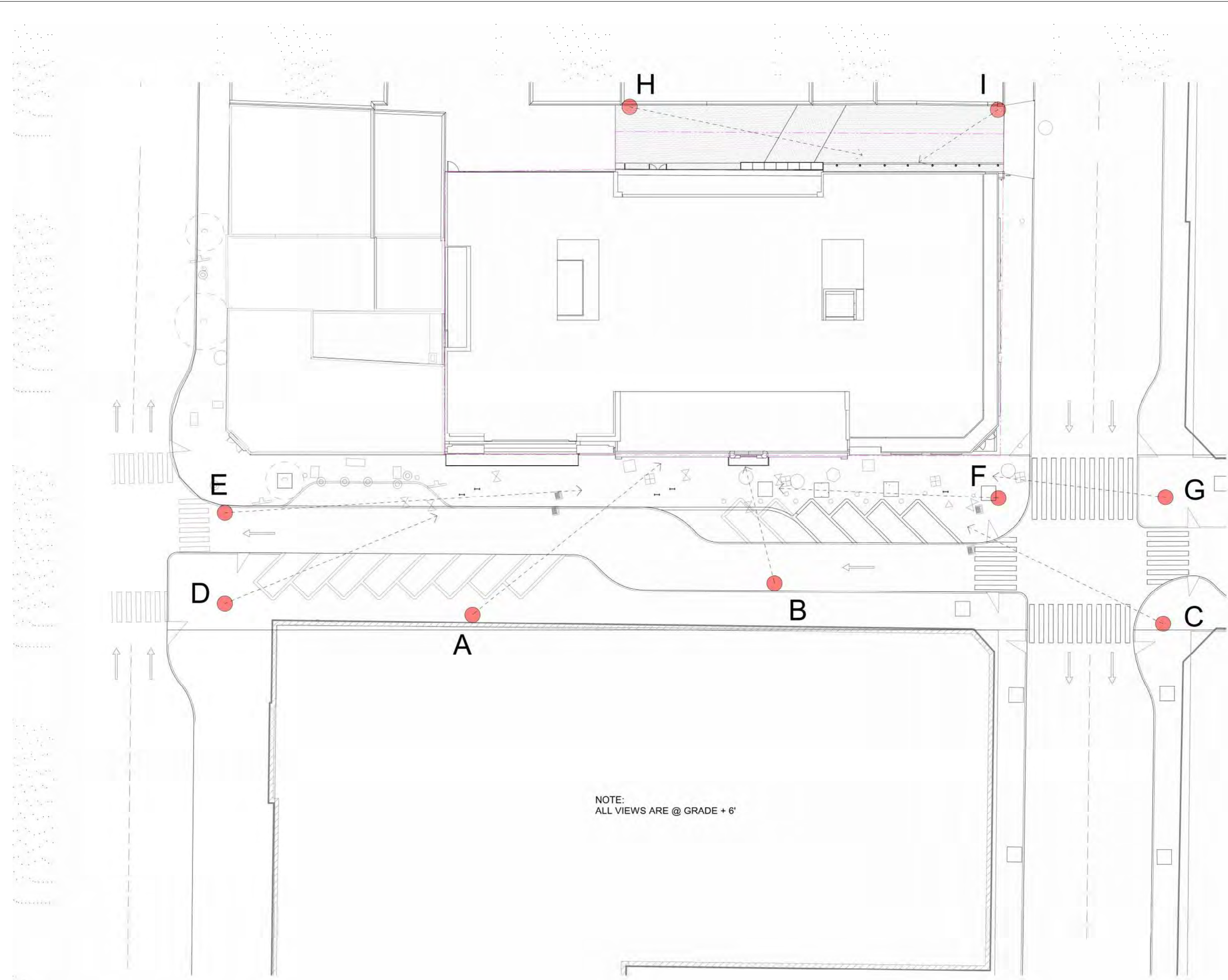
Project  
PERSPECTIVE  
STUDIES

Drawing

Scale: 1/8" = 1'-0"

Project: 222021





1 Key Plan Sheet View Images  
A506 SCALE: 1 : 350



2 Yates to Johnson East  
A506 A



3 Broad Street - South Building & Ducks  
A506 B



4 Broad & Johnson  
A506 C



1312-1324 BROAD STREET  
VICTORIA, B.C.

Project  
PERSPECTIVE  
STUDIES -  
PREVIOUSLY  
APPROVED DP

Drawing

Scale

Project 222021

Sheet A503a





1 YATES & BROAD - D  
SCALE: N/A



2 YATES & BROAD - E  
SCALE: N/A



3 BROAD & JOHNSON - F  
SCALE: N/A



4 BROAD & JOHNSON - G  
SCALE: N/A



5 LANEWAY TO JOHNSON - H  
SCALE: N/A



6 LANEWAY STONEWALL - I  
SCALE: N/A



BROAD STREET

1312-1324 BROAD STREET  
VICTORIA, B.C.

Project  
PERSPECTIVE  
STUDIES

Drawing

Scale

Project 222021

Sheet **A504**





1 Yates & Broad A  
A507  
D



2 Yates & Broad B  
A507  
E



3 Broad & Johnson A  
A507  
F



4 Broad & Johnson B  
A507  
G



5 Laneway to Johnson  
A507  
H



6 Laneway Stonewall  
A507  
I



BROAD STREET

1312-1324 BROAD STREET  
VICTORIA, B.C.

Project  
PERSPECTIVE  
STUDIES -  
PREVIOUSLY  
APPROVED DP

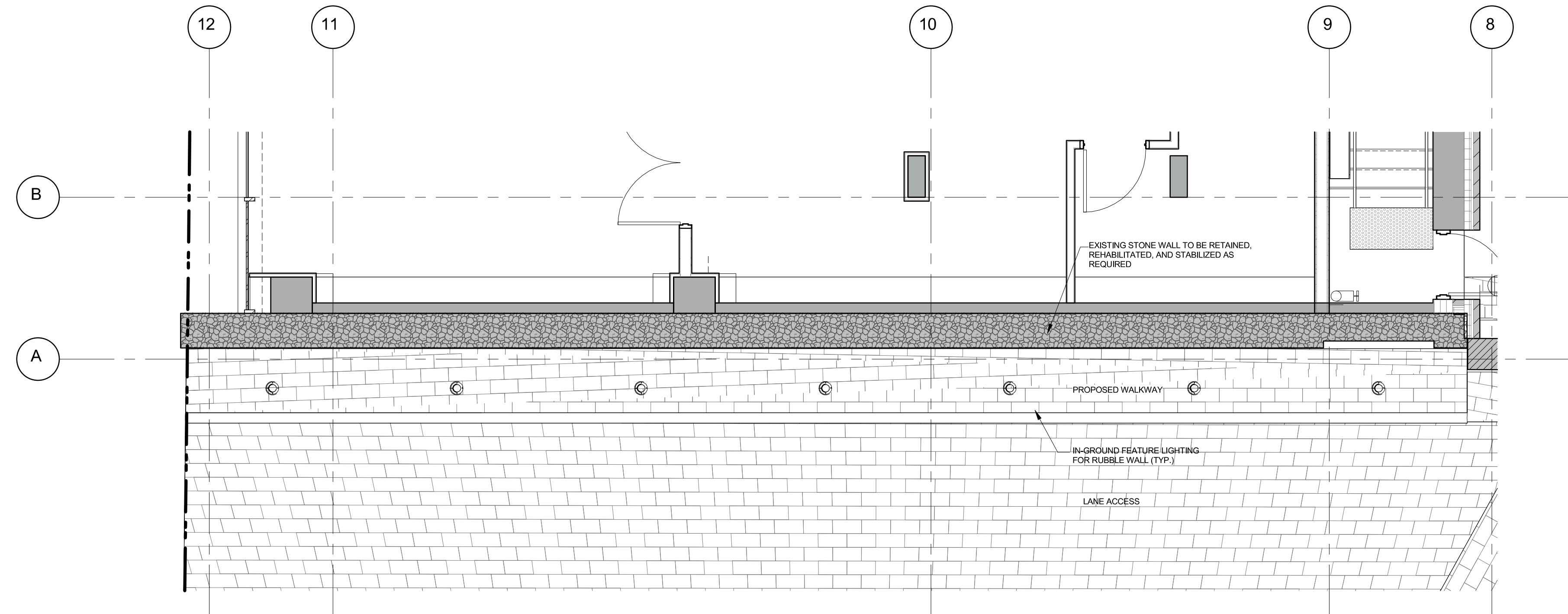
Drawing

Scale

Project 222021

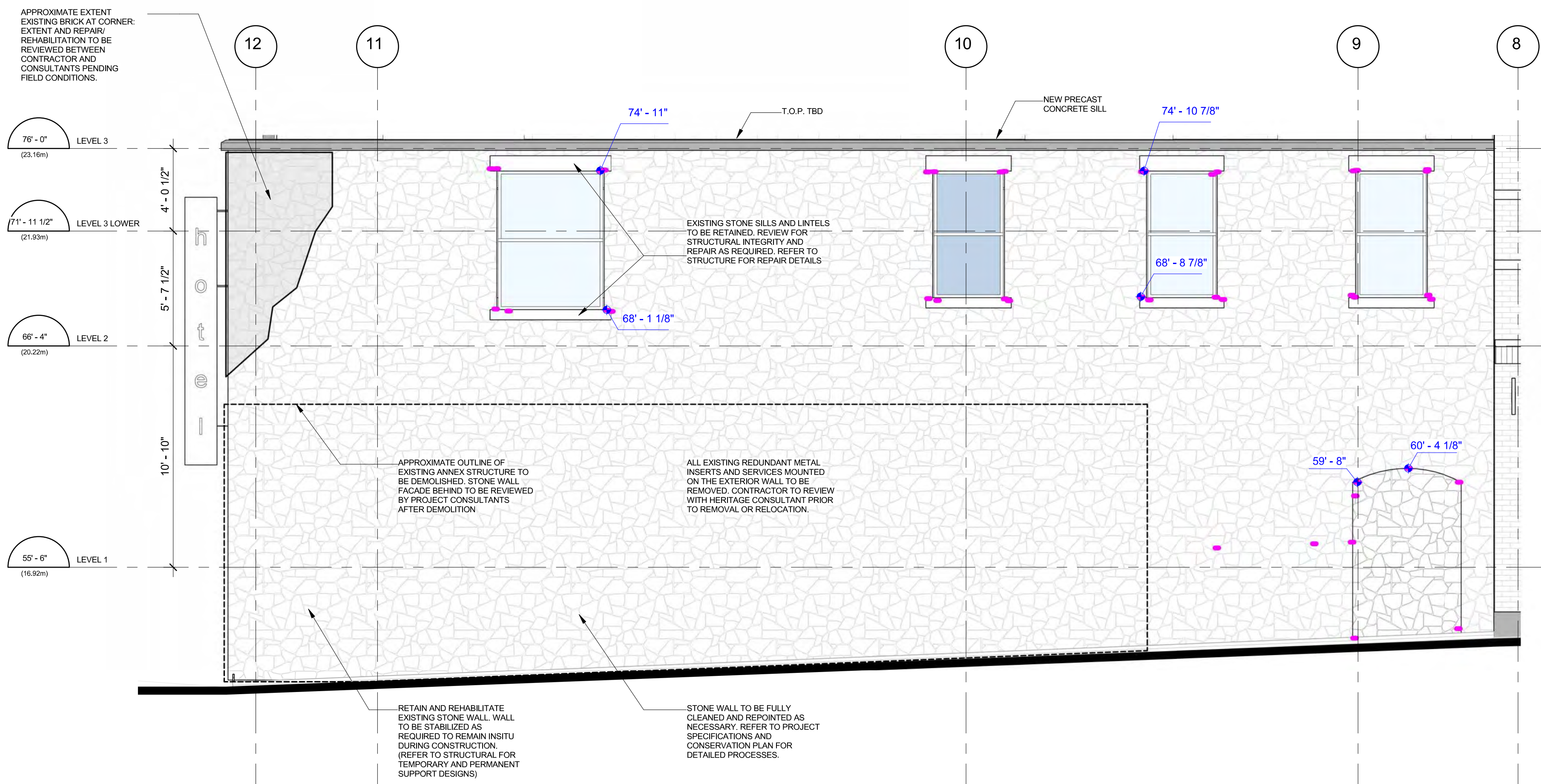
Sheet A504a





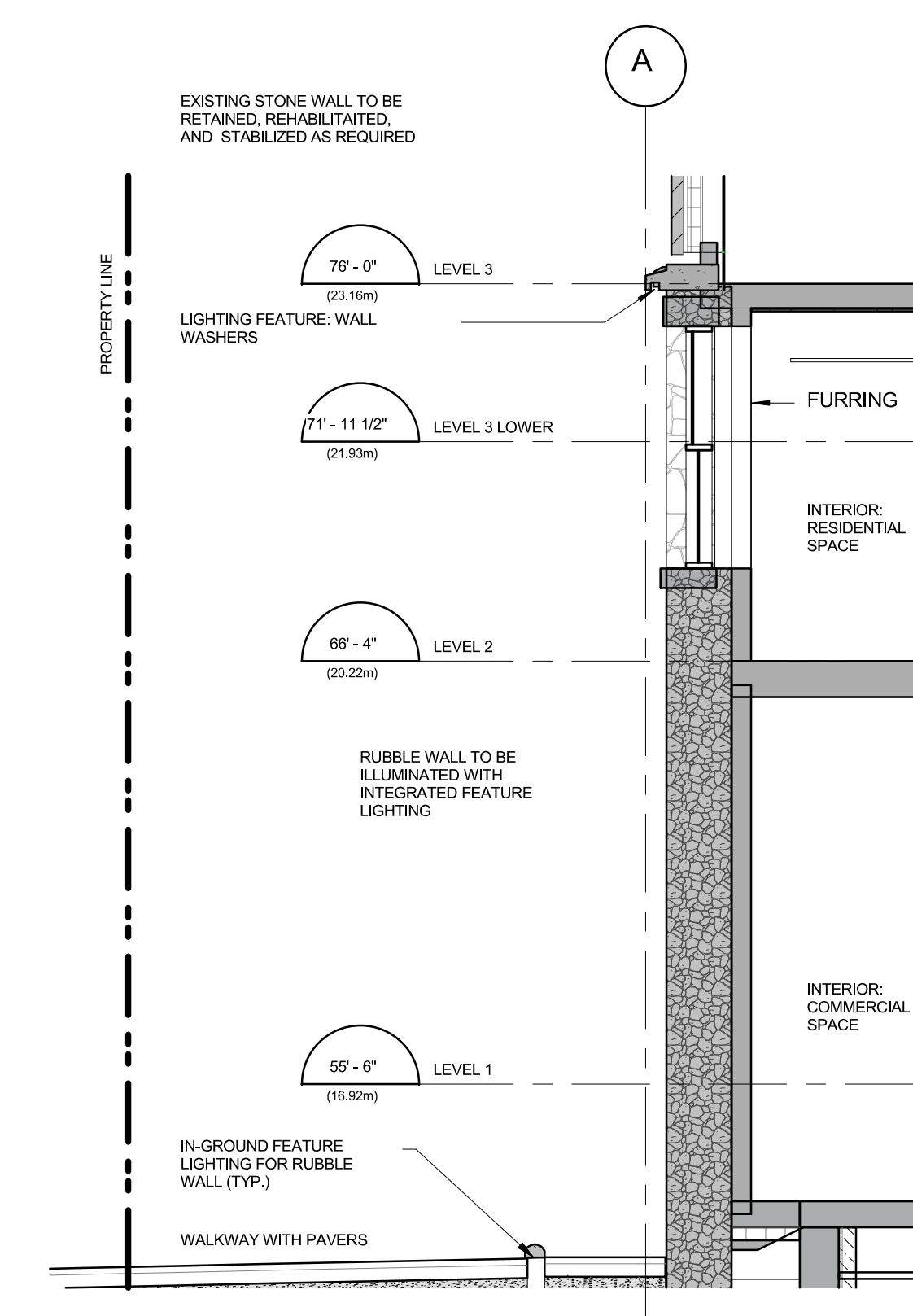
3 STONE WALL L1 FLOOR PLAN

A510 SCALE: 1/4" = 1'-0"



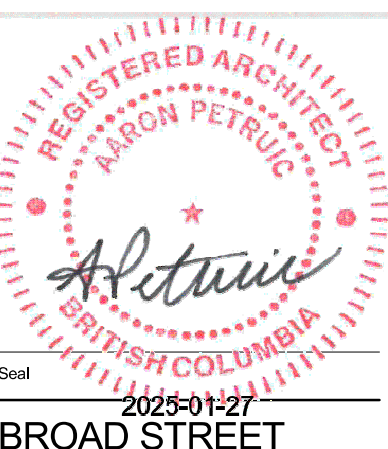
1 HERITAGE ELEVATION - WEST

A510 SCALE: 1/4" = 1'-0"



2 STONE WALL SECTION

A510 SCALE: 1/4" = 1'-0"



BROAD STREET

1312-1324 BROAD STREET  
VICTORIA, B.C.

Project  
STONE WALL AND  
DETAILS

Drawing

Scale 1/4" = 1'-0"

Project 222021

Sheet A510

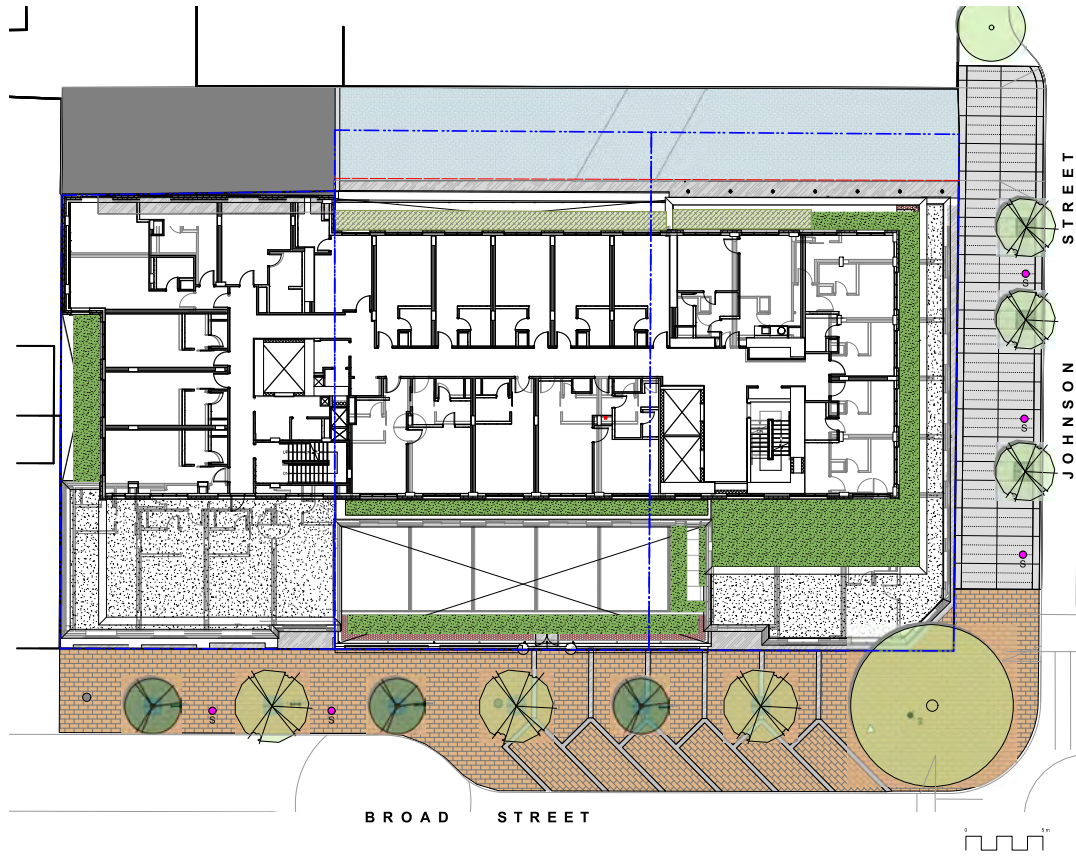


# 1312-1314 BROAD STREET

VICTORIA BC

Landscape Sheets	
Sheet No.	Sheet Title
L0.00	Cover
L0.01	General Information
L0.02	Onsite Stormwater Management Plan
L1.01	Landscape Materials Plan - At Grade
L1.02	Landscape Materials Plan - Terrace Levels
L2.01	Planting Plan
L2.02	Soil Cell Information - Boulevard Trees

## KEY PLAN



MDI LANDSCAPE ARCHITECTS  
 1188 SHERBOURNE RD. #101-102 VICTORIA BC V8W 2P6

NOT FOR CONSTRUCTION



No.	Issued For	Issue Date
2	DP REV	2025-01-27
1	DP	2024-10-22



client  
**CHARD DEVELOPMENT**

project  
 BROAD STREET  
 1312-1314 BROAD ST  
 VICTORIA, BC

sheet title  
**Cover**

project no. 123.13  
 scale 1:150 @ 24"x36"  
 drawn by MU/SC  
 checked by SM  
 sheet no.

**L0.00**



**GENERAL NOTES**

- Work performed shall comply with the following: a) These General Notes, and Construction Documents and Specifications; b) Canadian Landscape Standards, Current Edition (CLS-CE); and c) All applicable local, provincial, and federal codes, ordinances, and regulations.
- Contractor shall be responsible for verifying all existing site conditions including location of all property lines, existing structures, utilities, and buried infrastructures. Verify all field conditions prior to commencing work.
- Contractor is responsible for determining means and methods for construction. These drawings may indicate a limit of proposed improvements or limit of work for the delineation of expected extents of disturbance. Should limits of disturbance exceed boundaries defined in drawings, contractor shall contact Landscape Architect for resolution.
- Contractor is responsible for repairing all work disturbed by construction outside of limit lines defined on drawings or through their means and methods to a condition better than or equal to the existing conditions prior to commencement of construction at no additional cost to the owner.
- Contractor is responsible for maintaining a complete up-to-date set of drawings and specifications at the construction site and ensuring the documents are readily available for review by the Landscape Architect and governing agency.
- Contractor is responsible for coordination of all designs, drawings, specifications and other documents or publications upon which construction is based. Any discrepancies with the drawings and/or specifications shall be brought to the attention of the Landscape Architect, prior to proceeding with construction.
- The drawings and specifications are complementary to one another and implied to correspond with one another. Any discrepancies should be brought to the attention of the Landscape Architect for resolution immediately.
- General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.

**TREE RETENTION AND REMOVAL NOTES**

- Tree protection fencing, for existing trees, to be installed prior to commencement of all site work. Refer to Arborist's plans for location of tree protection fencing, and protection fencing detail.
- Refer to arborist's report for detailed information for existing tree resources.

**SITE GRADING AND DRAINAGE NOTES**

- All elevations are in meters.
- Refer to Architectural plans, sections and elevations for top of slab elevations. Slab elevations indicated on Landscape drawings are for reference only. Report any discrepancies to consultant for review and response.
- All road, public walkway and vehicular drive aisles and parking area elevations indicated on the Landscape drawings are for reference only. Refer to Civil Engineering drawings. Report any discrepancies to consultant for review and response.
- Confirm all existing grades prior to construction. Report any discrepancies to consultant for review and response.
- Unless otherwise noted provide a minimum slope of 2% on all hard and soft landscape areas to ensure positive drainage away from buildings, to rain gardens, or to drainage devices.
- All landscape areas shall not exceed a maximum slope of 3:1 in all instances.
- Upon discovery, contractor to refrain from blasting rock to meet landscape subgrades. Contractor to contact Landscape Architect on how to proceed in each instance.

**IRRIGATION NOTES**

- Contractor to provide irrigation system for all planters to current IABC Standards and Contract Specifications.
- All specified work to meet the project specifications, and all standards or specifications established in the latest edition of the Canadian Landscape Standard and IABC standards.
- Design/build drawings for detailed irrigation plan to be submitted to Contract Administrator in PDF and dwg formats at least 4 weeks prior to commencement of irrigation installation.
- Utilities - Contractor to verify location of all on-site utilities, prior to construction. Restoration of damaged utilities shall be made at the contractor's expense, to the satisfaction of the owner's representatives.
- Refer to electrical drawings for electrical service.
- Controller and backflow prevention device to be located in Mechanical Room, unless otherwise noted. Refer to Mechanical drawings for size and location of irrigation service.
- Contractor to verify pressure and flow prior to installation of irrigation and notify owner's representative in writing if such data adversely affects the operation of the system.
- Sleeves shall be installed at the necessary depths, prior to pavement construction. Steeving shall extend 300 mm from edge of paving into planting area, and shall have ends marked above grade unless otherwise shown.
- Contractor to field fit irrigation system around existing trees, to limit disturbance to root systems.
- All various mistletoes during construction, inspection and testing of components will be required to ensure that the performance of irrigation system meets standards and specifications. Contractor to provide equipment and personnel necessary for performance of inspections and tests. Conduct all inspections and tests in the presence of the contract administrator. Keep work uncovered and accessible until successful completion of inspection or test.
- Over spray onto landscape areas to be minimized. Use drip irrigation within small planting areas to avoid overspray.
- Trees within shrub or rain garden areas to be irrigated with spray heads.
- Trees in Plaza in hard pavement (soil cells below) to receive temporary irrigation system around root collar and permanent drip irrigation system.

**GROWING MEDIUM NOTES**

- Refer to Landscape Specifications for growing medium properties by soil type.
- Advise Contract Administrator of sources of growing medium to be utilized 14 days in advance of starting work.
- Growing medium properties and handling shall meet CLS-CE (see Section 6 CLS-CE).
- Contractor is responsible for soil analysis and amendment requirements to supply suitable growing medium, as specified by testing agency. Soil analysis and amendment costs shall be included in the price for the work.
- Submit to the Landscape Architect a copy of the soil analysis report from Pacific Soil Analysis Inc. 5-11720 Voyager Way, Richmond, BC, V6X 3G9, p. 604-273-8226. The analysis shall be of tests done on the proposed growing medium from stratified samples taken from the supply source. Costs of the initial and all subsequent tests to ensure compliance shall be borne by the Contractor.
- Contract Administrator will collect sample of growing medium in place and determine acceptance of material, depth of growing medium and finish grading. Approval of growing medium material subject to soil testing and analysis. Planting is not to occur until finished grades have been approved by Contract Administrator.

**SITE LAYOUT NOTES**

- Provide layout of all work for approval by Contract Administrator prior to proceeding with work. Requests for site review as required 48 hours in advance of performing any work, unless otherwise noted on this sheet.
- Layout and verify dimensions prior to construction. Bring discrepancies to the attention of the Contract Administrator.
- Written dimensions take precedence over scale. Do not scale drawings.
- All plan dimensions in metres and all detail dimensions in millimetres, unless otherwise noted.
- Where dimensions are called as 'equal' or 'led', space referenced items equally, measured to centre line.

**GENERAL PLANTING NOTES**

- Plant quantities on Plans shall take precedence over plant list quantities.
- Provide layout of all work for approval by Contract Administrator prior to proceeding with work.
- Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
- Plant quantities and species may change between issuance of DP and Construction due to plant availability and design changes. Substitutions to be approved by Landscape Architect.

**PAVING NOTES**

- Final concrete control joint layout to be confirmed by Landscape Architect prior to installation. Control joints to logically align with edges, corners, and intersections of Landscape and Architectural elements and/or as indicated on plan. Contractor to obtain layout approved by Landscape Architect prior to installation. Contractor to pour concrete pavement in alternating panels as required to achieve control joint design and to prevent cracking.
- Cast in place concrete areas that are subject to vehicular loading shall be structurally reinforced for applicable vehicular loading requirements. See Structural Engineering drawings.

**OFF-SITE IRRIGATION NOTES**

- All boulevard irrigation work, including required inspections, shall comply to City of Victoria Supplementary Specifications for Street Trees and Irrigation Schedule C, Bylaw 12-042, Subdivision Bylaw.
- The irrigation system and sleeving inspection requirements can be found in Schedule C of the Victoria Subdivision and Development Servicing Bylaw No. 12-042. Irrigation Inspections required for all sleeving, open trench mainline and lateral lines, system operation, controller, backflow preventer (incl. inspection tag and testing report), Call CoV Parks 250-361-0600 min. 2 days in advance to arrange for irrigation inspections.
- Design/build drawings for boulevard irrigation drawings must be submitted to Parks Division and Landscape Architect for review and approval minimum 30 days prior to installation work.
- Boulevard irrigation point of connection to be 25 mm service from existing water connection, refer to Civil drawings for location. Separate water meter and timer/controller, to be provided at point of connection. Timer/controller for boulevard areas must be readily accessible to municipal staff.
- Boulevard irrigation to be inspected as per municipal specification by municipal staff. Boulevard tree irrigation system will be maintained and operated by municipality, after it is inspected and approved by municipal staff.
- Boulevard Irrigation electric zone valves to be RainBird PGA, except tree drip valves: Rainbird Low Flow Control Zone Kit w/ PR Filter, XZCLF-F100-PR1.
- 100mm diameter PVC Sleeving is required for all irrigation piping installed under hard surfaces. Extend sleeve 300mm beyond edge of hard surface into soft landscape areas.

**OFF-SITE IRRIGATION INSPECTIONS REQUIRED**

- The following irrigation and sleeving inspections by Parks Staff are required by Schedule C, Please contact Tom Shebo, tshebo@victoria.ca and copy treperms@victoria.ca 48 hours prior to the required inspection time to schedule an inspection.
  - Irrigation sleeving prior to backfilling
  - Open trench main line and pressure test
  - Open trench lateral line
  - Irrigation system, controller, coverage test, backflow preventer assembly test report required, backflow assembly is to have an inspection tag completed and attached.

**BOULEVARD PLANTING NOTES**

- The Victoria Subdivision and Development Servicing Bylaw No. 12-042 and the associated Schedules can be found on the City of Victoria Bylaws webpage.
- The finished grade for boulevards must be firm against footprints, loose treated, free of all stones, roots, and branches.
- A soil test for the growing media, for each landscape application on City Property must be submitted to the City Parks treperms@victoria.ca for review at least one week prior to soil placement. Growing media must meet the standards for each specific landscape application as required in the current edition of the Canadian Landscape Standard.
- Street trees must have one dominant central leader or single straight trunk, 6-8 cm diameter caliper measured 15 cm above ground, and a well-balanced crown with branching starting at 1.5 m - 2.5 m above ground. Trees must be planted per the City of Victoria Supplemental SD PS (Tree Planting in Sidewalk with Tree Guard), soil cell specs and the Canadian Landscape Standard.
- Please contact Eryn Buzza, ebuzza@victoria.ca and also copy treperms@victoria.ca 48 hours prior to the required inspection time to schedule an inspection.

**OFF-SITE HORTICULTURE INSPECTIONS REQUIRED**

- The following inspections are required for all off-site horticulture areas:
  - Excavated and scarified subgrade prior to placement of growing media.
  - Installed and prepared growing media prior to planting.
  - Plant material on-site prior to planting.
  - Planted landscape prior to final mulch installation.
  - At time that planted and mulched landscape meets the conditions for Total Performance as required by IMCDD.
- Required Parks inspectors for street tree planting:
  - Inspection of excavated tree pits, soil cells, root barriers.
  - Inspection of tree stock prior to planting.
  - Inspection of installed tree - tree planting, grate/guard, stakes, etc. Trees must be in good health and condition with no visible signs of disease, insect pests, or damage, and comply with the latest version of the Canadian Landscape Standard.

**WARRANTY AND MAINTENANCE NOTES**

- Contractor is responsible for Maintenance from installation to Acceptance of the work by the Contract Administrator.
- Refer to Landscape Specifications for Maintenance Period following Acceptance.
- Landscape installation to carry a 1-year warranty from date of acceptance. This warranty is based on adequate maintenance by the Owner after Acceptance, as determined by the Landscape Architect. The Contractor will not be responsible for plant loss or damage to other products by causes out of the Contractor's control, such as vandalism, "acts of God", "excessive wear and tear", or abuse.
- Contractor is responsible for plant damage, failure and death due to poor delivery, storage and handling, and all other installation related aspects up until the End of Warranty period.
- Plant material, installation and maintenance to conform with the current edition of the Canadian Landscape Standards, and the Contract Specifications

**LIST OF ABBREVIATIONS**

APPROX	APPROXIMATE	M	METRE
ARCH	ARCHITECT	MAX	MAXIMUM
AVS	AVERAGE	MFR	MANUFACTURER
B&B	BALLED AND BURLAPPED	MNS	MINIMUM
BLDG	BUILDING	MISC	MISCELLANEOUS
BM	BENCHMARK	MM	MILLIMETRE
BC	BOTTOM OF CURB	N	NORTH
BR	BOTTOM OF RAMP	NOI	NOT IN CONTRACT
BS	BOTTOM OF STEP	NO	NUMBER
BW	BOTTOM OF WALL	NOM	NOMINAL
CAL	CALIPER	NTS	NOT TO SCALE
CB	CATCH BASIN	OC	ON CENTER
CC	CIRC FEET	OD	OUTSIDE DIAMETER
CL	CENTRE LINE	PC	POINT OF CURVATURE
CLP	CAST IN PLACE	PE	POLYURETHANE
CL	CLEARANCE	PL	POINT OF INTERSECTION
CM	CENTIMETER	PL	PROPERTY LINE
CO	CLEAN OUT	PT	POINT POINT OF ANGENCY
CONT	CONTINUIT	PVC	POLYVINYL CHLORIDE
CU M	CUBIC METRE	QTY	QUANTITY
REF	REFERENCE	R	RADIUS
DEMO	DEMOLISH DEMOLITION	REF	REFERENCE
DIA	DIMENSION	RENF	REINFORCE(D)
DIM	DIMENSION	REQD	REQUIRED
DWG	DRAWING	RES	RESURFACING
EA	EACH	ROW	RIGHT OF WAY
ENG	ENGINEER	S	SOUTH
EQ	EQUAL	SAN	SANITARY
EST	ESTIMATE	SD	STORM DRAIN
E W	EACH WAY	SF	SQUARE FOOT (FEET)
EXIST	EXISTING	SHT	SHEET
EXP	EXPANSION EXPOSED	SIM	SIMILAR
FEE	FRESH FLOOR ELEVATION	SIM	SIMILAR
FG	FISHED GRADE	SO M	SQUARE METRE
FT	FACE OF CURB	SPCS	SPECIFICATIONS
FT	FOOT (FEET)	STA	STATION
FTG	FOOTING	STD	STANDARD
GA	GRADE	SYM	SYMMETRICAL
GEN	GENERAL	TAB	TOP AND BOTTOM
HORIZ	HORIZONTAL	TC	TOP OF CURB
HT	HEIGHT	TF	TOP OF FINISH
IN	INCHES	TH	THICK
INV	INVERT ELEVATION	TOPO	TOPOGRAPHY
INCL	INCLUDED	TR	TRAFFIC
JT	JOINT	TS	TOP OF STEP
LF	LINEAR FEET	TY	TYPICAL
LP	LOW POINT	W	WALKS
		W	VOLUME
		W	WITH
		WO	WITHOUT
		WT	WEIGHT
		WL	WATER LEVEL
		WVF	WELDED WIRE FRAME
		YD	YARD
		@	AT

**LINE TYPE LEGEND**

---	Property line
---	Building Footprint
---	Extent of Roof / Canopy, above
---	Extent of Parkade, below
---	Right of Way
---	Rain garden - TOP OF POOL
---	Rain garden - BOTTOM OF POOL
---	Proposed Contour Line, 0.5m interval
---	Existing Contour Line, 0.5m interval
---	Extent of Existing Tree Line
---	SPEA
---	RAR Setback

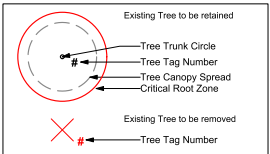
**UNDERGROUND UTILITIES**

(Shown for reference only - refer to Civil Engineer's drawings)

EXISTING	PROPOSED
---	Storm Drain
---	Storm
---	Water
---	Electrical
---	Gas
---	Hydro Tel

**EXISTING TREE LEGEND**

(Refer to Arborist Report and Tree Management Plan for full details and management strategies)



**MATERIALS LEGEND**

[Symbol]	Municipal Sidewalk Cast in Place Concrete with Fine Broom Finish, Treated Joints and Banding, as per City of Victoria Streetscape Guidelines.	Refer to Civil
[Symbol]	Asphalt Paving	Refer to Civil
[Symbol]	Broad Street Paving Specialty finished Paving, mortar set, to match existing	Refer to Civil

**HARDSCAPE SURFACES**

ITEM NO.	DESCRIPTION	DETAIL/REF
1.1	Permeable Concrete Unit Paving - Vehicular Belgard Aquaine Series, 80 mm thickness, herringbone pattern, absolute any colour.	1-L3.01 32 14 13
1.2	Unit Paver - On Pedestal Belgard Texasa Slabs, Natural Colour	2-L3.01 32 14 13
1.3	Concrete Paving Sawed control joints, light broom finish	Refer to Arch/Structural
1.4	Stamped Concrete Pattern to be reviewed with consultant prior to installation.	Refer to Arch/Structural
1.5	Concrete Band 300mm wide	3-L3.01 32 14 13

**SOFTSCAPE**

3.1	Green Roof Area Next Level LionLess II, pre-grown roof modular tray system, or approved equivalent, installed by Next Level-qualified installer.	1-DET1 L3.01 See MR Spec.
-----	---	---------------------------------

**SITE FURNISHINGS**

ITEM NO.	DESCRIPTION	DETAIL/REF
5.1	Bike Rack Downtown Bike rack	4-L3.01 32 33 00
5.2	Proposed Single Globe Light To match existing, refer to Civil	Refer to Civil
5.3	Tree Grate - Broad Street Square specialty tree grate to match existing	32 33 00
5.4	Tree Grate - Johnson Street 4ft W square tree grate	32 33 00
5.5	In Ground Lighting Refer to Electrical for fixture	Refer to Elec.



NOT FOR CONSTRUCTION

2	DP REV	2025-01-27
1	DP	2024-10-22
No.	Issued For	Issue Date



client  
**CHARD DEVELOPMENT**

project  
BROAD STREET  
1312-1314 BROAD ST  
VICTORIA, BC

sheet title  
**General Information**

project no.	123.13
scale	@ 24"x36"
drawn by	MU/SC
checked by	SM
sheet no.	

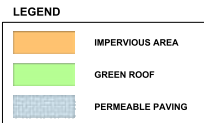
**L0.01**

ALL DRAWINGS TO BE READ IN ASSOCIATION WITH CONTRACT SPECIFICATIONS.





1 On Site Stormwater Management  
Scale: 1:150



CITY OF VICTORIA STORMWATER CALCULATIONS

Site Stormwater Storage Requirements

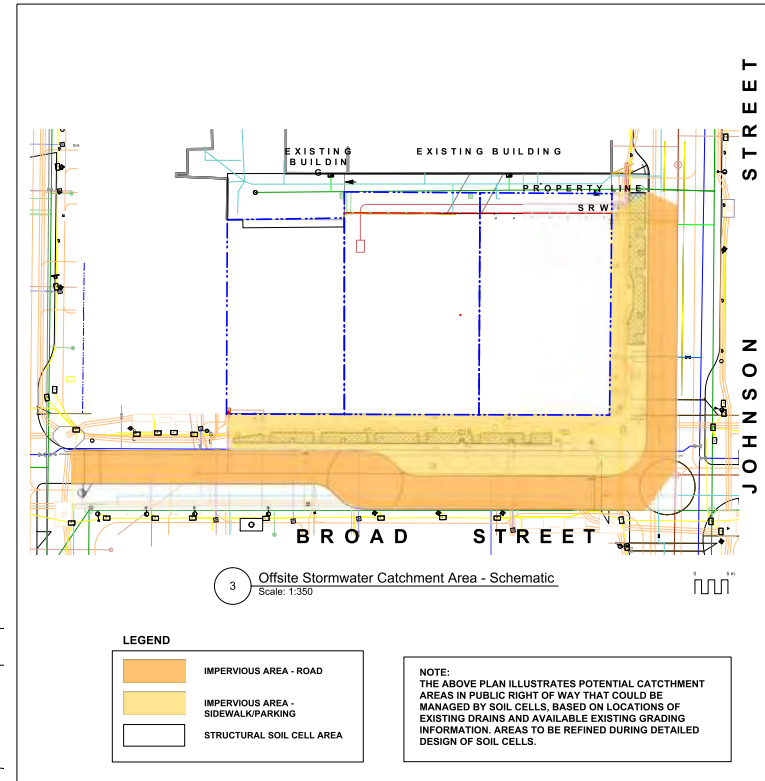
	Area (sq. m.)	Required Storage Volume for Design Storm* (cu. m./day)
<b>Total Site Area</b>	<b>1884.5</b>	<b>60.3</b>
Onsite Building and Hardscape Area (includes permeable paving and Green Roof)	1884.5	60.3
Permeable Paving Area **	163.6	5.2
Green Roof Area****	293.0	9.4
<b>Total Impervious Area</b>	<b>1427.9</b>	<b>45.7</b>

Assumptions

\* Design storm is 32mm of water, in a 24 hr period.

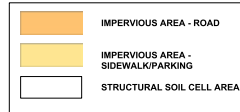
\*\* Permeable paving area to be permeable unit paving without rock reservoir and is designed to manage only rainfall that falls directly to its surface.

\*\*\*\*Landscaped areas require minimum 170mm depth of growing medium in order to manage 32mm rainfall / 24 hours (assuming 20% void space). Engineered green roof systems that are shown to meet the minimum requirements may also be included.



3 Offsite Stormwater Catchment Area - Schematic  
Scale: 1:350

LEGEND



NOTE:  
THE ABOVE PLAN ILLUSTRATES POTENTIAL CATCHMENT AREAS IN PUBLIC RIGHT OF WAY THAT COULD BE MANAGED BY SOIL CELLS. BASED ON LOCATIONS OF EXISTING DRAINS AND AVAILABLE EXISTING GRADING INFORMATION. AREAS TO BE REFINED DURING DETAILED DESIGN OF SOIL CELLS.



MDI LANDSCAPE ARCHITECTS  
11111 Victoria Road, Suite 100  
Victoria, BC V8L 2P6

NOT FOR CONSTRUCTION



No.	Issued For	Issue Date
2	DP REV	2025-01-27
1	DP	2024-10-22



client  
**CHARD DEVELOPMENT**

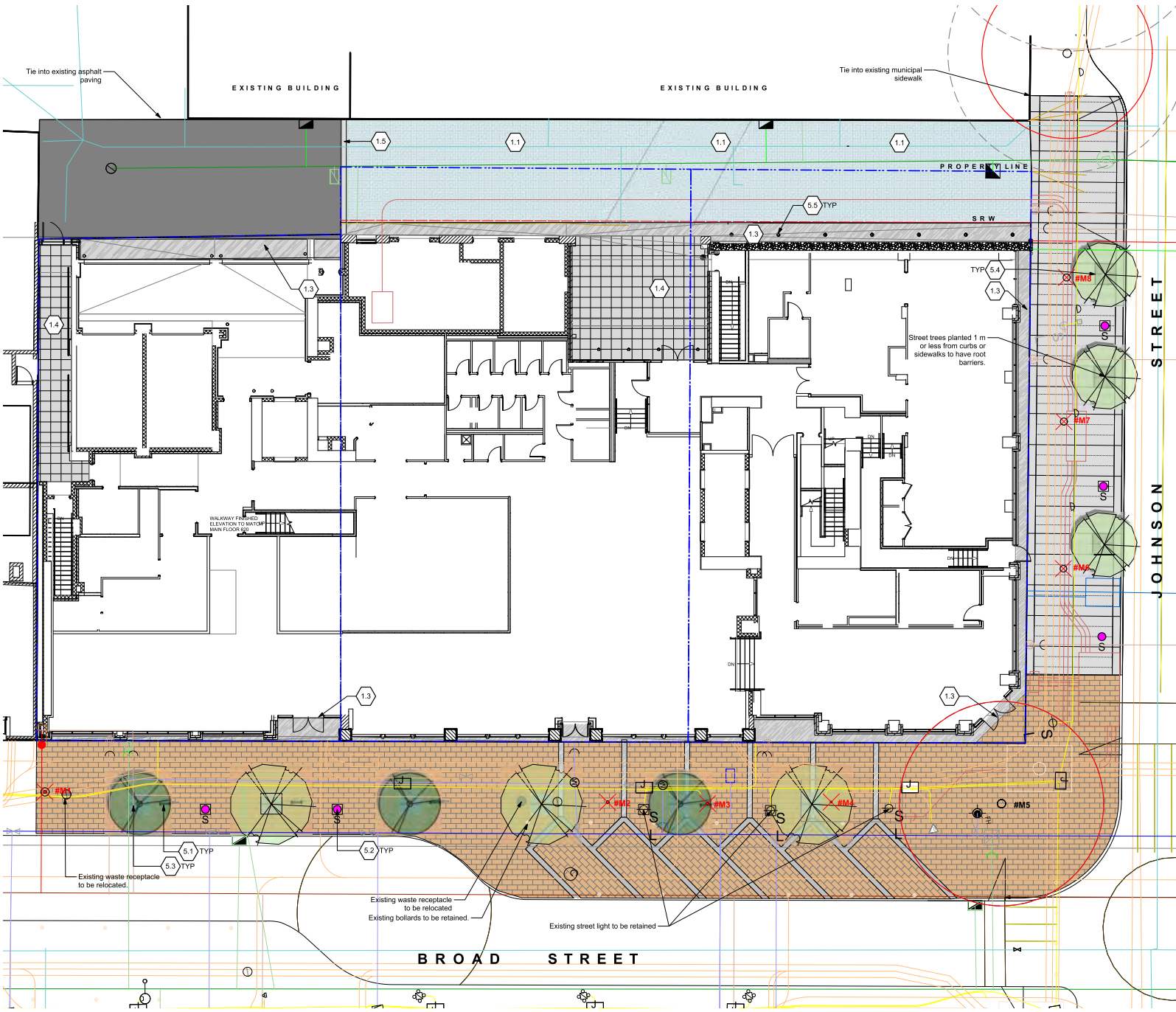
project  
BROAD STREET  
1312-1314 BROAD ST  
VICTORIA, BC

sheet title  
**Onsite Stormwater Management Plan**

project no.	123.13
scale	1:150 @ 24"x36"
drawn by	MU/SC
checked by	SM
sheet no.	

**L0.02**





**EXISTING TREE LEGEND**  
*(Refer to Arborist Report and Tree Management Plan for full details and management strategies.)*

- Existing Tree to be retained
  - Tree Trunk Circle
  - Tree Tag Number
  - Tree Canopy Spread
  - Critical Root Zone
- Existing Tree to be removed
  - Tree Tag Number

**MATERIALS LEGEND**

- Municipal Sidewalk  
Cast in Place Concrete with Fine Broom Finish, Toler Joints and Basalt Banding, as per City of Victoria Streetscape Guidelines.
- Asphalt Paving
- Broad Street Paving  
Specialty Red Brick Paving, mortar set, to match existing.

**1.0 HARDSCAPE SURFACES**

- 1.1 Permeable Concrete Unit Paving - Vehicular  
Belgard Aquiline Series, 80 mm thickness, heterogeneous pattern, shadow grey colour.
- 1.2 Unit Paver - On Pedestal  
Belgard Tensax SSB, Natural Colour
- 1.3 Concrete Paving  
Sawcut control joints, light broom finish
- 1.4 Stamped Concrete  
Pattern to be reviewed with consultant prior to installation.
- 1.5 Concrete Band  
300mm wide

**3.0 SOFTSCAPE**

- 3.1 Green Roof Area  
Next Level Lite/Less III, pre-grown roof modules on tray system, or approved equivalent. Installed by Next Level qualified installer.

**5.0 SITE FURNISHINGS**

- 5.1 **I** Bike Rack  
Downtown Bike rack
- 5.2 **S** Proposed Single Globe Light  
To match existing, refer to Civil
- 5.3 Tree Grate - Broad Street  
Square specialty tree grate to match existing.
- 5.4 Tree Grate - Johnson Street  
48" W square tree grate
- 5.5 In Ground Lighting  
Refer to Electrical for fixture



NOT FOR CONSTRUCTION

No.	Issued For	Issue Date
2	DP REV	2025-01-27
1	DP	2024-10-22



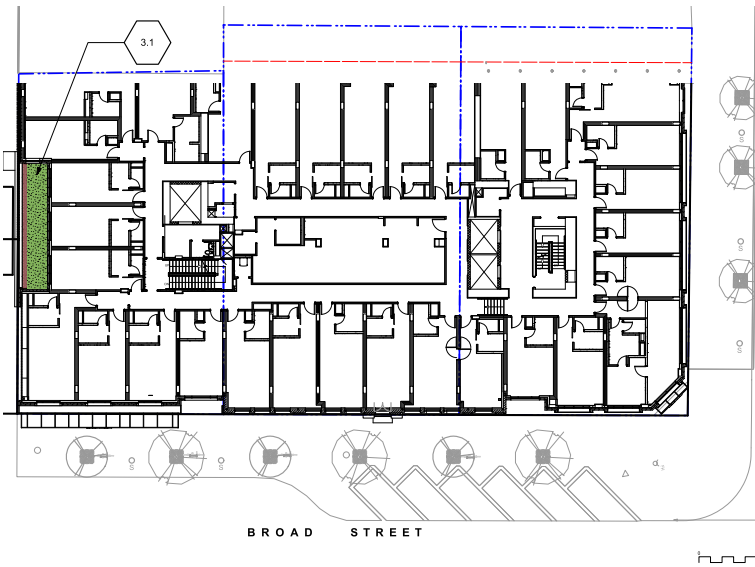
client  
**CHARD DEVELOPMENT**

project  
 BROAD STREET  
 1312-1314 BROAD ST  
 VICTORIA, BC

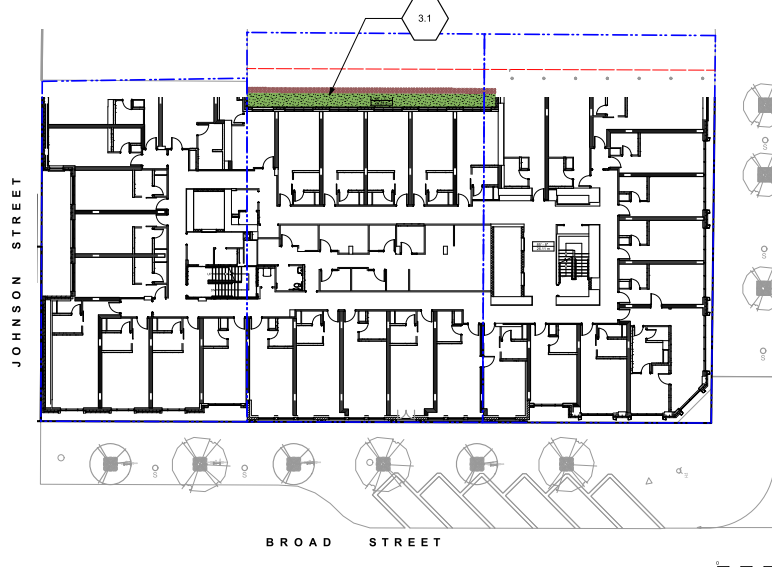
sheet title  
**Landscape Materials Plan - At Grade**

project no. 123.13  
 scale 1:100 @ 24"x36"  
 drawn by ML/SC  
 checked by SM  
 sheet no. **L1.01**

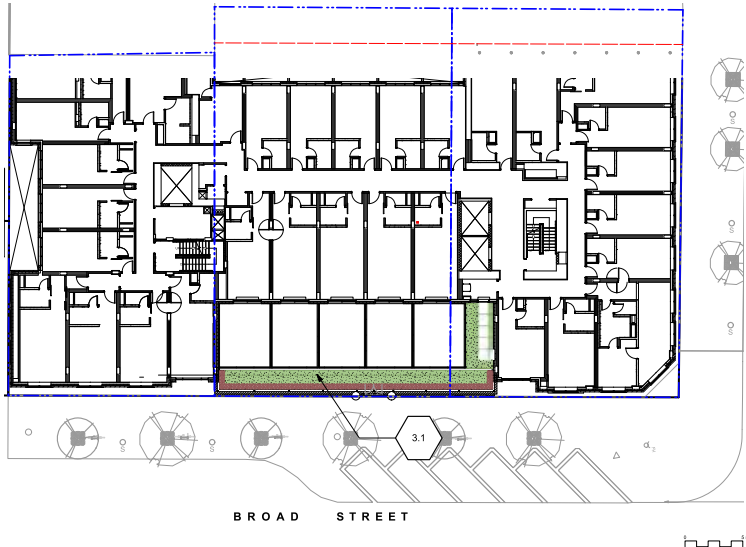




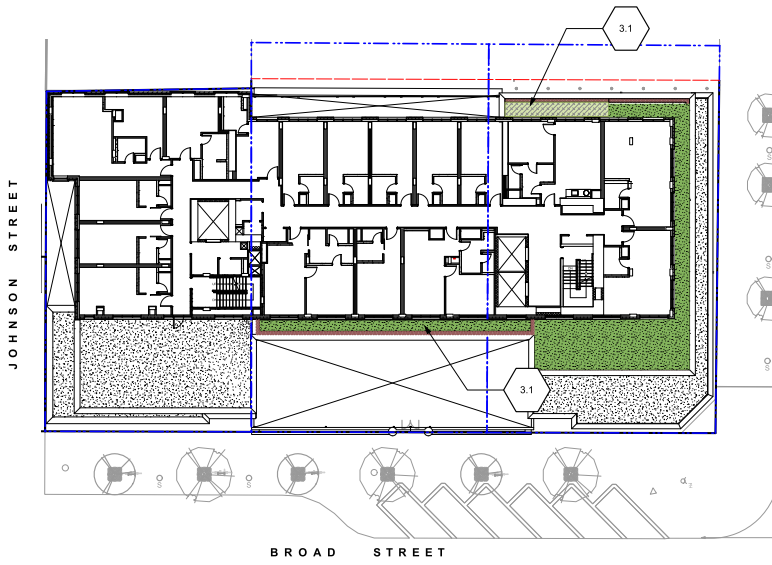
1 Level 3 Landscape Plan  
Scale: 1:200



2 Level 4 Landscape Plan  
Scale: 1:200



3 Level 5 Landscape Plan  
Scale: 1:200



4 Level 7 Landscape Plan  
Scale: 1:200

MATERIALS LEGEND	
	Municipal Sidewalk Cast in Place Concrete with Fine Broom Finish, Tabled Joints and Bead Banding, as per City of Victoria Streetscape Guidelines.
	Asphalt Paving
	Broad Street Paving Specialty Red Brick Paving, mortar set, to match existing.
<b>1.0 HARDSCAPE SURFACES</b>	
1.1	Permeable Concrete Unit Paving - Vehicular Belgard Aquiline Series, 80 mm thickness, hexagon pattern, shadow grey colour.
1.2	Unit Paver - On Pedestal Belgard Texada Slab, Natural Colour.
1.3	Concrete Paving Sawcut control joints, light broom finish.
1.4	Stamped Concrete Pattern to be reviewed with consultant prior to installation.
1.5	Concrete Band 300mm wide.
<b>3.0 SOFTSCAPE</b>	
3.1	Green Roof Area Next Level LiteNLess III, pre-green roof modules on tray system, or approved equivalent. Installed by Next Level qualified installer.
<b>5.0 SITE FURNISHINGS</b>	
5.1	Bike Rack Downtown Bike rack.
5.2	Proposed Single Globe Light To match existing, refer to Civil.
5.3	Tree Grate - Broad Street Square specialty tree grate to match existing.
5.4	Tree Grate - Johnson Street 48" W square tree grate.
5.5	In Ground Lighting Refer to Electrical for fixture.



MDI LANDSCAPE ARCHITECTS  
11111 STEWART STREET, SUITE 100  
VICTORIA BC V8L 2P6



NOT FOR CONSTRUCTION

No.	Issued For	Issue Date
2	DP REV	2025-01-27
1	DP	2024-10-22



client  
**CHARD DEVELOPMENT**

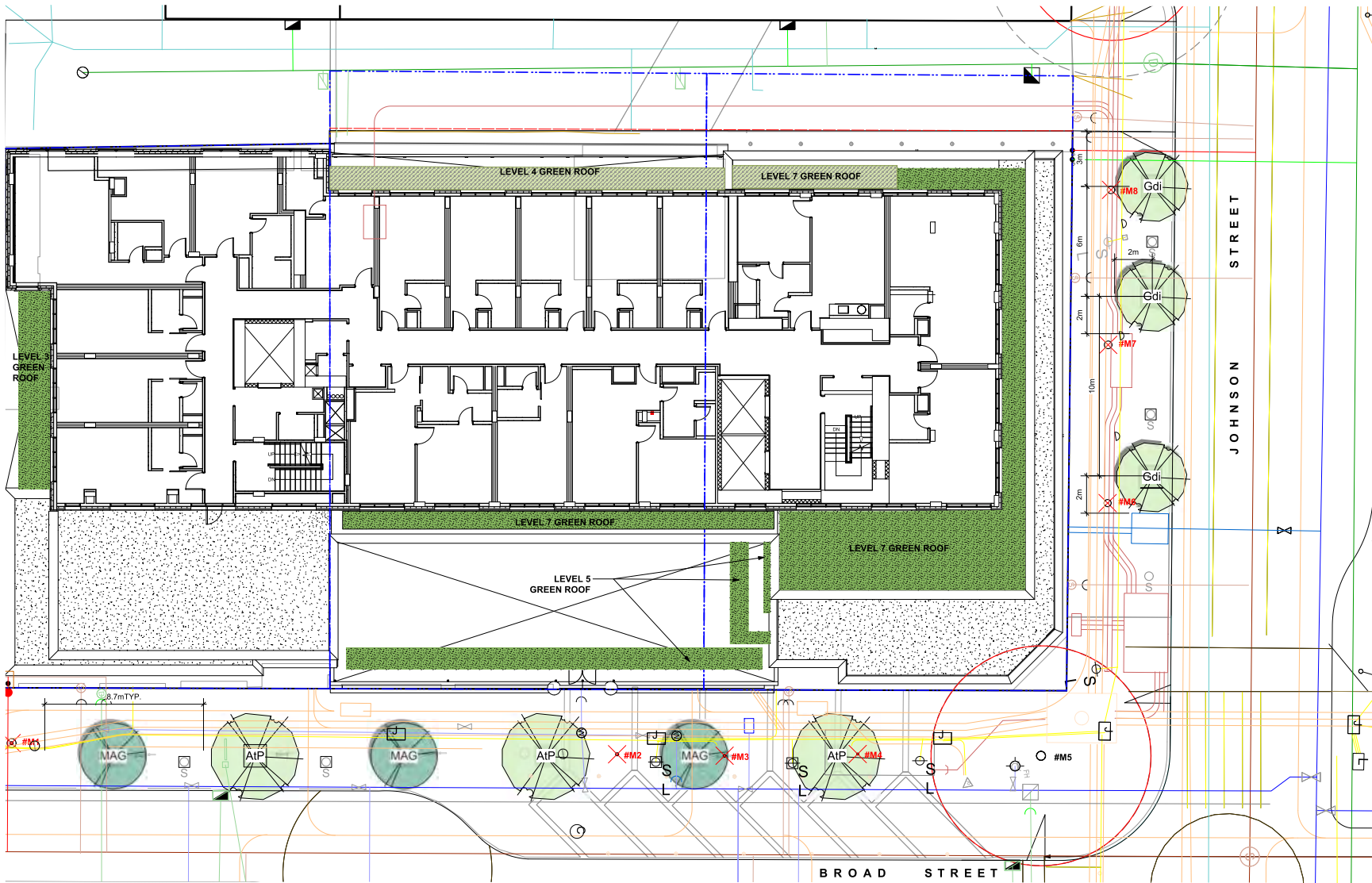
project  
BROAD STREET  
1312-1314 BROAD ST  
VICTORIA, BC

sheet title  
**Landscape Materials Plan - Terrace Levels**

project no.	123.13
scale	1:100 @ 24"x36"
drawn by	MU/SC
checked by	SM
sheet no.	

**L1.02**





PLANT LIST				
LEVEL 1				
Sym	Qty	Botanical Name	Common Name	Sched. Size / Plant Spacing
<b>TREES:</b>				
AIP	3	Acer truncatum 'Pacific Sunset'	Shantung Maple	5.0 cm cal, b+b
Gdi	3	Gymnocladus dioica 'espresso'	Espresso Coffeetree	5.0 cm cal, b+b
MAG	3	Magnolia kobus	Kobus Magnolia	5.0cm cal, b+b
<b>LEVEL 3 GREEN ROOF - PREGROWN SEDUM MAT/BLANKET SUITABLE FOR SUNNY AREAS</b>				
AREA: 18.6 sq m				
30%		Sedum acre		
20%		Sedum album 'Coral Carpet'		
20%		Sedum kamtschaticum		
20%		Sedum rupestre		
20%		Sedum spurium		

GREEN ROOF LEVEL 4 - PREGROWN SEDUM MAT/BLANKET SUITABLE FOR SHADY AREAS				
AREA: 26.4 sq m				
16.5%	Aquilegia formosa	Red Columbine	Sp3, 30cm o.c.	
16.5%	Cornus canadensis	Bunchberry	Sp3, 30cm o.c.	
16.5%	Dicentra formosa	Western Bleeding Heart	Sp3, 30cm o.c.	
16.5%	Gaulltheria shallon	Salal	Sp3, 30cm o.c.	
16.5%	Oxalis oregana	Redwood Sorrel	Sp3, 30cm o.c.	
16.5%	Polypodium glycyrrhiza	Licorice Fern	Sp3, 30cm o.c.	
<b>GREEN ROOF LEVEL 5 - PREGROWN SEDUM MAT/BLANKET SUITABLE FOR SUNNY AREAS</b>				
AREA: 34.8 sq m				
20%	Sedum acre			
20%	Sedum album 'Coral Carpet'			
20%	Sedum kamtschaticum			
20%	Sedum rupestre			
20%	Sedum spurium			

GREEN ROOF LEVEL 7 - PREGROWN SEDUM MAT/BLANKET SUITABLE FOR SHADY AREAS				
AREA: 11.1 sq m				
16.5%	Aquilegia formosa	Red Columbine	Sp3, 30cm o.c.	
16.5%	Cornus canadensis	Bunchberry	Sp3, 30cm o.c.	
16.5%	Dicentra formosa	Western Bleeding Heart	Sp3, 30cm o.c.	
16.5%	Gaulltheria shallon	Salal	Sp3, 30cm o.c.	
16.5%	Oxalis oregana	Redwood Sorrel	Sp3, 30cm o.c.	
16.5%	Polypodium glycyrrhiza	Licorice Fern	Sp3, 30cm o.c.	
<b>GREEN ROOF LEVEL 7 - PREGROWN SEDUM MAT/BLANKET SUITABLE FOR SUNNY AREAS</b>				
AREA: 98.6 sq m				
20%	Sedum acre			
20%	Sedum album 'Coral Carpet'			
20%	Sedum kamtschaticum			
20%	Sedum rupestre			
20%	Sedum spurium			

REPLACEMENT TREE SUMMARY			
Refer to Arborist's Report for further details.			
REQUIRED (as per Tree Protection Bylaw)			
Lot Area:	1185 sq m		
Minimum # of Trees for Lot Area:	9		
ONSITE Minimum replacement tree requirement			
	Count	Multiplier	Total
1.1 Replacement Trees - Schedule E Part 1	-	-	-
2.1 Replacement Trees - Schedule E Part 2	-	-	-
<b>Total Replacement Trees Proposed</b>			<b>9</b>



NOT FOR CONSTRUCTION

No.	Issued For	Issue Date
2	DP REV	2025-01-27
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client  
**CHARD DEVELOPMENT**

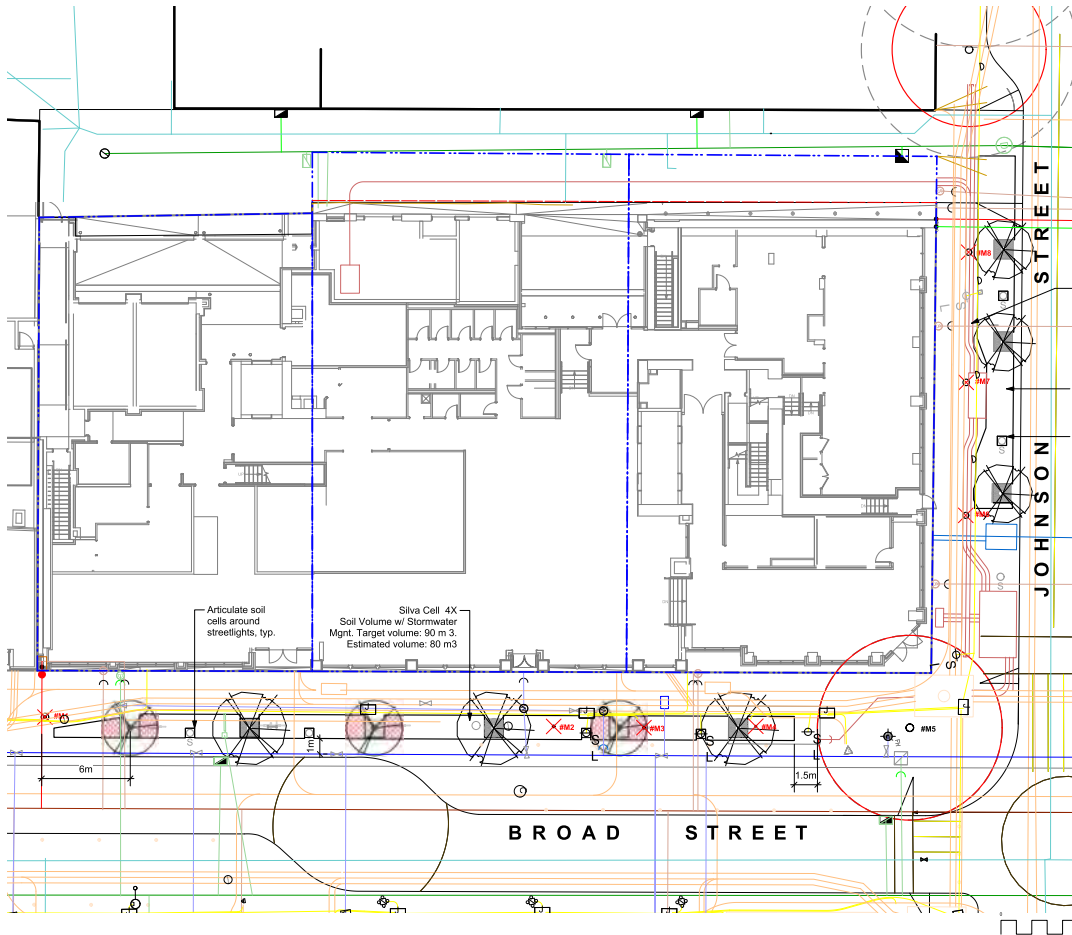
project  
BROAD STREET  
1312-1314 BROAD ST  
VICTORIA, BC

sheet title  
**Planting Plan**

project no. 123.13  
scale 1:100 @ 24"x36"  
drawn by MU/SC  
checked by SM  
sheet no.

**L2.01**



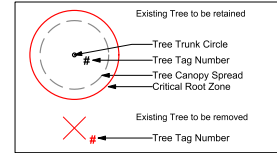


**SOIL CELLS LEGEND**

3.11 Soil Cell  
Structural Soil Cell with integrated stormwater management, no infiltration target volume and estimated volume noted on plan. Detailed design will confirm actual volumes available based on target volumes and area suitable for soil cells.

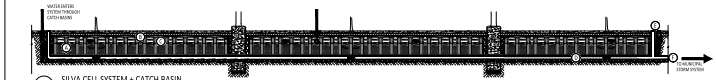
**EXISTING TREE LEGEND**

*(Refer to Arborist Report and Tree Management Plan for full details and management strategies.)*



**GENERAL NOTES:**  
ALL VOLUMES ARE APPROXIMATE - PRECISE VOLUMES WILL BE DETERMINED IN CONSULTATION WITH SOIL CELL SUPPLIER.

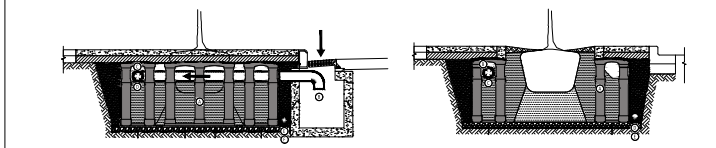
**TREE CELLS WITH INTEGRATED STORMWATER MGMT SAMPLE DETAILS**



KEY PLAN

- A SILVA CELL SYSTEM (DECK, BASE, AND POSTS)
- B OPTIONAL PONDING SPACE
- C DISTRIBUTION PIPE
- D COLLECTION PIPE
- E CLEANOUT
- F CONNECTION TO MUNICIPAL STORM SYSTEM

DIRECTION OF WATER FLOW →



KEY PLAN

- A SILVA CELL SYSTEM (DECK, BASE, AND POSTS)
- B OPTIONAL PONDING SPACE
- C DISTRIBUTION PIPE
- D COLLECTION PIPE
- E CONNECTION TO MUNICIPAL STORM SYSTEM

DIRECTION OF WATER FLOW →

KEY PLAN

- A SILVA CELL SYSTEM (DECK, BASE, AND POSTS)
- B OPTIONAL PONDING SPACE
- C DISTRIBUTION PIPE
- D COLLECTION PIPE
- E CONNECTION TO MUNICIPAL STORM SYSTEM

DIRECTION OF WATER FLOW →



NOT FOR CONSTRUCTION



2	DP REV	2025-01-27
1	DP	2024-10-22
No.	Issued For	Issue Date



client  
**CHARD DEVELOPMENT**

project  
BROAD STREET  
1312-1314 BROAD ST  
VICTORIA, BC

sheet title  
**Soil Cell Information - Boulevard Trees**

project no. 123.13  
scale 1:200 @ 24"x36"  
drawn by ML/SC  
checked by SM  
sheet no.

**L2.02**



October 23, 2024

Revised: January 27, 2025

Mayor Alto & Council  
City of Victoria  
City Hall  
1 Centennial Square  
Victoria, BC V8W 1P6

Dear Mayor & Council,

**RE: 1306-1330 Broad Street and 615-625 Johnson Street, Victoria, BC Rezoning and Heritage Alteration Permit**

For nearly 20 years, Chard Development Ltd. (“Chard”) has been developing neighborhood enhancing, mixed-use projects in the City of Victoria. From Corazon (2005) to Cook Street Plaza (2024) - and the many projects in between and currently underway - these projects have helped to strengthen the City, bringing diverse housing options and retail vigor to a diverse section of Victorians. Now, with our continued investment in downtown Victoria’s first purpose-built hotel since 2004, Chard is excited to once again demonstrate that we are builders of – and believers in – Victoria.

Chard’s involvement in 1306-1330 Broad Street and 615-625 Johnson Street (“Broad” or “The Project”) rehabilitation and redevelopment began in 2016 with initial community engagement commencing in 2017. The significant heritage abatement and structural retention of the brick façade promotes public facing aspects of the former Duck’s building and rubble wall, as well as salvage of existing heritage building elements began in mid 2023 and remain on-going.

Since our original application was made in 2019 for a 135 room, 6-storey, lifestyle hotel, there have been significant shifts in construction costs, policy changes, and the tourism sector. In this time, we have seen the hotel construction budget balloon by more than \$200 per sq ft or 51%, hotel vacancy rates drop to under 10% during the peak (May – September) tourism months, and AirBnB operations restricted within Victoria. Over the past 15 years, the Greater Victoria market lost 1,250 hotel rooms through demolition or conversion, while only 120 new rooms were added during the same period. Tourism in Victoria has been increasing, with overall tourism growth at +9% for 2024, and the demand for hotel room nights increased by 10% year-to-date. We have also discovered that the retained heritage walls were in poorer condition than initial assessment had indicated and have had to incur material expense and schedule impact in order to safely support them in a sensitive and respectful manner. The safety adjustments were required for the team completing the work, public sidewalks, and the long-term safety of the building. When we first began this project, the original costing was \$394 per sq ft. Today, the project was recently tendered at \$595 per sq ft. for just the new structure. In addition, the heritage abatement and restoration budget was originally \$1.6M and is now \$5.1M.



In response to these challenging realities we are, by way of this application package, submitting for new Rezoning and Heritage Alteration Permits. This new application proposes a modest, significantly setback two-storey addition of 32 additional guestrooms. The additional height and commiserate density will allow the project to remain economically viable, provide additional hotel rooms, and offer additional public benefit in the form of community arts and culture contributions. The application respects the form and character of our originally approved HAP and heritage retention/restoration commitments made.

To compliment the lifestyle brand and interior design of the future hotel, Chard is looking to make a commitment to the local creative community by dedicating funds to purchase artwork directly from local artists, and to display the works in high-traffic areas of the hotel to promote Victoria as a vibrant arts and culture destination. This is an opportunity for the Victoria creative community to put their work on display to the visiting public and gain international exposure. The project will also make available meeting space to the arts and culture community free with a set number of hours each quarter.

Chard truly believes this hotel will significantly strengthen the local economy of the Old Town, enhance the activation of Broad Street, both day and night, given the hotel use of the project, and offer an opportunity to promote local events in the ground floor restaurant and meeting space. To further support this vision, Chard is also offering to fund a neighborhood enhancing catenary lighting installation along the 1300 block of Broad Street, utilizing the infrastructure that was previously installed to support this future use. Chard hopes this will encourage Broad Street to be utilized for local events, celebrations, farmer's markets, and other community building events, providing an additional cultural epicenter to Downtown Victoria.

An important part of this new Rezoning and Heritage Alteration Permit Application package is the attention to compliance with Victoria's existing Official Community Plan ("OCP") and the 2050 Emerging Policy Framework that is part of the ongoing OCP Update. Chard recognizes that the City is undergoing significant policy changes that will shape the built form of Victoria's neighbourhoods for decades to come. It is critical that we not only respect these policies in our development proposals, but that we evolve with them as they adapt to the growing nature of Victoria and its urban landscape. Our Team has conducted a comprehensive OCP review and identified key areas where this proposal responds to the contents of the OCP and Emerging Policy Framework. Please refer to Appendix A for further details.

## **SITE SUMMARY**

This proposed development occupies property owned by the University of Victoria ("UVic") along the 1300 block of Broad Street bordered by Johnson Street to the north. Chard is seeking to increase the room count from 135 to 167, of which 13 of the increase are tailored towards families with connected rooms and additional flexible space. This lifestyle hotel will be operated by a well-known and well-respected international brand chosen specifically for their commitment to procuring locally-sourced products in all aspects of the hotel operation. The brand does not currently have a presence in



downtown Victoria, creating the opportunity to bring in a new tourist base and expand the identity of Victoria as a thriving tourist destination. Working in consultation with professional heritage consultant Donald Luxton and the recommendations made in the submitted Conservation Plans, the proposed development incorporates the rehabilitation of the historic Duck's Building and the rubble stone wall of the original Duck's Carriage Factory as the central heritage design features. Built to current building and seismic codes - with sprinklers and enhanced life-safety systems - yet adhering to the Old Town Design Guidelines (2019) and in keeping with the Old Town context, the development will provide significant economic benefit while allowing UVic - by way of a 99-year land lease - to obtain annual income and retain ownership of the land.

The application includes Architectural and Landscape drawings that reflect the requested two storey addition and commiserate density, as well as supporting consultant materials.

### **KEY PROJECT BENEFITS**

This updated proposal will offer a number of benefits to Victorians, including:

- Heritage Retention and Significance;
- Investment in Victoria's Local Creative Community;
- Dedicated Fund for Procuring Local Art;
- Meeting Space for Arts Organizations;
- Funding Catenary Lighting Installation Along the 1300 Block of Broad Street;
- Public Realm Enhancements; and
- Future-Proofing with BC Hydro.

### **Heritage Retention and Significance**

Throughout the design process, careful consideration has been given to the Old Town Design Guidelines with each guideline incorporated in a meaningful way that respects the intent. Continued work with professional heritage consultant Donald Luxton has ensured that the proposed development remains responsive to the identified character-defining elements as noted in the Conservation Plans' Statements of Significance and adheres to the Old Town Heritage Guidelines, Design Principles of Good Fit, Reinforcement of Existing Character, Human Scale, Cohesiveness and Authenticity. We have listened closely to the city and incorporated enhanced elements that reflect the original application and respond sympathetically to the heritage significance of the Old Town.

While the proposed development will allow for a single-use interior, the exterior mass will be perceived as three separate buildings from the street. Beyond the Old Town Design Guidelines, the proposed development adheres to the Standards and Guidelines for the Conservation of Historic Places in Canada. Complete Conservation Plans have been prepared to guide the on-going respectful rehabilitation of the heritage resources.



As part of our originally approved Rezoning and Heritage Permit conditions, the retention and rehabilitation of historically significant components of the Duck's Building and the Duck's Carriage Factory rubble stone wall is already underway. To-date much of the work to temporarily (and permanently) support the retained rubble wall and brick facades has been completed, with shotcrete, steel walers and concrete support beams installed on site. Numerous placemaking building elements have also been salvaged and will be reused as design features within the future hotel. These elements include the 'Madame's Fireplace', original wainscoting and chair rail, period accurate wood doors and exterior wood windows from the upper floors. Large quantities of existing brick have also been carefully stockpiled and are designated for reuse in both interior and exterior areas of the building.

Along with the materials intended for reuse on-site many other building materials salvaged have been diverted from the landfill and will be used in other building projects. This includes 680 cubic yards of brick, 2,040 cubic yards of lumber and 200 cubic yards of flooring. This is equivalent to 222 average households' yearly landfill waste. This commitment to circularity mirrors Chard's commitment to maintaining the heritage of this site and our commitment to enhancing Downtown Victoria.

While there were components of the existing Duck's Building and Duck's Carriage Factory that are beyond retention, it is vital that the significance of these buildings be remembered and celebrated. To this end, as part of the interior work to be undertaken, existing salvaged components will be used in highly visible public areas and will be celebrated by way of a Heritage Acknowledgement Program as mentioned in the original proposal and previously committed to. The future hotel use providing a unique opportunity to educate both guests and the general public about the history of Simeon Duck, the Duck's Building and Carriage Factory, and the broader Victoria landscape in the late nineteenth century.

### **Investment in Victoria's Local Creative Community**

We recognize that space, access and visibility continue to be a challenge for members of Victoria's local creative community, with many of the spaces available to organizations being temporary, older and/or inaccessible. Therefore, as part of this proposal to further increase the number of hotel rooms in this project, Chard is proposing a number of benefits to support and enhance Victoria's local arts and business communities. These meaningful benefits include:

#### **Dedicated Fund for Procuring Local Art**

As part of this revised submission, we are proposing to dedicate \$50,000 to purchase artwork directly from local artists, ensuring they are fairly compensated for their work. These pieces will be prominently displayed in the main hotel lobby and elevator lobbies, providing high-traffic exposure for the artists while supporting the local creative community.

#### **Meeting Space for Arts Organizations**

Make the hotel meeting room(s) available to the Victoria Arts Council or other local arts and culture organizations on a regular basis. More specifically, this could be an agreed upon number of hours or days based on what would be of most value to the selected organization(s). The space would offer flexibility of use for monthly board meetings, pop-up exhibitions, creating temporary galleries, workshops



or artist talks, offering free or discounted space for arts education events, and collaborative projects that bring together local businesses and artist to work on community-focused art projects.

### **Funding Catenary Lighting Installation Along the 1300 Block of Broad Street**

Utilizing the infrastructure that was previously installed to support this future use. This installation enhances ambiance and creates an additional “third space” for hotel guests, business patrons and neighbours to gather into the evening, bringing further community connection to this area.



Coquitlam Centre Credit: Morguard Investments

Chard is committed to building long-lasting, purposeful communities in Victoria, and investing in the creative scene by way of partnership opportunities within the hotel would enhance the sense of place for hotel visitors and for the artists who call Victoria home. Streetscape and public realm improvements provide a warm welcome for tourists and those visiting the downtown area, as well as attracting people to the streets where many local businesses intend to thrive for years to come. With this change in height and density comes a breadth of opportunities for local community success, and we hope to bring these investments to life through our revised proposal.

### **Public Realm Enhancements**

With this proposed development, character of place has been considered and enhanced through a continuity of commercial uses at grade, wide sidewalks, appropriate tree planting, and built form compatibility between the historic and new buildings. The public nature of the hotel use - with restaurant and cafe at grade - will help to further animate the public realm. The main lobby entrance, now situated



at the intersection of Broad and Johnson Street will contribute to the pedestrian activation of this corner and allows for visibility and public access from multiple directions.

A restaurant use is being proposed within the Duck's Building portion of the Broad St. facade, utilizing the existing Ducks Building entrance. A smaller cafe is also intended to operate in between the Legacy Art Gallery and the restaurant. This commercial presence along Broad Street will enhance the frontage, pedestrian connections and activity along the streetscape. There is opportunity for further street activation by way of restaurant patio or small-scale spillover seating from the cafe.

Further, as a result of the previous rezoning a Statutory Right of Way over a portion of the site was established, allowing the City to administer a wider laneway to the west of the Duck's Building. Better serving the proposed development and the existing properties that utilize this laneway for loading, access, and exiting. A new Vista Switch, placed under newly widened boulevard on Johnson St. will also not only service the hotel but also provide additional capacity for other businesses and future development within the project vicinity.

A secondary valet entrance to the hotel, set near the southern end of the rubble stone wall, will be accessed through Duck's Alley, benefitting both the circulation through the hotel and public realm along the lane. Based on staff comments, this entrance - which will serve as a drop-off for guests with vehicle and bike valet pick-up - has been refined with pilasters and repurposed brick. Signage, lighting and visual cues - including sensitively designed signage at the rubble stone wall - will help to direct visitors. Benefitting hotel guests and adjacent buildings, these changes will reestablish Duck's Alley as an important connection to Johnson Street and a significant piece of Old Town's history.

### **Future-Proofing with BC Hydro**

The existing power capacity on site is insufficient to meet the demands of the proposed project. As part of the development, an Underground BC Hydro Vista Switch will be installed, ensuring enhanced capacity for future growth and improving reliability on the BC Hydro downtown network. Chard and the City of Victoria have worked together to create a large bulb-out on the sidewalk to house the Vista Switch and also facilitate replacement trees. This upgrade will support future developments with reliable power, reduce future disruption along Broad Street and surrounding area as the Vista Switch being installed can handle up to six large Unit Substation connections, and will be at the sole cost of the Developer.

### **ZONING AMENDMENTS**

The zoning amendments requested are a result of careful consideration of the project design requirements and the Old Town neighbourhood context. In order to realize a vibrant human-scaled streetscape with focus on the heritage character of the Duck's Building, height and density relaxations must be achieved.



### Height and Density

The proposed amendments include a change in height to 8 storeys and a change in density to 4.86 FSR, with the majority of the massing setback a minimum of 30' to minimize appearance and scale from the street, maintaining the restored Duck's Building façade as the key architectural element. Designing the new structure as subordinate to the heritage façade of the Duck's Building is a key component of the proposed amendments.

Item	Approved	Proposed
Height	18.9m	26.25m
Density	3.98 FSR	4.86 FSR

### Rooftop Coverage and Setbacks

We are requesting minor relaxations to Part 10 of the 2018 Downtown Bylaw specified requirements for rooftop structures to allow for an increased rooftop coverage percentage and lesser setbacks from the outer edges of the roof. This request is due to the design of the new structure being subordinate to the Duck's Building, accommodating increased setbacks of the upper levels and therefore less rooftop area to calculate against, and to setback from. Calculated using the outer extents of the L6 roof, the combined rooftop structures equate to 29% of the rooftop coverage, compared to the allowable 20%. In addition, the mechanical screening is set back from the roof parapet 1.4m to the lane, 2.14m to Broad and the elevator overrun is setback 0.78m.

	Part 10. Rooftop Structures	Current
2018 Downtown Bylaw	10.a. Rooftop Structure must not occupy more than 20% of the roof area of the building.	The proposed roof coverage is 29%
2018 Downtown Bylaw	10.b. A Rooftop Structure must be set back a minimum of 3.0m from the outer edge of the roof.	0.78m – Elevator overrun (Roof) 2.14m – Mech Rm/ Screen (Roof) 1.4m – Mech Screen (Roof)

### Parking and Bicycle

Due to site constraints and ensuring all operations are contained within the hotel, the parking stall count has remained unchanged. There are minor changes to the proposed long term bicycle parking and short-term bicycle parking.

Item	Approved	Proposed
Parking	36*	36*
Bikes	26 Long Term 10 Short Term	27 Long Term Short Term bike stalls to be strategically incorporated within the streetscape

\*18 stalls meet Bylaw requirements; 18 stalls are tandem parking. All accessed through Hotel's valet



**SUMMARY**

This proposed hotel and retail development will result in a community asset that will provide significant economic benefits to the City of Victoria while rehabilitating an important part of the City's history and retaining an on-going source of income for the University of Victoria. This is a unique opportunity to enhance the local and tourist experience in Old Town while contributing to the overall public realm, local creative scene, and vibrancy of the community. As mentioned above, construction cost escalations and heritage retention costs have challenged the redevelopment of the hotel and the additional public and community benefits. The two additional, setback storeys are critical in achieving these meaningful community benefits and delivering on our commitments to the City of Victoria.

We appreciate Council's consideration of this application and look forward to continuing to work with you to make a new hotel in Downtown Victoria a reality.

Sincerely,

**CHARD DEVELOPMENT LTD.**



Byron Chard  
President & CEO

CC: Karen Hoese, Director of Sustainable Planning & Community Development, City of Victoria  
Miko Betanzo, Senior Planner, Sustainable Planning & Community Development, City of Victoria  
Mark Thompson, Partner, MCMP Architects  
Aaron Petruic, Senior Associate, MCMP Architects  
Anthony Quin, Director of Development, Chard Development Ltd.



## Appendix A

### **OCP COMPLIANCE**

The Official Community Plan (“OCP”) identifies the objectives of the Core Historic Area as a place for enhancing heritage characteristics, revitalizing commercial areas, and high-quality architecture and urban design. The project strongly aligns with these objectives by way of the heritage retention focus and investments in the commercial and public realms. Chard is excited to be contributing to the Core Historic Area in a meaningful way, retaining elements of the city’s past and achieving a high standard of urban design for residents and visitors to enjoy.

There are three key elements of this proposal that respond directly to the existing OCP and Emerging Policy Framework. These elements are culture and heritage, the economy, and height and density. Our team has undergone an extensive OCP review to ensure that we are complying with the broad objectives of the OCP and looking ahead to the Emerging Policy Framework to ensure our plan aligns with the City’s future goals.

#### **Culture and Heritage**

At a high level, the OCP values identify the desire to grow upon Victoria's existing vibrancy as an economic and cultural centre. Recognizing the plan was developed in 2012, and there is an OCP update currently in the engagement stage, it is important to note that Victoria remains a destination for economic activity and culture, as this is also emphasized in the Emerging Policy Directions. This revised RZ and HAP aims to comply with the OCP values to *"... support and enhance the sense of place and community, and the uniqueness of Victoria neighbourhoods."* as well as *"reinforce the regional role of Downtown Victoria as a vibrant, engaging centre for employment, living, arts, culture, entertainment, tourism, and business."*

The OCP encourages additional financial incentives for seismic upgrading of heritage buildings, understanding this work is necessary to maintain the historic character of some of Victoria’s oldest neighbourhoods. Section 6, *Land Management and Development, Urban Core*, section 6.29.6 states the goal of *"introducing additional financial incentives to support and encourage the seismic upgrading of heritage buildings within the Downtown..."*. The necessary seismic upgrading, and general structural reinforcement of both the Duck’s Building and the Carriage Factory Rubble Wall is vitally important in ensuring they remain part of the Old Town Streetscape for many years to come. Due to their existing condition, this is a large undertaking for Chard and a material cost in the



delivery of this project. The requested additional height and density is required to balance the cost of this upgrading and preserve historically significant elements of the Old Town.

The Arts and Culture section of the OCP highlights the need for more accessible arts facilities. Section 16.15 states to *“Consider opportunities for new arts and culture facilities as part of a capital plan for visitor destination development in partnership with senior governments, organizations and private developers.”* In this revised proposal, Chard is offering accessible arts and culture facilities and programming opportunities, free of charge to artists and arts organizations, responding to the needs identified in the OCP and providing future opportunities for creative partnership.

### **Economy**

The Downtown Core Area has been recognized as the ideal focus of new employment growth and as the primary hub for economic and cultural activity. Although the boundaries of where this is may change with the OCP update, there is a sense of place in the Downtown Core for continued economic and cultural uses. The project maintains strong alignment with Victoria's economic goals, including hotel, restaurant, and café uses as supportable local employment opportunities. Incorporating additional hotel rooms in the project will only expand the employment opportunities associated with the hotel use and increase the number of residents, tourists and other visitors able to stay within the downtown area to work, play, and explore. Throughout the construction phase of the project, 426 full-time jobs will be created. Upon completion it is estimated that the hotel will generate 96 full-time positions to Victorians.

The Economy, Tourism and Visitor Services section of the OCP notes to *“14.30 Support the clustering of tourist and visitor services in the Inner Harbour and Urban Core by retaining and enhancing the mix of service, retail, offices, visitor accommodation...”* and *“14.32 Attract residents and visitors to the Urban Core through high quality and inclusive festivals, celebrations, special events, and beautification initiatives.”* The amended proposal encompasses these principles. There are benefits for residents in enhancing and beautifying the Urban Core and providing employment opportunities. This in turn supports the objectives of attracting residents and visitors to the area. Each year, the operation of the hotel will add \$14.93 million to the local economy, along with almost \$3.84 million a year in tax contributions. Visiting hotel guests will bring an additional \$6.6 million annually to the local economy and \$1.84 million in annual tax contributions.

In addition to this, the 8-storey building will produce approximately \$160k, or a 20% increase, in additional property tax revenue annually. It will also contribute \$2.5 million in

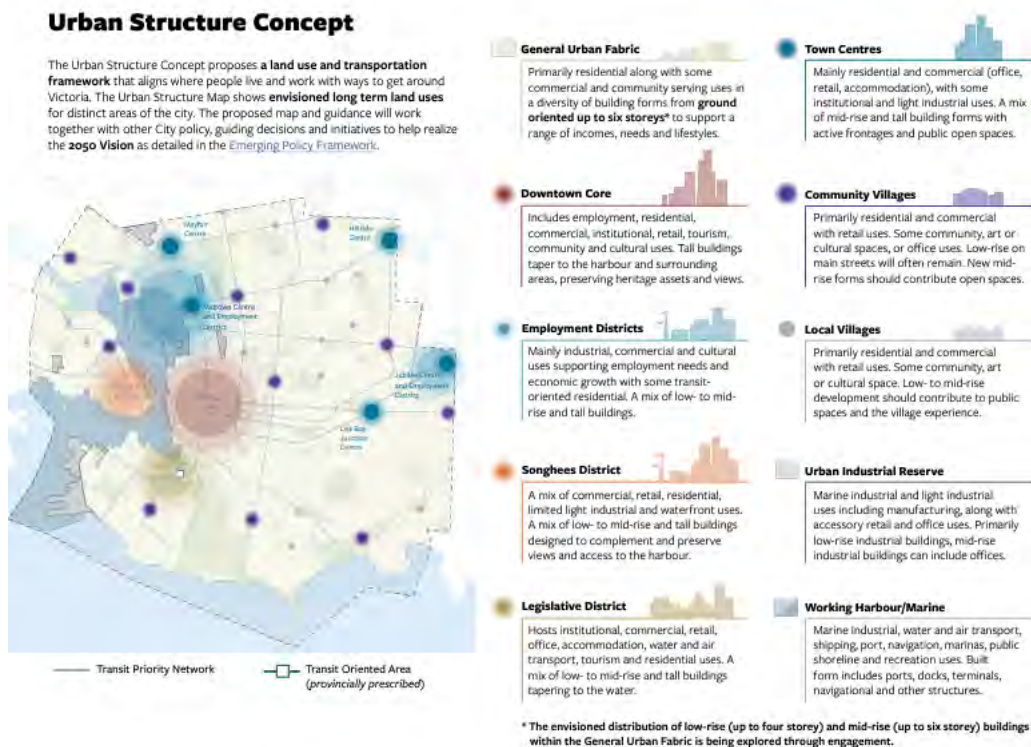


city fees, a \$700k, or 38% increase. This will allow the city to generate increased revenue for future initiatives.

## Height and Density

While the previous and newly proposed height of the hotel exceeds what is prescriptively outlined in the 2012 OCP for the Core Historic Area, the Emerging Policy Framework does envision taller buildings for the Downtown Core Area. Tall buildings are identified as "*Taller forms (generally greater than seven storeys) with ground-oriented or mid-rise component that frame streets and open space.*", aligning directly with the intent of the height increase for this project where majority of the additional two storeys are significantly setback from the streetscape, the new construction elements remain subordinate to the rehabilitated heritage facades, and the flanking, tripartite, design of the lower floors mirrors the existing finely grained retail streetscape along the east side of Broad Street.

The emphasis on human-scaled streetscapes in both the 2012 OCP and the Emerging Policy Directions further supports the design as the frontage remains unchanged to the previously approved plans, maintaining the sense of place at a human-scale.





# 3.0 STATEMENT OF SIGNIFICANCE

## **THE DUCK'S BUILDING 1324 BROAD STREET, VICTORIA, BC**

### **Description of the Historic Place**

The Duck's Building is a three-storey Victorian-era masonry commercial building, distinguished by its patterned brickwork, stone trim, round-arched window openings and decorative cornice. It is located mid-block on the east side of Broad Street, between Johnson and View Streets, in Victoria's Old Town District.

### **Heritage Value of the Historic Place**

The Duck's Building is significant for its representation of the continuing growth of the city's gateway economy during the late Victorian era, its association with local entrepreneur and politician Simeon Duck, as a superior example of the Romanesque Revival style, and as a surviving example of the work of prominent architect William Tuff Whiteway.

The Duck's Building represents a time when downtown Victoria was expanding due to its booming economy. The announcement of the land grant to the Esquimalt and Nanaimo Railway in 1883, and its completion in 1888, sparked a construction boom in Victoria of stores, hotels and commercial properties. This elaborate structure indicates the extent to which the economy was prospering, and although it was completed right at the time of local recession, it demonstrated the flexible ways in which commercial properties could be used; it originally accommodated a variety of uses, including stores, offices, hotel and bar services, and a brothel.

The Duck's Building was constructed in 1892 for Simeon Duck, a successful early local entrepreneur, MLA, and former Minister of Finance for British Columbia. Duck owned two city lots at the corner of Johnson and Broad Streets; the development of Duck's Carriage Factory in 1874, the 1884 First Duck's Building to the east and the adjacent 1892 Duck's Building to the south, represent patterns of real estate speculation and development common in Victoria in the late nineteenth century, which ebbed and flowed with the economy. This building is representative of the multi-functionality of Victoria's commercial district in the late nineteenth century. Bold decoration and architectural styling make the Duck's Building a dominant presence within Broad Street's narrow streetscape.

The Duck's Building is a significant surviving example of the work of prominent B.C. architect, W.T. Whiteway (1856-1940), and is a superior example of the Romanesque Revival style. Whiteway travelled widely in the pursuit of commissions, and notably in 1896-97 designed an almost identical building on the other side of the country, the Gordon & Keith Building in Halifax, which still exists. The Duck's Building is characteristic of the Romanesque style adapted to commercial usage. Stylistic embellishments on the front façade include round-headed windows, rock-faced sandstone detailing, and patterned and corbelled brickwork with a central pediment above the main entry.

### **Character-Defining Elements**

The heritage character-defining elements of the Duck's Building include its:

- location on Broad Street, in Victoria's Old Town District;
- continuous commercial and retail use;
- commercial form, scale and massing, as expressed in its three-storey cubic massing, symmetrical rectangular plan and flat roof, set flush to the front and side property lines; irregular bay spacing with two entries to the upper floors; and raised rear portion that accommodated an assembly hall;
- design elements of the Romanesque Revival style, such as rock-faced masonry piers at street level; rock-faced stone lintels; round-arched windows on the top floor; decorations above the main entry with patterned fret work and a triangular pediment; corbelled cornice detailing, decorative name and date-plates with 'DUCK'S BUILDING' and "A.D. 1892;" and patterned brickwork on the rear facade;
- masonry construction, including: structural front, side and rear brick walls; timber internal frame; parged window sills; and cast-iron storefront columns;
- symmetrical fenestration including: rectangular storefront openings; and round-arched and rectangular double-hung 1-over-1 wooden sash windows with upper-sash horns on the front and rear facades; and
- the contiguous relationship of its rear wall with the 1874 stone wall of the Duck's Carriage Factory to the north.