



## Advisory Design Panel Report For the Meeting of December 14, 2022

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**To:** Advisory Design Panel **Date:** November 24, 2022  
**From:** Geordie Gordon, Senior Planner  
**Subject:** **Development Permit with Variances Application No. 00198 for 1046 and 1048 North Park Street**

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### EXECUTIVE SUMMARY

The Advisory Design Panel (ADP) is requested to review a Development Permit with Variance Application for 1046 and 1048 North Park Street and provide advice to Council.

The proposal is for a new five-storey, 39-unit long-term supportive housing building. A variance related to lot line setbacks and minimum parking requirements will be needed. There is a concurrent rezoning application pertaining to this property.

Staff are looking for commentary from the Advisory Design Panel with regard to:

- neighbourhood context and street relationship
- building orientation and setbacks
- outdoor amenity space
- materials and finishes
- any other aspects of the proposal on which the ADP chooses to comment.

The Options section of this report provides guidance on possible recommendations that the Panel may make, or use as a basis to modify, in providing advice on this application.

### BACKGROUND

**Applicant:** Mr. Justin Gammon  
Christine Lintott Architects Inc.

**Architect:** Mr. Justin Gammon, Architect AIBC  
Christine Lintott Architects Inc.

**Development Permit Area:** Development Permit Area 17 (HC), North Park Village and District

**Heritage Status:** n/a

## Description of Proposal

The proposal is for a supported housing residential development consisting of a five-storey building – which includes a rooftop garden area, the entrance to this amenity is counted as the fifth storey. Side yard setbacks are proposed at zero meters on both east and west sides. No parking is provided; however, a multi-purpose drop-off/loading space will be provided on-site.

The proposed density of the development is 2.27 floor space ratio (FSR) with a proposed height of 16.64 m.

The proposal includes the following major design components:

- 39 supportive units (18 fully accessible)
- rooftop deck with pergola
- rear patio with covered gazebo
- landscaping elements and materials include slate finish cast-in-place stamped concrete paving, raised planters, street level bench, edible plants, and four trees.

Exterior finishes include:

- compact laminate panel (2 colours)
- brick
- heavy timber pergola
- pre-finished grey metal flashing
- vinyl windows
- glulam (glued laminated timber) column.

The following data table compares the proposal with the existing R-91 Zone, North Park Residential District. An asterisk is used to identify where the proposal does not meet the standards of the existing Zone. Additionally, the key City policy that pertains to the area has been included in this table.

Zoning Criteria	Proposal	Zone Standard R-91	OCP Policy	General Urban Design Guidelines
Site area (m <sup>2</sup> ) – minimum	654.11	654	n/a	n/a
Density (Floor Space Ratio) – maximum	2.27*	1.91	Up to approx. 2.5 for housing affordability and industrial land use objectives	n/a
Total floor area (m <sup>2</sup> ) –	1485.43*	1253.00	n/a	n/a

<b>Zoning Criteria</b>	<b>Proposal</b>	<b>Zone Standard R-91</b>	<b>OCP Policy</b>	<b>General Urban Design Guidelines</b>
maximum				
Height (m) – maximum	16.64*	12.70	n/a	n/a
Storeys – maximum	5	n/a	Up to approx. 5 storeys	n/a
Site coverage (%) – maximum	72.3*	64	n/a	n/a
<b>Setbacks (m) – minimum</b>			n/a	
Front (North Park Street)	2.160	0.40		Minimum 3 m, average 4 m.
Rear	5.11*	6.4		Approximately 8 m.
Side (E)	0.0 (stairwell no windows) 1.4 (stairwell windows) 1.58 (residential area windows)	0.00		Minimum 3 m, average 4 m.
Side (W)	0.0*(dining area no windows/residential area no side windows) 2.4 (residential area windows)	2.4		Minimum 3 m, average 4 m.
Vehicle parking – minimum	0*	33	n/a	n/a
Visitor vehicle parking (included in the overall units) - minimum	0*	4	n/a	n/a

Zoning Criteria	Proposal	Zone Standard R-91	OCP Policy	General Urban Design Guidelines
<b>Bicycle parking stalls</b> – minimum			n/a	n/a
Class 1	4*	6		
Class 2	12*	39		

**Sustainability Features**

No sustainability features were identified in the applicant’s letter to mayor and council.

**Consistency with Policies and Design Guidelines**

Official Community Plan

The *Official Community Plan* (OCP, 2012) identifies the subject property as *Light Industrial Employment with Limited Residential* and envisions buildings of up to approximately five storeys with ground floors designed to support light industrial uses. Increased densities up to 2.5:1 FSR are considered for projects that advance both housing affordability objectives and industrial land objectives on-site. The applicant is proposing to advance plan objectives related to supported housing only. The proposal does not advance any industrial land objectives, although it should be noted that at the time of submission of the application, the property was designated Urban Residential.

North Park Neighbourhood Plan

The *North Park Neighbourhood Plan* (NPNP) is consistent with the OCP and identifies the subject properties as *Light Industrial Employment with Limited Residential* which is intended to support space for the limited stock of light industrial land along North Park Street.

The NPNP housing policies also support increased density for the development of diverse, affordable housing (non-market rental, affordable ownership, or live-work spaces). Building forms should provide generous ground floor ceiling heights to allow for future industrial use. Built form should also create sensitive transitions between employment uses and residential uses. Reduced parking requirements for housing could be considered where transportation demand management measures are implemented.

Design and built form policies in the *North Park Neighbourhood Plan* specify consistency with relevant OCP designation as well as applicable Development Permit Area Design Guidelines (see below).

## Objectives and Guidelines for DPA 17 (HC)

The OCP identifies this property in Development Permit Area 17 (HC): North Park Village and District. The objectives for this DPA that are relevant to this location include:

- To support the continued evolution of parts of North Park Street as a location for artisan and light industrial employment compatible with its location within a residential area
- To enhance the area through a high quality of architecture, landscape and urban design that reflects its adjacency to, yet unique identity from the downtown, while responding to its context of a skyline with prominent heritage landmark buildings and enhancing the urban forest in the more urban parts of the North Park neighbourhood.

The design guidelines that apply to Development Permit Area 17 (HC) are:

- General Urban Design Guidelines (2022) with special attention to the following sections:
  - 7.1 Buildings with industrial uses
  - 7.2 Heritage building context and skyline
  - 8.3 Supplementary design guidelines for urban villages
- Guidelines for Fences, Gates and Shutters (2010)
- Standards and Guidelines for the Conservation of Historic Places in Canada
- City of Victoria Heritage Program Sign & Awning Guidelines (1981).

## **ISSUES AND ANALYSIS**

The following sections identify and provide a brief analysis of the areas where the Panel is requested to provide commentary. The Panel's commentary on any other aspects of the proposal is also welcome.

### Neighbourhood Context and Relationship to the Street

A key Guiding Principle of the Guidelines is to achieve high-quality environments that promote livability and street activation as well as prioritizing pedestrian and active transportation. Buildings should have a strong relationship with the street and the Guidelines also seek to achieve appropriate floor to ceiling heights to support ground floor industrial uses.

The building has a narrow frontage, with a vehicle loading zone, main building entrance and separate stairwell. A small office is located at the front of the building and provides the only active edge to the street. While this limits the opportunity for creating a vibrant street frontage, the office is integral to the operation of the building, and it will be staffed 24/7 for front door security. Revisions to the main entryway were suggested, specifically that the applicant consider shifting the main entrance to the centre of the building and increase the amount of glazing at grade to reduce the amount of blank wall visible from the front elevation. Given the proposed use of the building, there are operational requirements that limit the flexibility of the ground floor layout. ADP is invited to comment on the ground floor layout and any opportunity areas that might enhance the relationship with the street.

## Building Orientation and Setbacks

The Guidelines recommend designing buildings to respond to the established orientation of buildings to fronting streets and rear yards, noting that generally building massing should be oriented parallel to fronting streets. The building has a 360° orientation with habitable rooms (primarily bedrooms) on all elevations, which is inconsistent with the Guidelines. The site is constrained in that it is long and narrow so there are limited opportunities to orient bedroom/living space windows towards the front and rear of the building. Nonetheless, staff are concerned that the windows oriented towards the east and west side yards may pose privacy and overlook issues as adjacent properties are redeveloped. None of the proposed setbacks are consistent with the General Urban Design Guidelines which are detailed in the table below, though two (front and east) are consistent with the R-91 Zone Standard:

<i>Setback</i>	<i>Proposed</i>	<i>Zone Standard</i>	<i>General Urban Design Guidelines</i>
Street Boundary – North Park	2.16 m	0.40 m	Minimum 3 m, average 4 m.
Rear	5.11 m	6.4 m	Approximately 8 m.
Side – east	0 m	0.00 m	Minimum 3 m, average 4 m.
Side (west)	0 m	2.4 m	Minimum 3 m, average 4 m.

The applicant has revised the proposal to remove third and fourth floor lounge area balconies on the west side of the building and replace them with Juliette balconies to mitigate privacy and overlook issues. While the east setback is compliant with zoning, it may create privacy issues in the future as neighbouring properties are redeveloped.

## Outdoor Amenity Space

The Guidelines encourage new development to provide a range of shared or common outdoor amenity spaces that encourage social interaction, play, urban food production, and support the urban forest. Given the relative lack of open space and other private amenity space in the development, greater importance is placed on the communal rooftop area to meet the social interaction and outdoor gathering needs of residents. The rooftop patio is shown to be enclosed with a parapet wall and planter areas, so overlook and noise concerns are likely minimal. The ADP is invited to comment on the design and adequacy of the outdoor amenity spaces.

## Materials and Finishes

The Guidelines encourage use of high quality and durable materials to withstand a range of environmental conditions, and for building features and accents to provide visual interest especially at lower portions. High quality building materials suggested by the Guidelines include natural wood, composite material, brick, glazed tile, stone, etc. Staff have concerns with both the durability and appearance of the compact laminate wall panels. Staff have previously suggested that metal panels be used instead, with the laminate limited to accent use. ADP is invited to comment on the proposed materials.

## **OPTIONS**

The following are three potential options that the Panel may consider using or modifying in formulating a recommendation to Council:

### **Option One**

That the Advisory Design Panel recommend to Council that Development Permit Application No. 00198 for 1046 and 1048 North Park Street be approved as presented.

### **Option Two**

That the Advisory Design Panel recommend to Council that Development Permit Application No. 00198 for 1046 and 1048 North Park Street be approved with the following changes:

- as listed by the ADP.

### **Option Three**

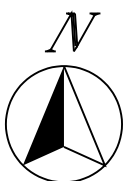
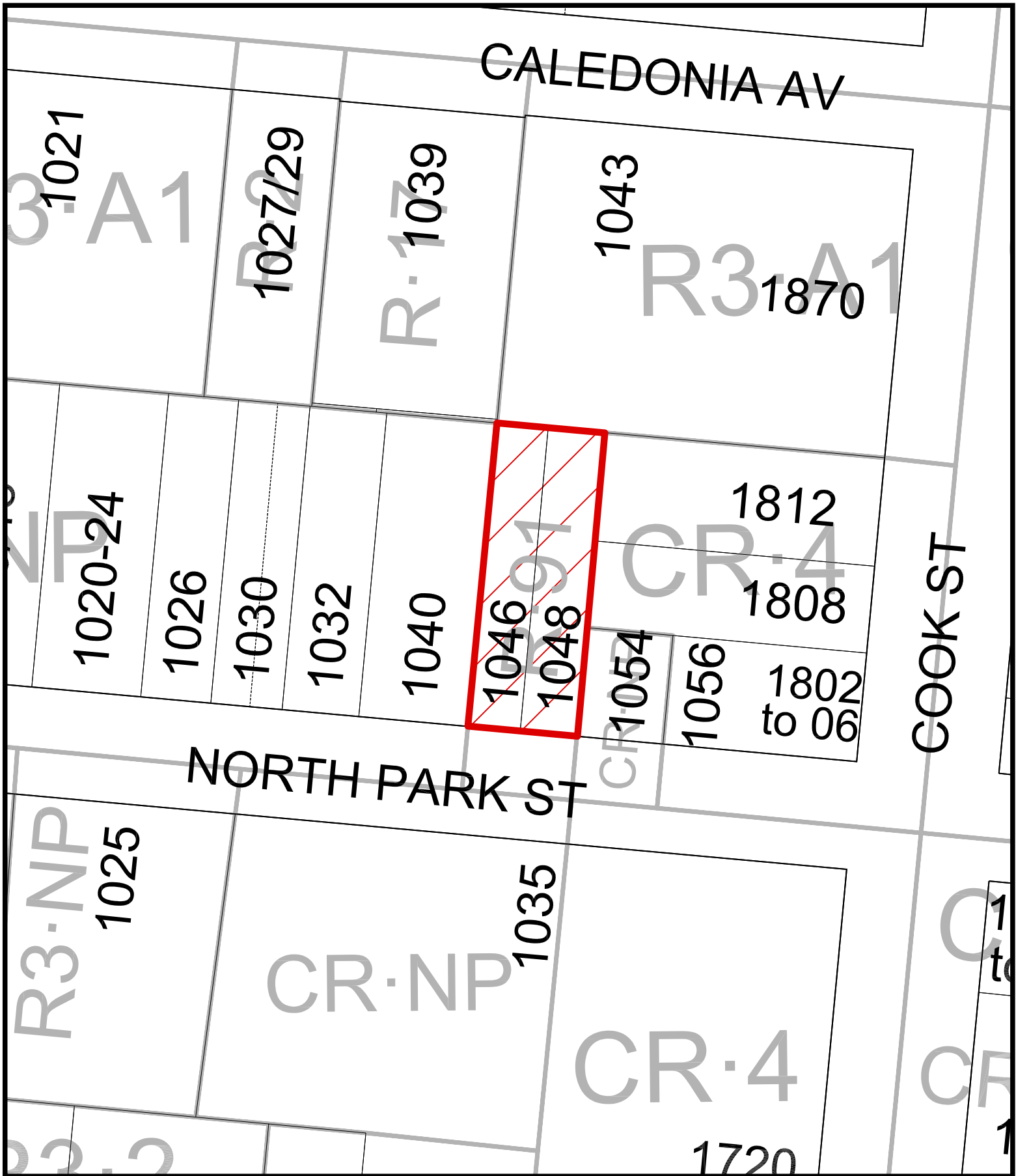
That the Advisory Design Panel recommend to Council that Development Permit Application No. 00198 for 1046 and 1048 North Park Street does not sufficiently meet the applicable design guidelines and polices and should be declined (and that the key areas that should be revised include:)

- as listed by the ADP, if there is further advice on how the application could be improved.

## **ATTACHMENTS**

- Subject Map
- Aerial Map
- Plans date stamped August 8, 2022
- Applicant's letter dated November 14, 2022

cc: Christine Lintott Architects, Applicant and Architect



1046 & 1048 North Park Street  
 Rezoning No.00812







CALEDONIA AV

COOK ST



1021

1027/29

1039

1043

1870

1020-24

1026

1030

1032

1040

1046

1048

1054

1056

1812

1808

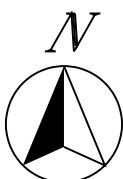
1802 to 06

NORTH PARK ST

1025

1035

1720



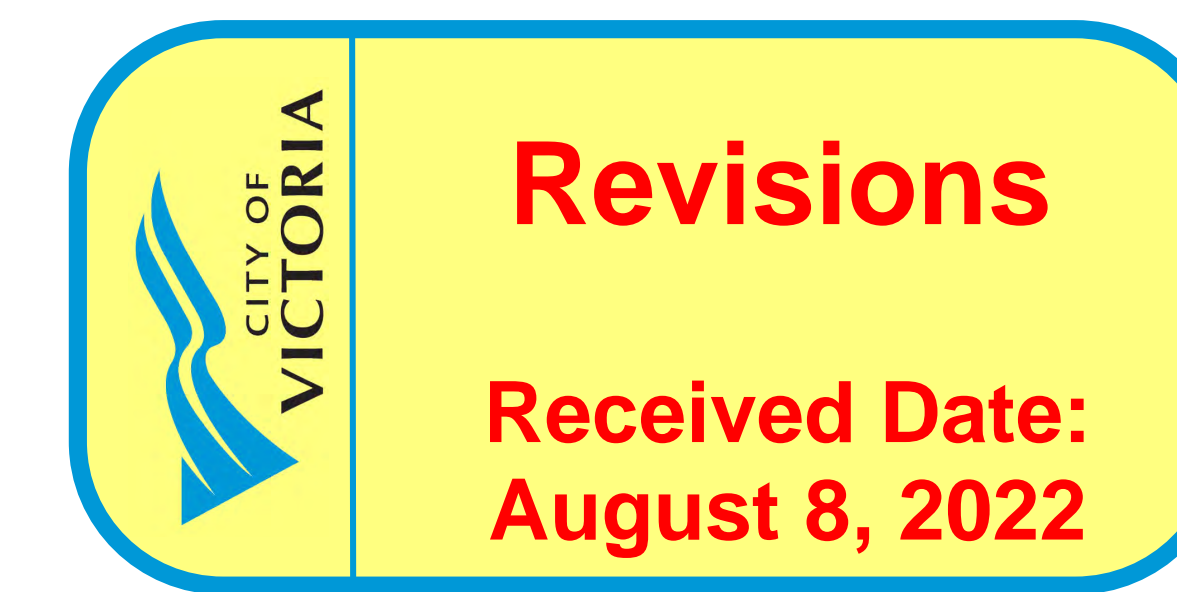
1046 & 1048 North Park Street  
Rezoning No.00812



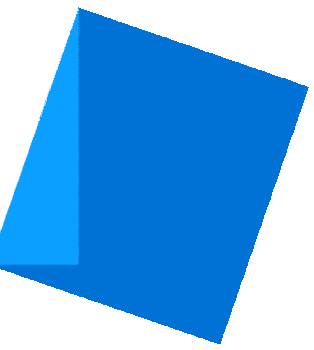
# NORTH PARK VIHA HOUSING

## 1048 North Park Street, Victoria, BC

### Application for Rezoning & Development Permit



Christine Lintott Architects Inc.



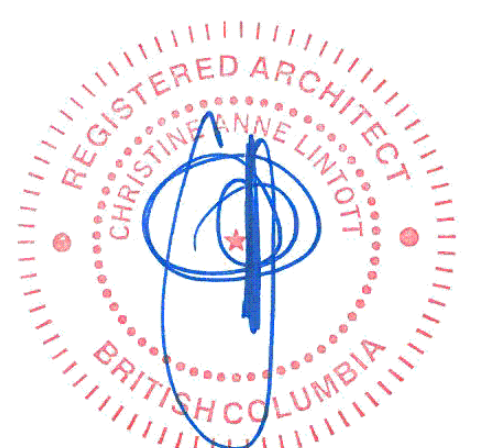
Suite 1 - 864 Queens Avenue, Victoria, BC V8T 1M5  
Telephone: 250.384.1969  
www.lintottarchitect.ca

Issue	Date
ISSUED FOR CALUC APPLICATION	SEPT 22, 2021
ISSUED FOR DP/REZONING	FEBRUARY 17, 2022
DP/REZONING RESUBMISSION	JULY 27, 2022

Revision No.	Description	Date

NUMERIC REVISIONS - MATCH MUNICIPLE COMMENTS  
ALPHANUMERIC REVISIONS - NOT INCLUDED IN MUNICIPLE COMMENTS

Consultant



Context Map

#### Property Data

GENERAL PROPERTY INFORMATION	
PROJECT DESCRIPTION	4 STOREY PLUS A ROOF DECK (CLASSIFIED AS 5 STOREYS) TRANSITION, SUPPORTIVE, RENTAL HOUSING PROJECT.
CIVIC ADDRESS	1046 and 1048 NORTH PARK STREET, VICTORIA BC V8T 1C6
LEGAL DESCRIPTION	THE EASTERLY 26 FT OF LOT 24, SUBURBAN LOT 13, VICTORIA, PLAN 26 and THE WESTERLY 24 FEET OF LOT 24, SUBURBAN LOT 13, VICTORIA CITY, PLAN 26
PROPERTY IDENTIFICATION NUMBER (P.I.D.)	009-325-590 and 001-893-769
AUTHORITY HAVING JURISDICTION	THE CORPORATION OF THE CITY OF VICTORIA
APPLICABLE BUILDING CODE	BRITISH COLUMBIA BUILDING CODE, 2018 EDITION, INCLUDING ALL AMENDMENTS
PLANNING INFORMATION	
NEIGHBOURHOOD:	NORTH PARK
AREA PLANNER	LEANNE TAYLOR
DEVELOPMENT PERMIT AREA:	DPA 16 - GEN. FORM AND CHARACTER
HERITAGE STATUS:	NONE
LAND USE CONTRACT:	NONE
SPECIAL RESTRICTIONS:	NONE
GARBAGE ZONE:	6A
CURRENT WATER SERVICE:	RES-SINGLE FAMILY .5"

#### Sheet List

Sheet Number	Sheet Name
A-0.00	Cover Sheet
A-0.01	Bylaw Analysis - Shadow Studies
A-0.02	Code Analysis
A-0.03	Spatial Separation
A-1.01	Survey
A-1.02	Site Plan
A-2.00	Floor Plans
A-3.00	Elevations
A-3.01	Materials
A-3.02	Context
A-4.00	Sections
A-4.01	Stair Plans, Sections & Details
A-5.00	Renderers & Gazebo
C - 1.00	Civil Plan
L-1.01	Landscape Plan
L-1.02	Landscape Plan

Street View

**OWNER**  
Wild Coast Construction  
Suite 311, 185-911 Yates Street  
Victoria BC, V8V 4Y9  
(250) 516-3229  
Contact: Chris Tucker

**ARCHITECTURAL**  
Christine Lintott Architects Inc.  
Unit 1 - 864 Queens Avenue  
Victoria, B.C. V8T 1M5  
250 384 1969  
Contact: Justin Gammon

**MECHANICAL**  
Avalon Mechanical  
1245 Esquimalt Rd #300  
Victoria, BC V9A 3P2  
(250) 384-4128  
Contact: Jamie Clarke

**ELECTRICAL**  
AES Engineering Ltd  
500 - 3795 Carey Road  
Victoria BC, V8Z 6T8  
(250) 381-6121  
Contact: Jeff Halpenny

**CIVIL / SURVEY**  
JE Anderson & Associates  
4212 Glanford Avenue  
Victoria, BC V8Z 4B7  
(250) 727-2214  
Contact: Ross Tuck

**ARBORIST**  
Talbot Mackenzie & Associates  
Box 48153 RPO Uptown  
Victoria, BC V8Z 7H6  
(250) 479-8733  
Contact: Graham Mackenzie

**LANDSCAPE**  
Duane Ensing Landscape Design  
4539 Viewmont Avenue  
Victoria BC, V8Z 5L3  
(250) 881-0706  
Contact: Duane Ensing

## North Park VIHA

1048 North Park Street,  
Victoria BC

Cover Sheet

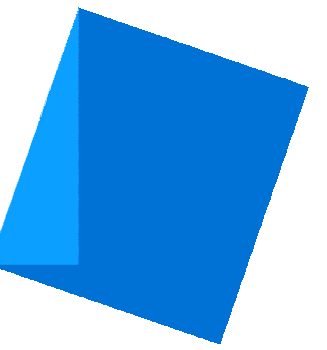
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Drawn by RJ

Checked by Checker

A-0.00

Scale 1 : 1



Issue Date

ISSUED FOR CALUC APPLICATION SEPT 22, 2021  
ISSUED FOR DP/REZONING FEBRUARY 17, 2022  
DP/REZONING RESUBMISSION JULY 27, 2022

Revision

No.	Description	Date
E	Elevator Shaft Size Change & Closet	2022-07-22

NUMERIC REVISIONS - MATCH MUNICIPLE COMMENTS  
ALPHANUMERIC REVISIONS - NOT INCLUDED IN MUNICIPLE COMMENTS

Consultant



## North Park VIHA

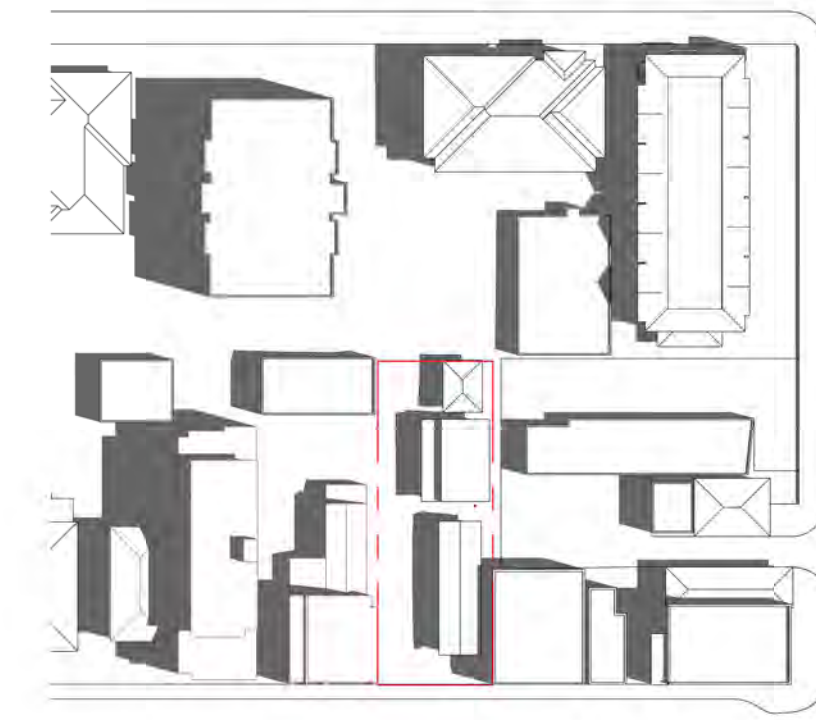
1048 North Park Street,  
Victoria BC

### Bylaw Analysis - Shadow Studies

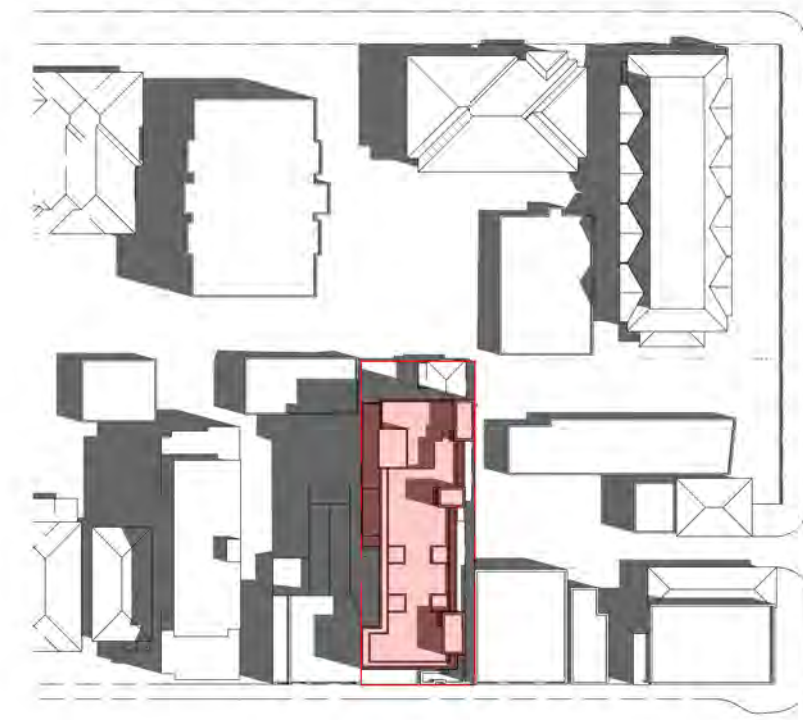
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Checked by Checker

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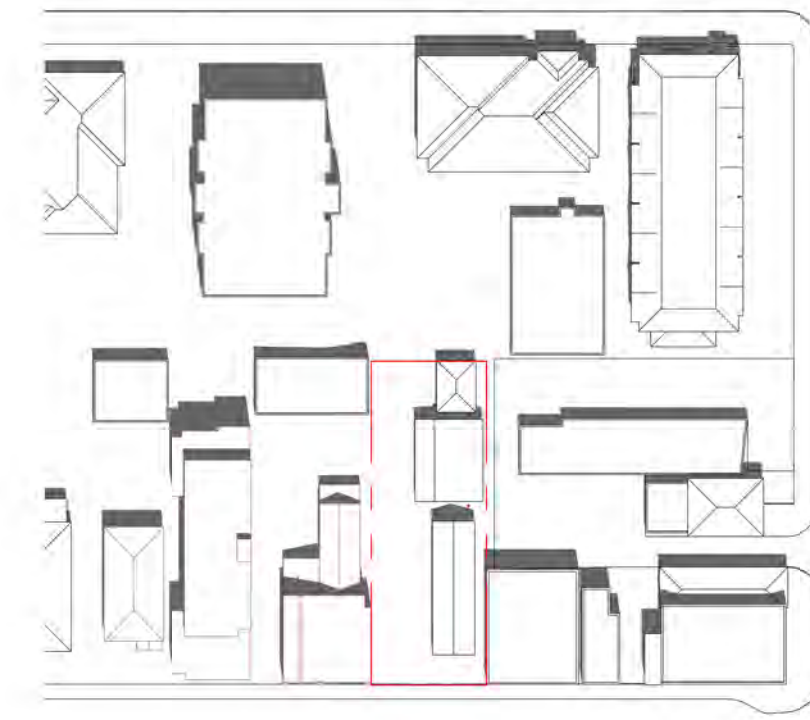
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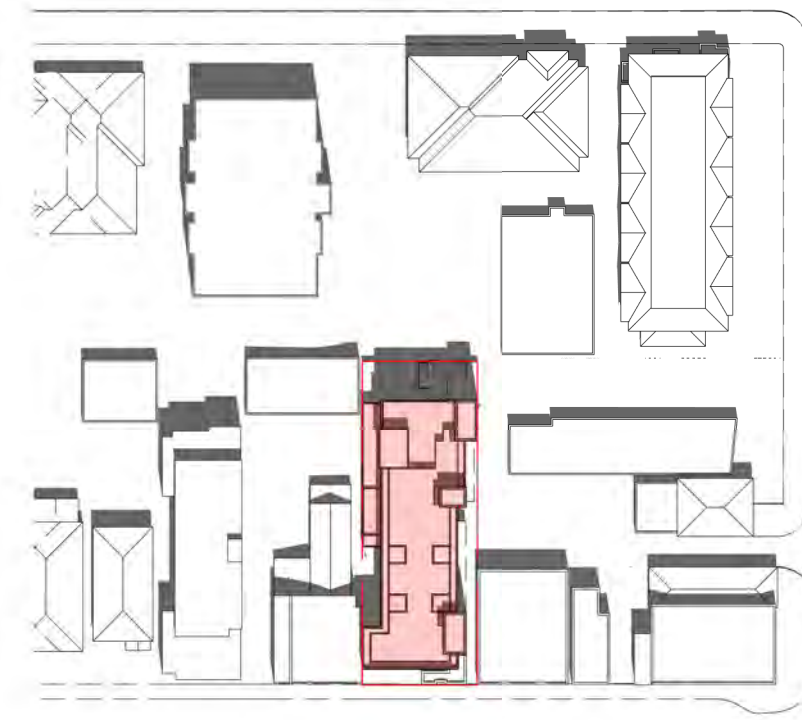
1 Shadow Study - Summer Morning - Existing  
1 : 1000



10 Shadow Study - Summer Morning - Proposed  
1 : 1000



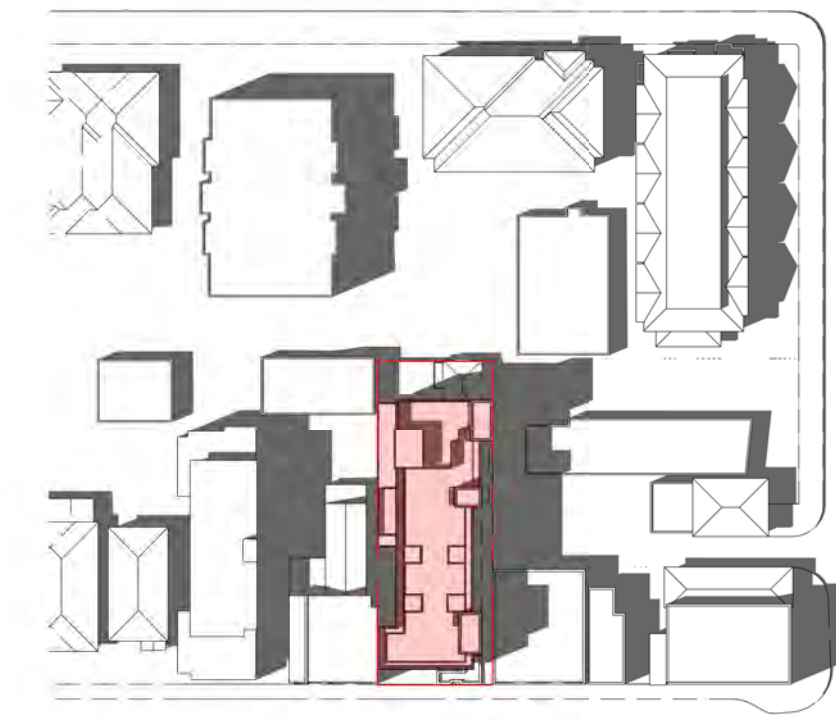
2 Shadow Study - Summer Noon - Existing  
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11 Shadow Study - Summer Noon - Proposed  
1 : 1000



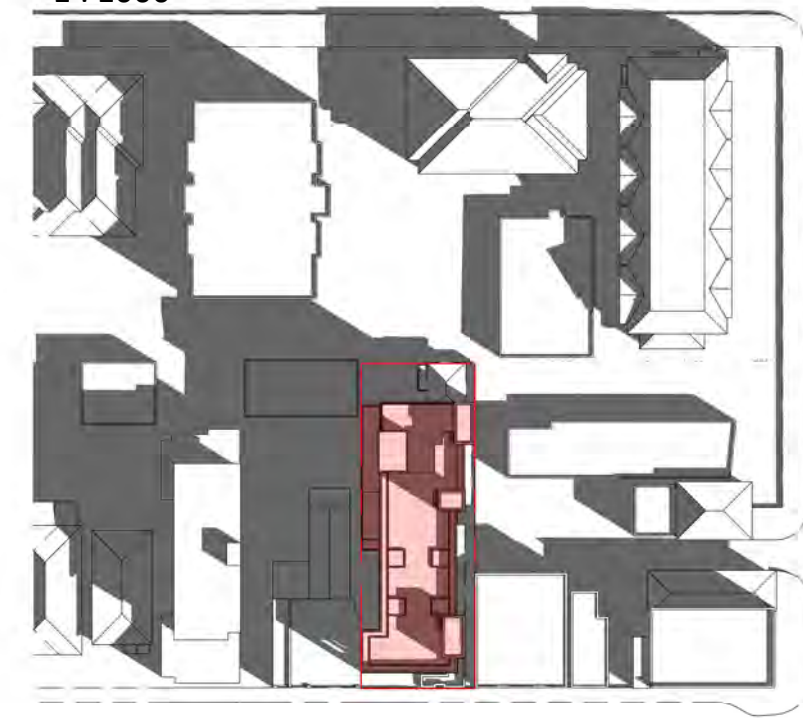
3 Shadow Study - Summer Afternoon - Existing  
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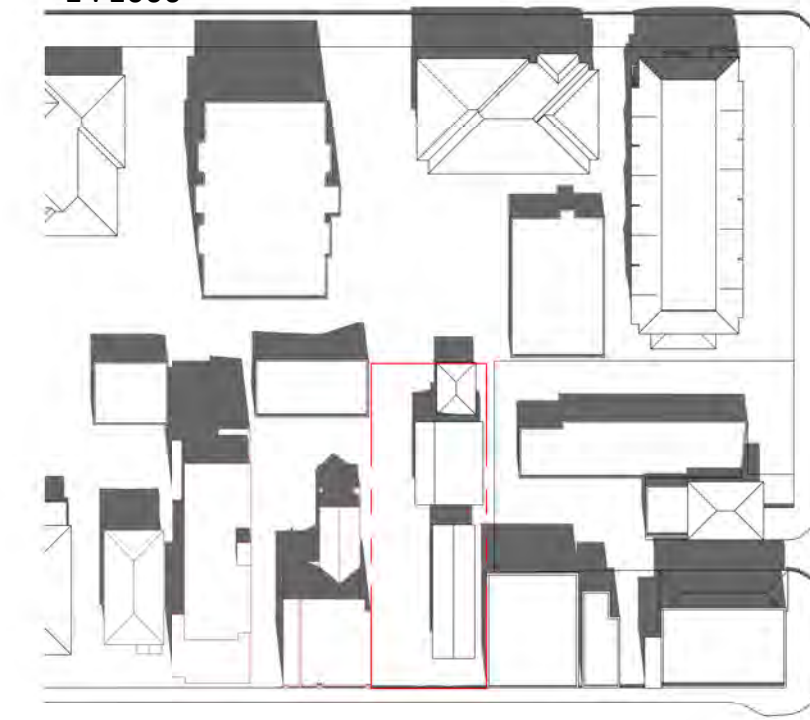
12 Shadow Study - Summer Afternoon - Proposed  
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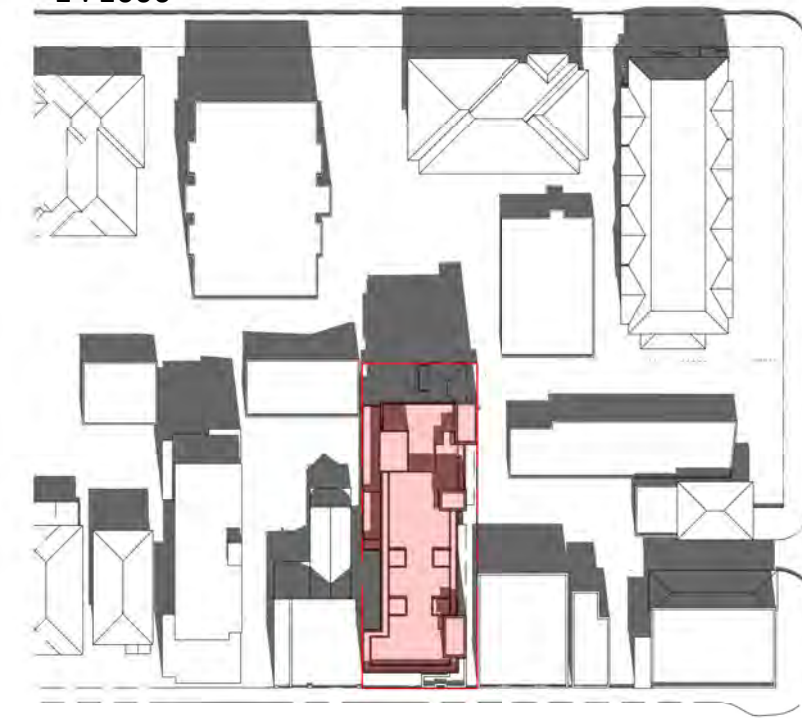
4 Shadow Study - Midyear Morning - Existing  
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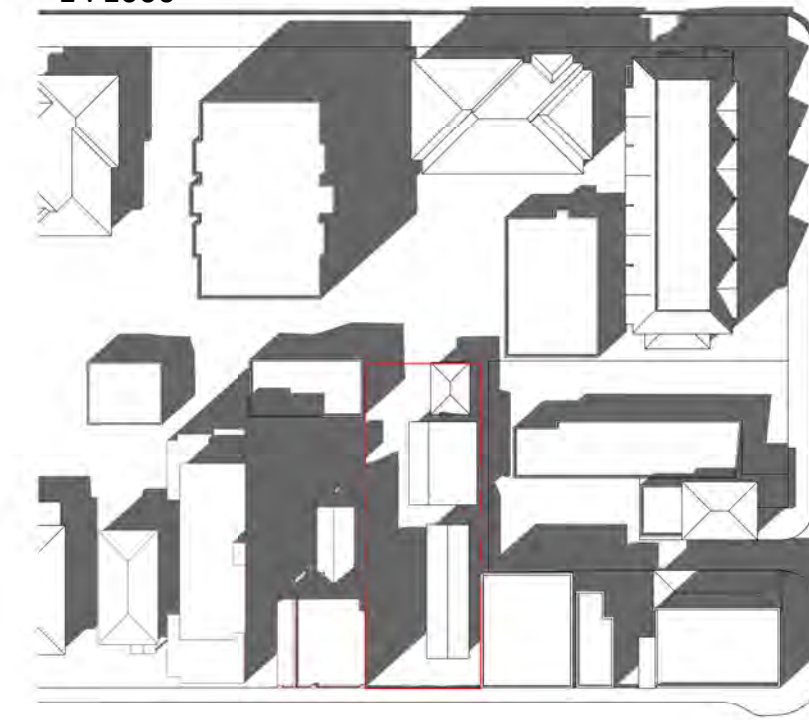
14 Shadow Study - Midyear Morning - Proposed  
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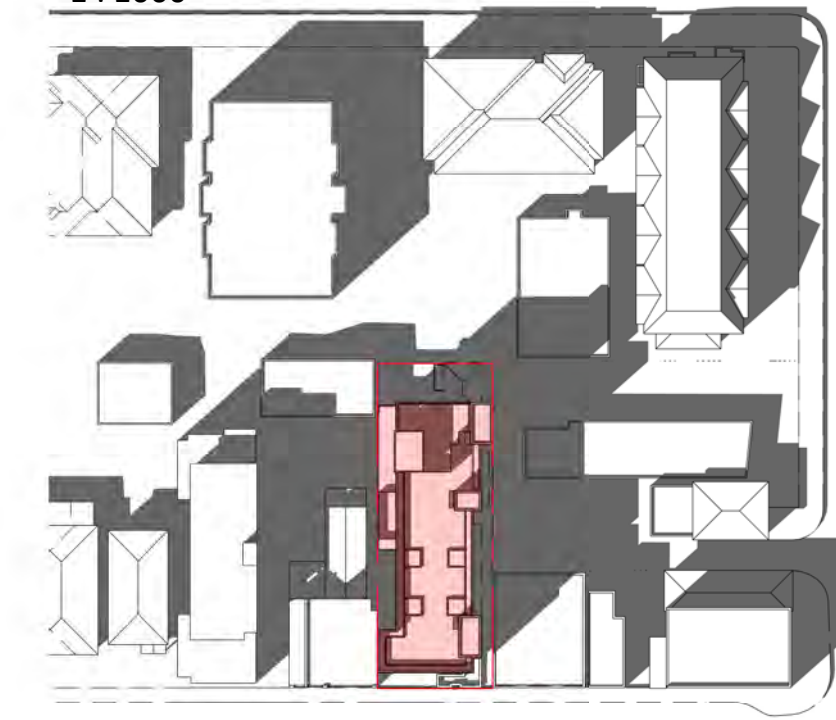
5 Shadow Study - Midyear Noon - Existing  
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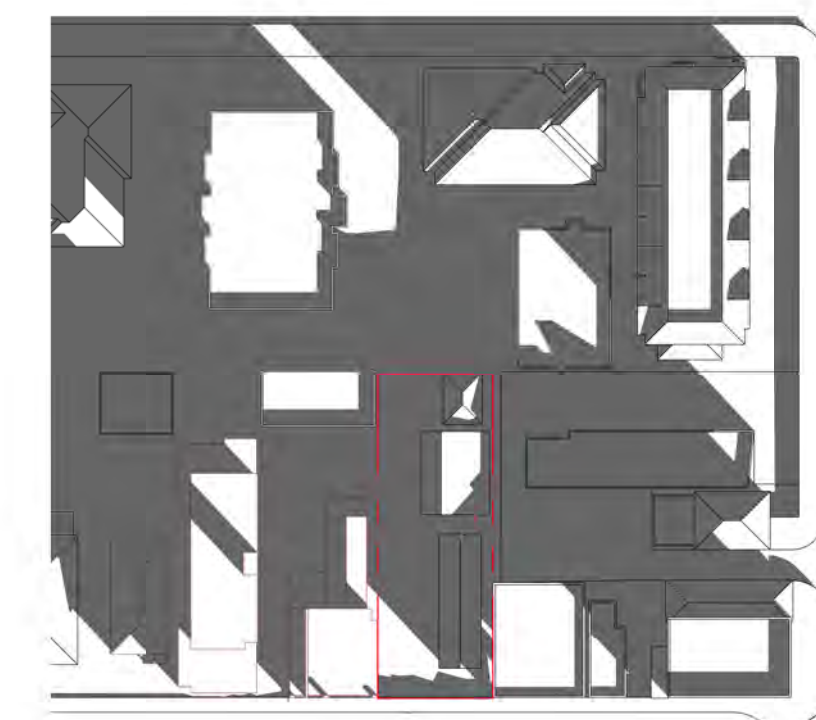
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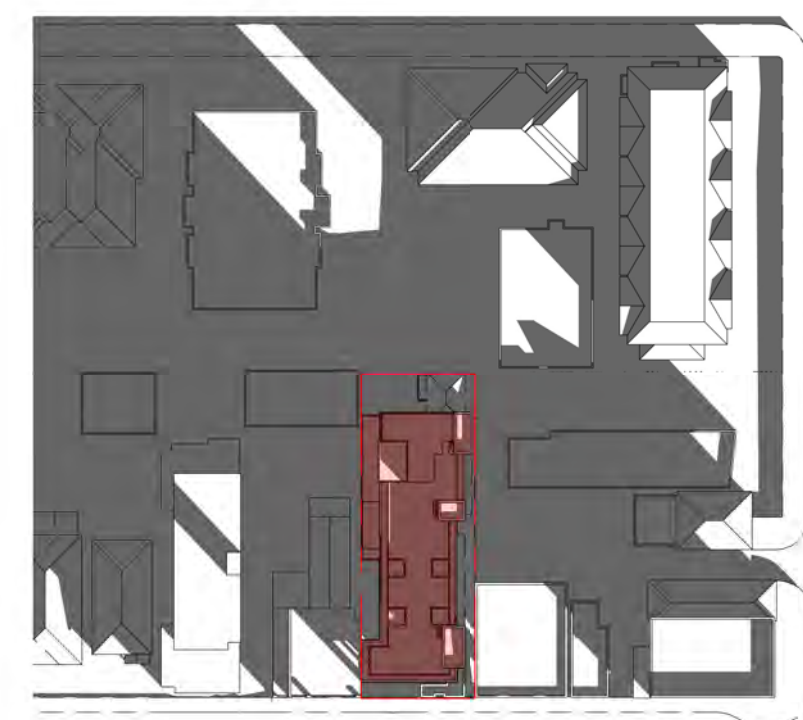
6 Shadow Study - Midyear Afternoon - Existing  
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15 Shadow Study - Midyear Afternoon - Proposed  
1 : 1000



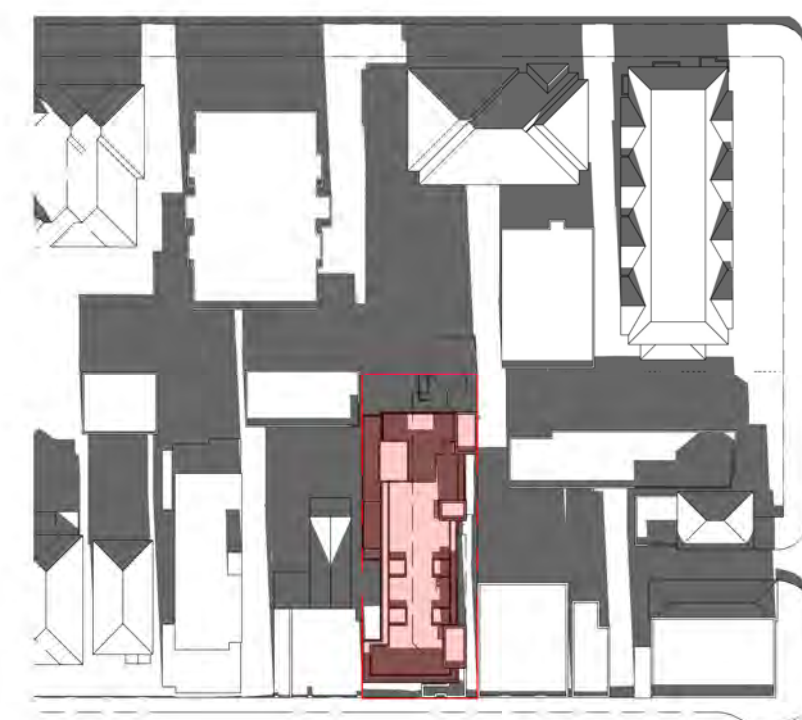
7 Shadow Study - Winter Morning - Existing  
1 : 1000



16 Shadow Study - Winter Morning - Proposed  
1 : 1000



8 Shadow Study - Winter Noon - Existing  
1 : 1000



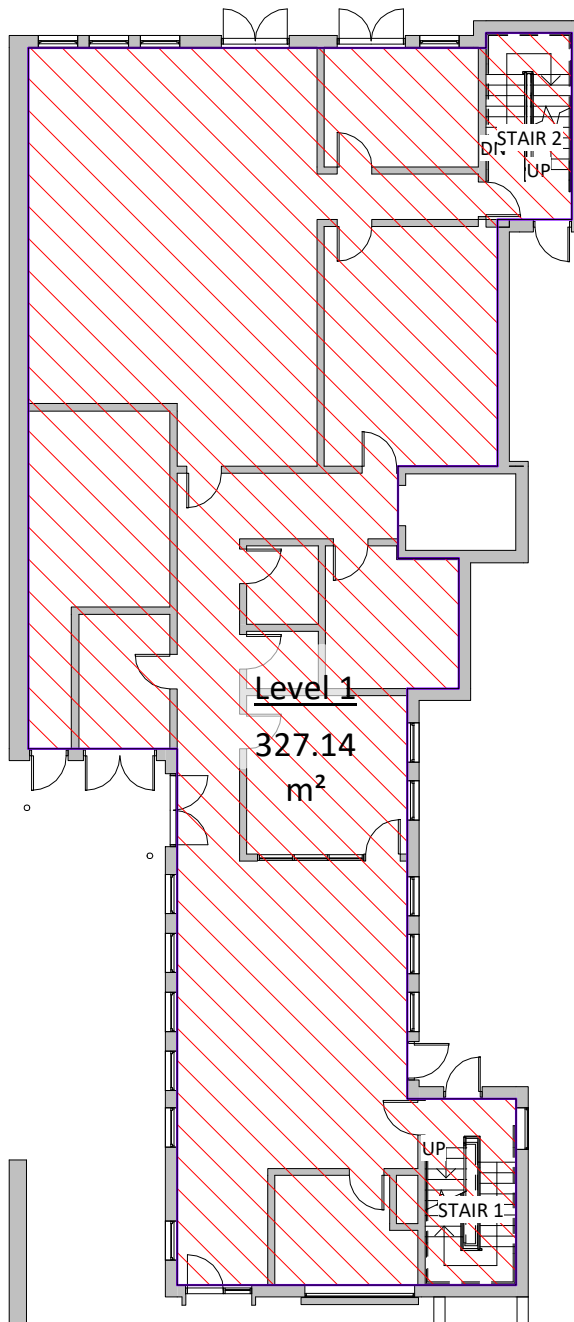
17 Shadow Study - Winter Noon - Proposed  
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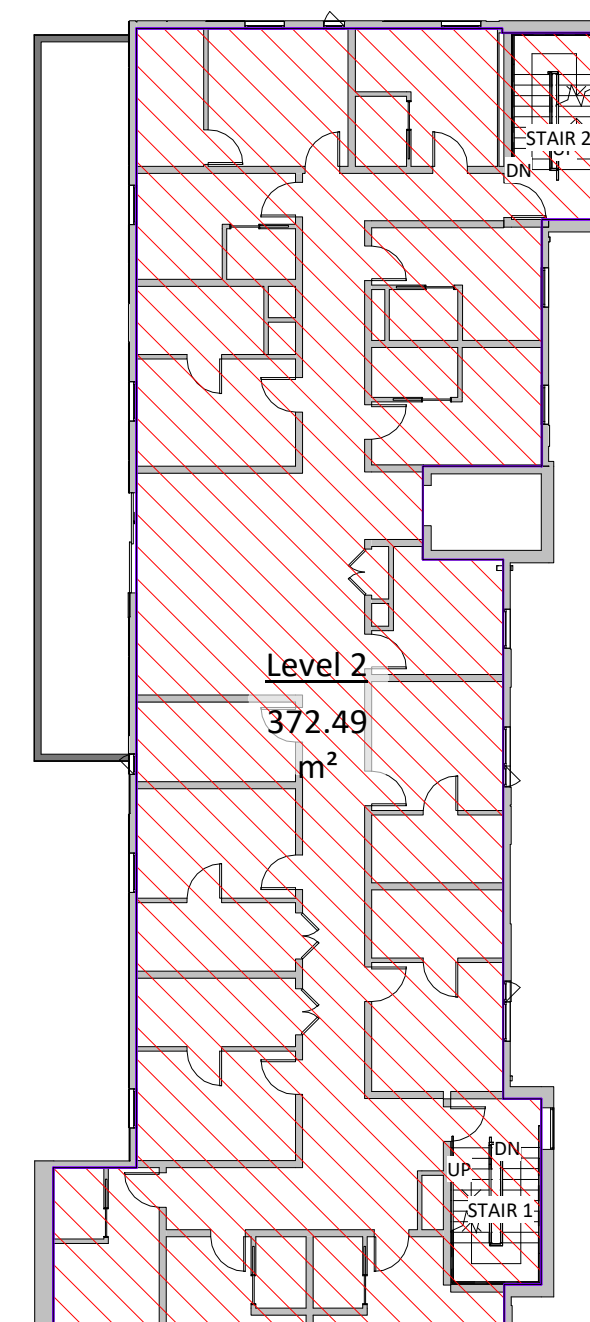
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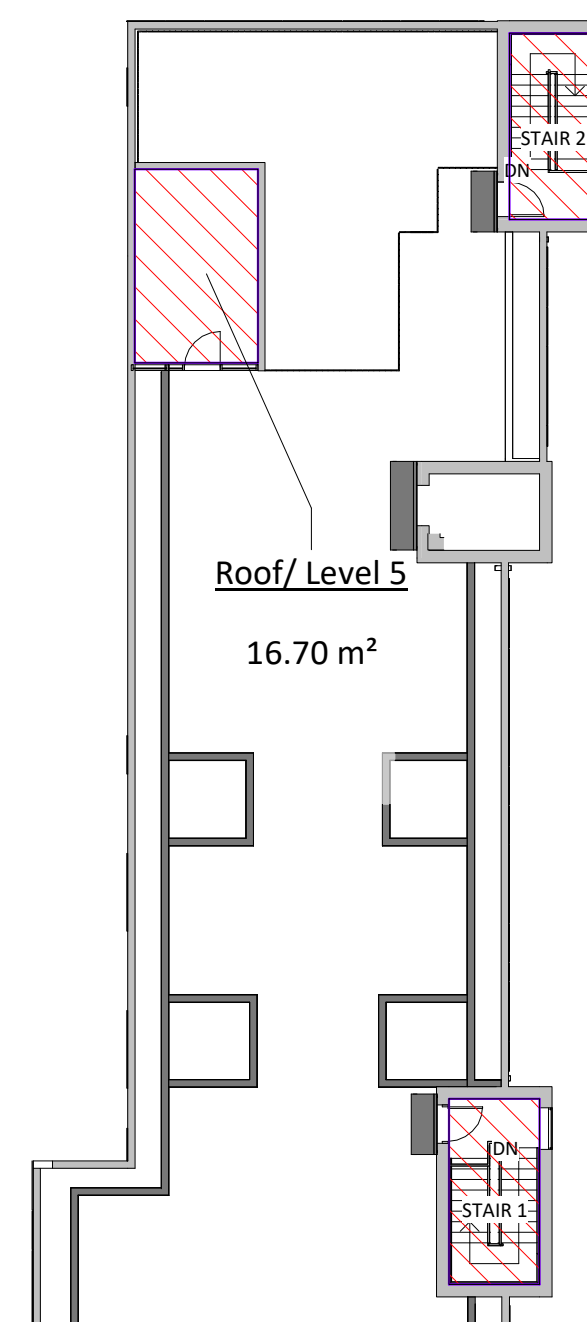
18 Shadow Study - Winter Afternoon - Proposed  
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19 Floor Area - Level 1  
1 : 200



20 Floor Area - Levels 2-4  
1 : 200



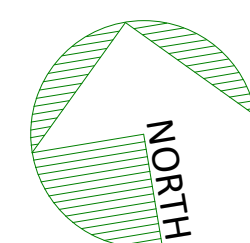
21 Floor Area - Roof  
1 : 200

Note: These areas are for zoning purposes only, and are measured to the exterior face of sheathing on building envelope.

Basement not included in FSR calculation per zoning definitions.

Area Schedule (Floor Space Ratio)	
Name	Area
Level 1	327.14 m <sup>2</sup>
Level 2	372.49 m <sup>2</sup>
Level 3	373.05 m <sup>2</sup>
Level 4	373.04 m <sup>2</sup>
Roof/ Level 5	39.71 m <sup>2</sup>
	1,485.43 m <sup>2</sup>

0m 4m 8m 12m 16m 20m  
SCALE 1:100



Building Code Analysis - Overview

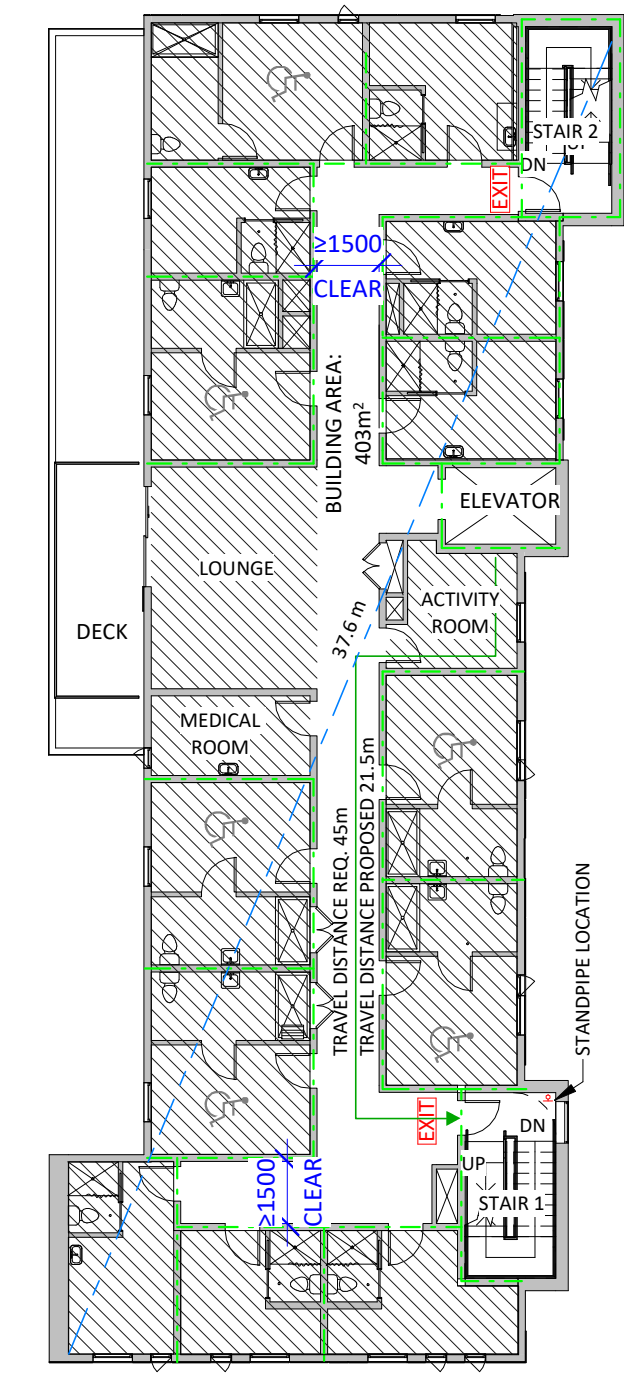
GENERAL INFORMATION				
NO.	ITEM	DESCRIPTION	REFERENCES	
1	PROJECT TYPE	<input checked="" type="checkbox"/> NEW CONSTRUCTION <input type="checkbox"/> RENO. <input type="checkbox"/> ADDITION <input type="checkbox"/> TENANT IMPROVEMENT	-	
2	GOVERNING BUILDING CODE	BRITISH COLUMBIA BUILDING CODE, 2018, INCLUDING ALL AMENDMENTS	-	
3	BUILDING CODE PARTS APPLICABLE	PART: 1 2 3 4 5 6 7 8 9 10 DIVISION: A B C	DIV A - 1.1.2.	
4	MAJOR OCCUPANCY(IES)	A1 A2 A3 A4 B1 B2 C D E F1 F2 F3	3.1.2.	
5	MULTIPLE MAJOR OCCUPANCIES	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	3.1.3.	
6	HEAVY TIMBER CONSTRUCTION ALTERNATE	<input type="checkbox"/> PERMITTED <input type="checkbox"/> PROPOSED <input checked="" type="checkbox"/> N/A	3.1.4.6.	
7	FIREWALL(S)	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.1.10.	
8	BUILDING AREA (m <sup>2</sup> )	455.2 BUILDING AREA	1.4.1.2.	
9	GRADE ELEVATION (m, GEODETIC)	27.53 GRADE	1.4.1.2.	
10	BUILDING HEIGHT (STOREYS)	5 ABOVE GRADE 1 BELOW GRADE 5 TOTAL	3.2.1.1.	
11	FIRE ALARM & DETECTION SYSTEM	<input checked="" type="checkbox"/> REQUIRED <input checked="" type="checkbox"/> PROVIDED <input type="checkbox"/> N/A	3.2.4.1.	
12	AUTOMATIC SPRINKLER SYSTEM	<input checked="" type="checkbox"/> REQUIRED <input checked="" type="checkbox"/> PROVIDED <input type="checkbox"/> N/A	3.2.5.12.	
13	MEZZANINE(S)	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.8.	
14	INTERCONNECTED FLOOR SPACE	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.8.2.	
15	NUMBER OF STREETS FACING	1 STREET FACING	1.4.1.2.	
16	FIRE DEPARTMENT ACCESS ROUTES	<input checked="" type="checkbox"/> REQUIRED <input checked="" type="checkbox"/> PROVIDED <input type="checkbox"/> N/A	3.2.5.4.	
17	HIGH BUILDING	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.6.	
18	ROOF ACCESS	<input checked="" type="checkbox"/> REQUIRED <input checked="" type="checkbox"/> PROVIDED <input type="checkbox"/> N/A	3.2.5.3.	
19	STANDPIPE SYSTEM	<input checked="" type="checkbox"/> REQUIRED <input checked="" type="checkbox"/> PROVIDED <input type="checkbox"/> N/A	3.2.5.8.	
20	LIGHTING AND EMERGENCY POWER	<input checked="" type="checkbox"/> REQUIRED <input checked="" type="checkbox"/> PROVIDED <input type="checkbox"/> N/A	3.2.7.	
21	EMERGENCY GENERATOR	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.7.	
22	ACCESS FOR PERSONS W/ DISABILITIES	<input checked="" type="checkbox"/> REQUIRED <input checked="" type="checkbox"/> PROVIDED <input type="checkbox"/> N/A	3.8.2.	
23	ALTERNATE SOLUTIONS REQUIRED	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	DIV A - 1.2.1.1.(1)(B) & DIV C - 2.3.	
<b>CONSTRUCTION CLASSIFICATION</b> GROUP C, UP TO 6 STOREYS, SPRINKLERED				
24	CONSTRUCTION TYPE(S)	<input checked="" type="checkbox"/> COMBUSTIBLE: <input type="checkbox"/> PERMITTED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A <input checked="" type="checkbox"/> NON-COMBUSTIBLE: <input type="checkbox"/> PERMITTED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A		
25	ASSEMBLY FIRE-RESISTANCE RATINGS	MIN. F.R.R. (HOURS): 1 FLOOR <sup>1</sup> 1 MEZZANINE <sup>1</sup> 1 ROOF <sup>1</sup>	<sup>1</sup> LOADBEARING ELEMENTS TO HAVE SAME F.R.R. AS SUPPORTED ASSEMBLY	
26	BUILDING HEIGHT (STOREYS)	6 MAXIMUM 5 PROPOSED		
27	BUILDING AREA (m <sup>2</sup> )	1800 MAXIMUM 455.2 PROPOSED		
<b>CONSTRUCTION CLASSIFICATION</b> GROUP D, UP TO 6 STOREYS, SPRINKLERED				
24	CONSTRUCTION TYPE(S)	<input checked="" type="checkbox"/> COMBUSTIBLE: <input type="checkbox"/> PERMITTED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A <input checked="" type="checkbox"/> NON-COMBUSTIBLE: <input type="checkbox"/> PERMITTED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A		
25	ASSEMBLY FIRE-RESISTANCE RATINGS	MIN. F.R.R. (HOURS): 1 FLOOR <sup>1</sup> 1 MEZZANINE <sup>1</sup> 1 ROOF <sup>1</sup>	<sup>1</sup> LOADBEARING ELEMENTS TO HAVE SAME F.R.R. AS SUPPORTED ASSEMBLY	
26	BUILDING HEIGHT (STOREYS)	6 MAXIMUM 5 PROPOSED		
27	BUILDING AREA (m <sup>2</sup> )	3600 MAXIMUM 455.2 PROPOSED		
<b>OCCUPANT LOAD CALCULATIONS - PER SPACE</b>				
31			3.1.17, 3.1.2.6.	
ROOM	OCCUPANCY	AREA (m <sup>2</sup> )	SLEEPING OCCUPANT	CALCULATED ROOM OCCUPANTS
FLEX SPACE	PUBLIC CORRIDOR	28.6	3.7	8
LAUNDRY	CLEANING	16.8	4.6	4
STORAGE	STORAGE	16.1	4.6	1
OFFICE 1	OFFICE	9.8	9.3	2
OFFICE 2	OFFICE	19.3	9.3	3
STAFF ROOM	LOUNGE	19.4	1.85	11
<b>BASEMENT LEVEL SUBTOTAL</b> 29				
DINING ROOM	DINING	56.5	1.2	48
ART ROOM	CLASSROOM	13.0	1.85	8
KITCHEN	KITCHEN	29.1	9.3	4
KITCHEN STORAGE	STORAGE	12.7	4.6	1
ACTIVITY ROOM	CLASSROOM	17.9	1.85	10
LOUNGE	PUBLIC CORRIDOR	30.4	3.7	9
OFFICE	OFFICE	9.9	9.3	2
<b>LEVEL 1 SUBTOTAL</b> 82				
LOUNGE	PUBLIC CORRIDOR	25.7	3.7	7
MEDICAL ROOM	OFFICE	8.9	9.3	1
SUITES (#1-13)	DWELLING UNIT	-	-	13 26
ACTIVITY ROOM	CLASSROOM	9.2	1.85	5
<b>LEVEL 2 SUBTOTAL</b> 39				
LOUNGE	PUBLIC CORRIDOR	25.7	3.7	7
MEDICAL ROOM	OFFICE	8.9	9.3	1
SUITES (#14-26)	DWELLING UNIT	-	-	13 26
ACTIVITY ROOM	CLASSROOM	9.2	1.85	5
<b>LEVEL 3 SUBTOTAL</b> 39				
LOUNGE	PUBLIC CORRIDOR	25.7	3.7	7
MEDICAL ROOM	OFFICE	8.9	9.3	1
SUITES (#27-39)	DWELLING UNIT	-	-	13 26
ACTIVITY ROOM	CLASSROOM	9.2	1.85	5
<b>LEVEL 4 SUBTOTAL</b> 39				
ROOF DECK	LOUNGE	211	1.85	115
<b>ROOF LEVEL SUBTOTAL</b> 115				
<b>TOTAL</b> 343				

Building Code Analysis - Fire Ratings and Separations

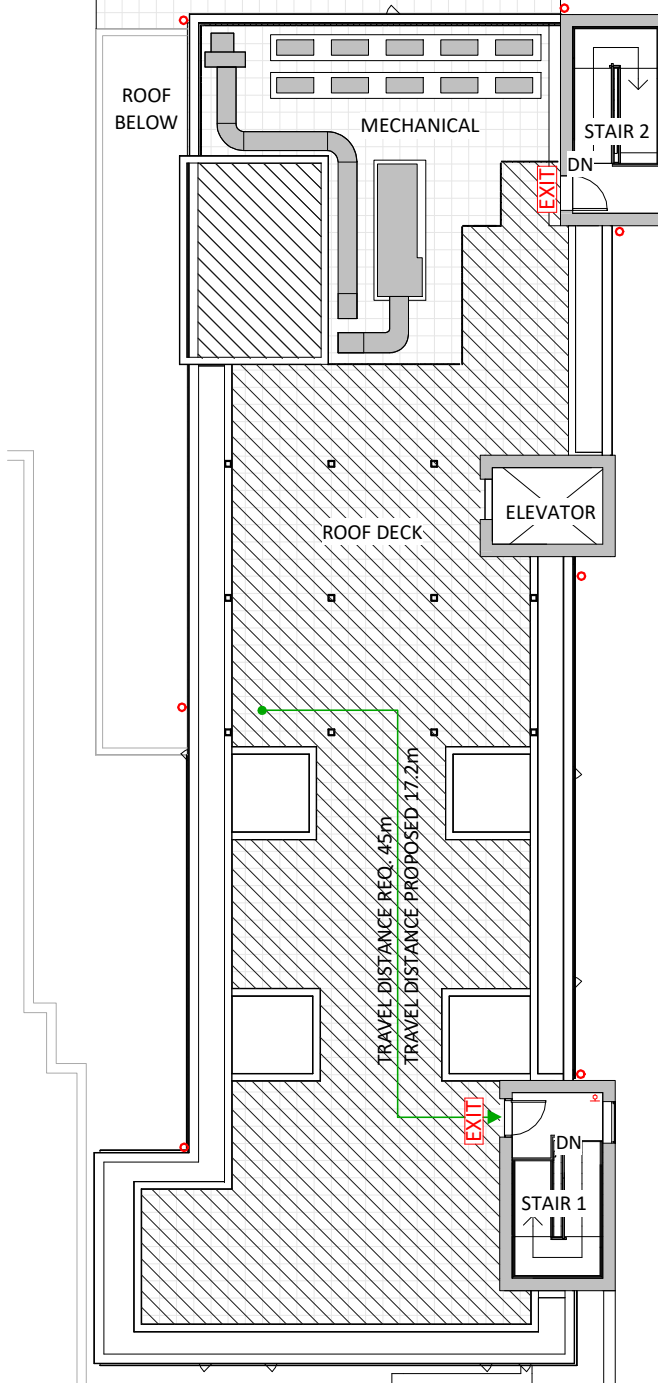
2 - FIRE RATINGS AND SEPARATIONS				3.1.7, 3.1.8.
NO.	ITEM	MIN. F.R.R. OF FIRE SEPARATIONS (HOURS)	REFERENCES	
2-1	BETWEEN MAJOR OCCUPANCIES	1 REQUIRED 1 PROPOSED N/A <sup>1</sup>	3.1.3.1.	
2-2	SUITES	1 REQUIRED 1 PROPOSED N/A	3.3.1.1, 3.3.4.2.	
2-3	PUBLIC CORRIDORS	3/4 REQUIRED 3/4 PROPOSED N/A	3.3.1.4, 3.3.4.2.	<sup>1</sup> BUILDING SPRINKLERED THROUGHOUT 3.3.1.4.(3)
2-4	COMMON LAUNDRY ROOMS	1 REQUIRED <sup>1</sup> 1 PROPOSED N/A	3.3.1.22	BUILDING SPRINKLERED THROUGHOUT
2-5	COMBUSTIBLE REFUSE STORAGE	1 REQUIRED 1 PROPOSED N/A	3.6.2.5.	BUILDING SPRINKLERED THROUGHOUT
2-6	EXIT ENCLOSURES	1 REQUIRED 1 PROPOSED N/A	3.4.4.1.	
2-7	ELEVATOR HOISTWAYS & MACHINE ROOMS	1 REQUIRED 1 PROPOSED N/A	3.5.3.1, 3.5.3.3, 3.2.6.5.	
2-8	SERVICE ROOMS WITH FUEL-FIRED APPLIANCES	1 REQUIRED 1 PROPOSED N/A	3.6.2.1.	
2-9	ELECTRICAL SERVICE ROOMS	1 REQUIRED 1 PROPOSED N/A	3.6.2.1.(6)	
2-10	ELECTRICAL EQUIPMENT VAULTS	2 REQUIRED <sup>2</sup> 2 PROPOSED N/A	3.6.2.7.	<sup>1</sup> IF UNSPRINKLERED, PER NFPA-13
2-11	VERTICAL SERVICE SPACES	3/4 REQUIRED 3/4 PROPOSED N/A	3.6.3.1.	
2-12	HORIZONTAL SERVICE SPACES	1 REQUIRED 1 PROPOSED N/A	3.6.4.2.	
<b>Building Code Analysis - Floor Safety, Exits and Stairs</b>				
3 - FLOOR SAFETY, EXITS AND STAIRS				
NO.	ITEM	DESCRIPTION	REFERENCES	
3-1	FLAME SPREAD RATING (MAX.)	150 MAXIMUM <sup>1</sup> 25 EXITS <sup>1</sup> 150 CORRIDOR WALLS <sup>1,2</sup>	3.1.12. & 3.1.13.	<sup>1</sup> PER CAN/ULC-S102 <sup>2</sup> WHERE SUBJECT TO 3.1.13.6.(1), UNLESS CONFORMING TO UPPER/LOWER REQUIREMENTS OF 3.1.13.6.(2).
3-2	MEANS OF EGRESS	ALL FLOOR AREAS: <input checked="" type="checkbox"/> REQUIRED <input checked="" type="checkbox"/> PROVIDED <input type="checkbox"/> N/A OCCUPIED ROOF: <input checked="" type="checkbox"/> REQUIRED <input checked="" type="checkbox"/> PROVIDED <input type="checkbox"/> N/A SERVICE SPACE > 200 m <sup>2</sup> : <input checked="" type="checkbox"/> REQUIRED <input checked="" type="checkbox"/> PROVIDED <input type="checkbox"/> N/A	3.3.1.3.	
3-3	EGRESS DOORWAYS	2 REQUIRED 2 PROVIDED	3.3.1.5.	
3-4	TRAVEL DISTANCE (m)	≤ 45m REQUIRED < 24.7m PROPOSED <sup>1</sup>	3.3.1.6. & 3.4.2.5.(1)	<sup>1</sup> REFER TO BUILDING CODE ANALYSIS PLANS
3-5	DOORS AND DOOR HARDWARE	DOOR CLEAR WIDTH (mm): 800 MINIMUM DIFFERENCES IN LEVEL ≤ 3.3 mm: <input checked="" type="checkbox"/> REQUIRED <input checked="" type="checkbox"/> PROVIDED	3.3.1.13.	
3-6	GUARDS	BOTH SIDES AT EXITS: <input checked="" type="checkbox"/> REQUIRED <input checked="" type="checkbox"/> PROVIDED HEIGHT (mm): 1070 MINIMUM PREVENTS PASSAGE OF 100mm SPHERE, OR PERMITS PASSAGE OF 200mm SPHERE: <input checked="" type="checkbox"/> REQUIRED <input checked="" type="checkbox"/> PROVIDED NON-CRUMBLE FROM 140-900 mm: <input checked="" type="checkbox"/> REQUIRED <input checked="" type="checkbox"/> PROVIDED	3.3.1.18. & 3.4.6.6.	
3-7	MINIMUM NUMBER OF EXITS [FOR EACH FLOOR AREA]	2 REQUIRED 2 PROVIDED	3.4.2.1.	
3-8	DISTANCE BETWEEN EXITS	SEPARATED BY ≥ HALF FLOOR AREA DIAGONAL DISTANCE: <input checked="" type="checkbox"/> REQUIRED <input checked="" type="checkbox"/> PROVIDED	3.4.2.3.	
3-9	EXIT WIDTH (mm)	PUBLIC CORRIDORS: 1100 MINIMUM STAIRS: 1100 MINIMUM	3.3.1.9, 3.3.1.17. & 3.4.3.2.	
3-10	HEADROOM CLEARANCE (mm)	EXITS: 2050 MINIMUM DOORWAYS: 2050 MINIMUM <sup>1</sup>	3.4.3.4.	<sup>1</sup> CLOSER OR SIMILAR DEVICE MAY NOT REDUCE HEADROOM CLEARANCE TO LESS THAN 1980 mm
3-11	EXIT SIGNS	ABOVE/ADJACENT EVERY EXIT DOOR: <input checked="" type="checkbox"/> REQUIRED <input checked="" type="checkbox"/> PROVIDED ILLUMINATED WHILE OCCUPIED: <input checked="" type="checkbox"/> REQUIRED <input checked="" type="checkbox"/> PROVIDED EMERGENCY POWER SUPPLY: <input checked="" type="checkbox"/> REQUIRED <input checked="" type="checkbox"/> PROVIDED	3.4.5.1.	
3-12	SURFACE FINISH OF STAIRS	SLIP RESISTANT FINISH & CONTRASTING LEADING EDGES: <input checked="" type="checkbox"/> REQUIRED <sup>1</sup> <input checked="" type="checkbox"/> PROVIDED TACTILE WARNING AT TOP LANDINGS: <input checked="" type="checkbox"/> REQUIRED <sup>2</sup> <input checked="" type="checkbox"/> PROVIDED	3.4.6.1. & 3.8.2.10.(3)	<sup>1</sup> PER 3.4.6.1.(1) <sup>2</sup> PER 3.8.2.10.(3)
3-13	DIMENSIONS OF [STAIR] LANDINGS (mm)	LANDINGS AT TOPS AND BOTTOMS OF STAIR: 1100 MINIMUM	3.4.6.4.	
3-14	[STAIR] HANDRAILS	STAIR HANDRAILS: <input checked="" type="checkbox"/> REQUIRED, BOTH SIDES HANDRAIL HEIGHT (mm): 865 - 1070 REQUIRED STAIR HANDRAIL EXTENSIONS, TOP AND BOTTOM: <input checked="" type="checkbox"/> REQUIRED (AT ONE SIDE)	3.4.6.5.	
3-15	[STAIR] TREADS AND RISERS (mm)	TREAD WIDTH: ≥ 280 REQUIRED 280 PROPOSED RISER HEIGHT: 125 - 180 REQUIRED 176 PROPOSED	3.4.6.8.	
3-16	DOOR AND RELEASE HARDWARE	PANIC HARDWARE AT EXTERIOR EXIT DOORS: <input checked="" type="checkbox"/> REQUIRED <input checked="" type="checkbox"/> PROVIDED	3.4.6.16.	
3-17	FLOOR NUMBERING	NUMERALS INDICATING FLOOR LEVEL ON STAIR SIDE OF DOORS IN EXIT STAIR SHAFTS: <input checked="" type="checkbox"/> REQUIRED <input checked="" type="checkbox"/> PROVIDED	3.4.6.19.	

Building Code Analysis - Health and Accessibility

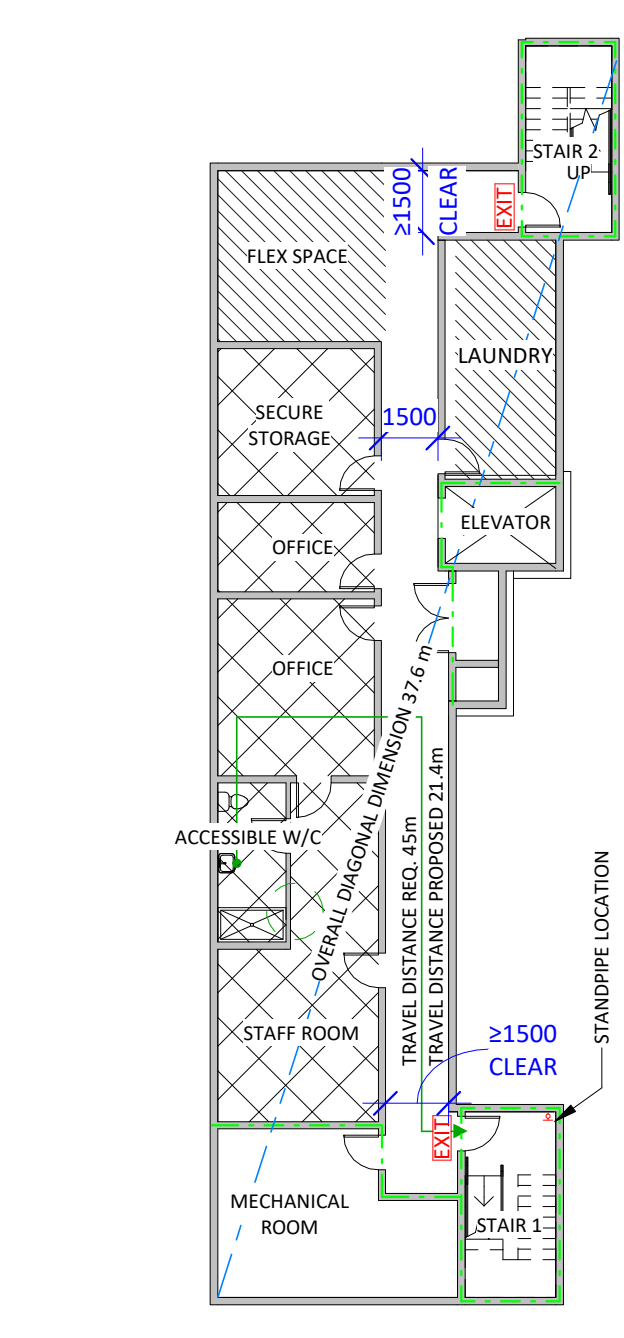
4 - HEALTH AND ACCESS FOR PERSONS WITH DISABILITIES				
NO.	ITEM	DESCRIPTION	REFERENCES	
4-1	PLUMBING FIXTURES	RESIDENTIAL: 39 DWELLING UNITS 39 WASHROOMS REQUIRED 39 WASHROOMS PROVIDED 50 GUESTS <sup>1</sup> 2 WASHROOMS REQUIRED 2 WASHROOMS PROVIDED (1 UNIVERSAL) OFFICE: 10 STAFF <sup>2</sup> 1 UNIVERSAL WASHROOM REQUIRED 1 UNIVERSAL WASHROOM PROVIDED	3.7.2.2.	<sup>1</sup> MAXIMUM GUEST COUNT BASED ON 2 PUBLIC WASHROOMS ON LEVEL 1 PER TABLE 3.7.2.2.-A <sup>2</sup> EXPECTED TOTAL STAFF COUNT TO BE 10 PERSONS 3.1.17.1.(1)(c)
4-2	ACCESSIBILITY FOR PERSONS WITH DISABILITIES	<input checked="" type="checkbox"/> REQUIRED <input checked="" type="checkbox"/> PROVIDED	3.8.1.1, 3.8.2.1.	
4-3	AREAS REQUIRING ACCESS	ACCESS THROUGHOUT ENTRANCE STOREY & NORMALLY OCCUPIED FLOOR AREAS: <input checked="" type="checkbox"/> REQUIRED <input checked="" type="checkbox"/> PROVIDED	3.8.2.3.	
4-4	ENTRANCES	ACCESS FROM STREET TO MAIN ENTRANCE & ≥ 50% ALL PEDESTRIAN ENTRANCES: <input checked="" type="checkbox"/> REQUIRED <input checked="" type="checkbox"/> PROVIDED POWER DOOR OPERATOR AT MAIN ENTRANCE, INCLUDING INTERIOR VESTIBULE DOORS: <input checked="" type="checkbox"/> REQUIRED <sup>1</sup> <input checked="" type="checkbox"/> PROVIDED	3.8.2.2. & 3.8.2.7.	
4-5	ACCESSIBLE PATHS OF TRAVEL	WIDTH OF PATH TO ENTRANCE (mm): ≥ 1,500 REQUIRED ≥ 1,500 PROVIDED STABLE, FIRM, SLIP RESISTANT SURFACE: <input checked="" type="checkbox"/> REQUIRED <input checked="" type="checkbox"/> PROVIDED SLOPING ≤ 1:20 OR DESIGNED AS RAMP CONFORMING TO 3.8.3.5.: <input checked="" type="checkbox"/> REQUIRED <input checked="" type="checkbox"/> PROVIDED UNOBSTRUCTED HEIGHT ≥ 1980 mm: <input checked="" type="checkbox"/> REQUIRED <input checked="" type="checkbox"/> PROVIDED ILLUMINATED PER 3.7.7.1.(1) & (2): <input checked="" type="checkbox"/> REQUIRED <input checked="" type="checkbox"/> PROVIDED	3.8.3.2. & 3.8.3.3.	
4-6	PATH OF TRAVEL TO PARKING AREAS	ACCESSIBLE PATH OF TRAVEL FROM ACCESSIBLE PARKING STALLS TO AN ACCESSIBLE ENTRANCE: <input checked="" type="checkbox"/> REQUIRED <input checked="" type="checkbox"/> PROVIDED	3.8.2.5.	
4-7	PASSENGER-LOADING ZONE(S)	ACCESSIBLE PATH OF TRAVEL FROM PASSENGER-LOADING ZONE(S) TO AN ACCESSIBLE ENTRANCE: <input checked="" type="checkbox"/> REQUIRED <input checked="" type="checkbox"/> PROVIDED 1.5 X 6.0 m AISLE PARALLEL TO PULL-UP SPACE: <input checked="" type="checkbox"/> REQUIRED <input checked="" type="checkbox"/> PROVIDED WHERE CURBS BETWEEN SPACE AND AISLE, CURB RAMP MEETING 3.8.3.3.: <input checked="" type="checkbox"/> REQUIRED <input checked="" type="checkbox"/> PROVIDED MIN. 2750mm CLEAR HEIGHT: <input checked="" type="checkbox"/> REQUIRED <input checked="" type="checkbox"/> PROVIDED	3.8.2.5. & 3.8.3.4.	
4-8	DOORWAYS AND DOORS [ACCESSIBLE PATHS OF TRAVEL]	DOOR CLEAR WIDTH (mm): ≥ 850 REQUIRED ≥ 850 PROVIDED GRASPABLE # HARDWARE 900-1100mm ABOVE FLOOR: <input checked="" type="checkbox"/> REQUIRED <input checked="" type="checkbox"/> PROVIDED MANUAL IN-SWINGING LATCH-SIDE CLEAR AREAS (mm): ≥ 1,500 x (DOOR-600) REQUIRED MANUAL DOOR OUT-SWINGING LATCH-SIDE CLEAR AREAS (mm): ≥ 1,200 x (DOOR-300) REQUIRED POWERED OPERATOR CONTROLS 600-1500mm FROM DOOR: <input checked="" type="checkbox"/> REQUIRED <input checked="" type="checkbox"/> PROVIDED DOORS IN SERIES SEPARATED BY ≥ 1500mm + DOOR WIDTH: <input checked="" type="checkbox"/> REQUIRED <input checked="" type="checkbox"/> PROVIDED	3.8.3.6.	
4-9	CONTROLS AND OUTLETS [FOR OCCUPANT USE] <sup>1</sup>	LOCATED 455-1700mm ABOVE FLOOR: <input checked="" type="checkbox"/> REQUIRED <input checked="" type="checkbox"/> PROVIDED ADJACENT TO AND CENTRED ON CLEAR FLOOR SPACE 1350 X 800mm: <input checked="" type="checkbox"/> REQUIRED <input checked="" type="checkbox"/> PROVIDED ONE HAND OPERATION WITH ≤ 27N FORCE: <input checked="" type="checkbox"/> REQUIRED <input checked="" type="checkbox"/> PROVIDED	3.8.2.6. & 3.8.3.8.	<sup>1</sup> SEE ELEC. DRAWINGS
4-10	ACCESSIBLE PLUMBING FACILITIES	ACCESSIBLE WASHROOM AT EACH ACCESSIBLE STOREY: <input checked="" type="checkbox"/> REQUIRED <input checked="" type="checkbox"/> PROVIDED UNIVERSAL WASHROOM AT ENTRANCE STOREY: <input checked="" type="checkbox"/> REQUIRED <input checked="" type="checkbox"/> PROVIDED	3.8.2.8.	
4-11	ACCESSIBLE WASHROOMS	UNIVERSAL TOILET ROOM(S): 1 REQUIRED <sup>1</sup> 1 PROVIDED ACCESSIBLE WATER CLOSET STALL(S): 1 REQUIRED <sup>2</sup> 2 PROVIDED ACCESSIBLE WATER CLOSET(S): 1 REQUIRED <sup>3</sup> 2 PROVIDED ACCESSIBLE LAVATORY(IES): 2 REQUIRED <sup>4</sup> 2 PROVIDED ACCESSIBLE MIRROR(S): 2 REQUIRED <sup>5</sup> 2 PROVIDED ACCESSIBLE DRINKING FOUNTAIN(S): 0 REQUIRED <sup>6</sup> 0 PROVIDED ACCESSIBLE SHOWERS: 0 REQUIRED <sup>7</sup> 0 PROVIDED ACCESSIBLE BATH(TUB)S: 0 REQUIRED <sup>8</sup> 0 PROVIDED	3.8.3.11. - 3.8.3.17.	<sup>1</sup> PER 3.8.2.8.(3) & 3.8.3.12. <sup>2</sup> SHOWER ALSO UNIVERSAL <sup>3</sup> PER 3.8.2.8.(5) & 3.8.3.11. <sup>4</sup> PER 3.8.2.8.(5) & 3.8.3.13. <sup>5</sup> ALL WASHROOMS TO BE GENDER NEUTRAL <sup>6</sup> PER 3.8.2.8.(6) & 3.8.3.14. <sup>7</sup> NO URINALS PROPOSED. <sup>8</sup> PER 3.8.2.8.(7) & 3.8.3.15.(1) <sup>9</sup> PER 3.8.2.8.(8) & 3.8.3.15.(2) <sup>10</sup> PER 3.8.2.8.(9) & 3.8.3.10. <sup>11</sup> PER 3.8.2.8.(10) & PER 3.8.3.16. <sup>12</sup> PER 3.8.3.17.



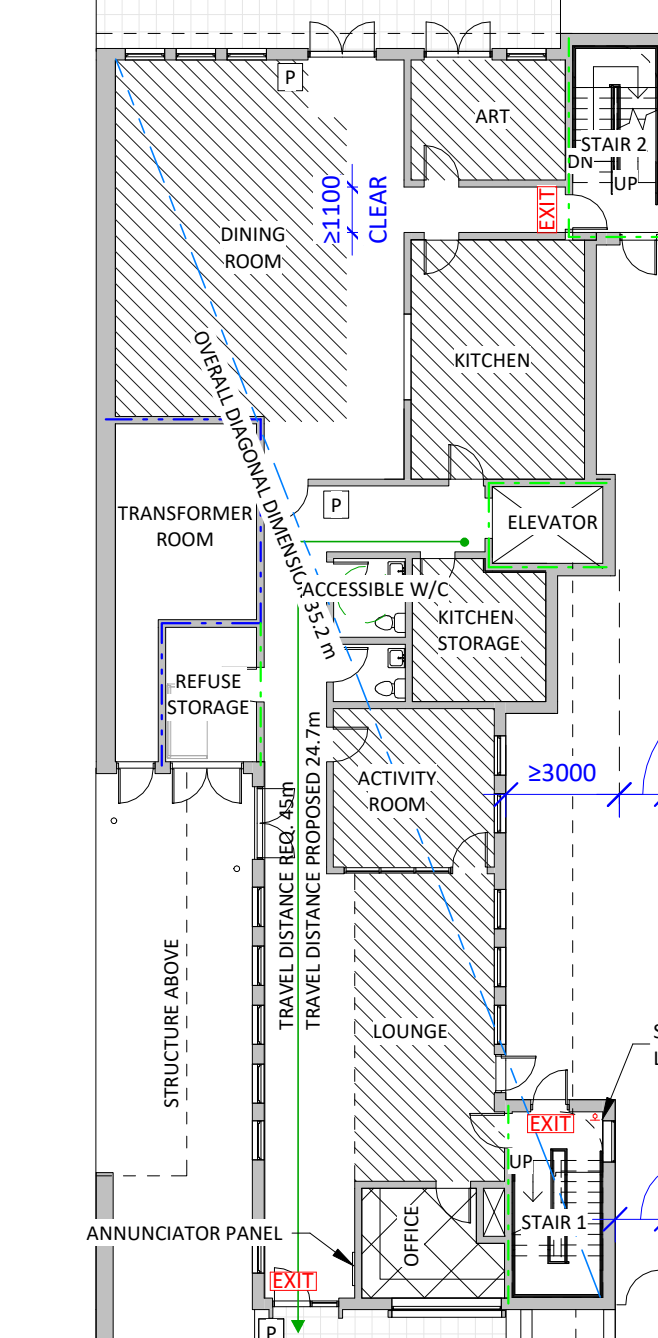
3 Code Analysis Plans - Level 2-4  
1 : 200



4 Code Analysis Plan - Roof  
1 : 200



1 Code Analysis Plan - Basement  
1 : 200



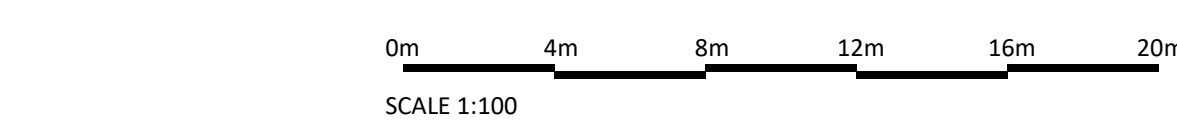
2 Code Analysis Plan - Level 1  
1 : 200

**CODE PLANS LEGEND**

- RESIDENTIAL AND ANCILLARY
- OFFICE
- CIRCULATION AND SERVICE
- POWER DOOR OPERATOR
- WHEELCHAIR ACCESSIBLE UNIT

**FRR LEGEND**

- 1hr FIRE SEPARATION
- 2hr FIRE SEPARATION

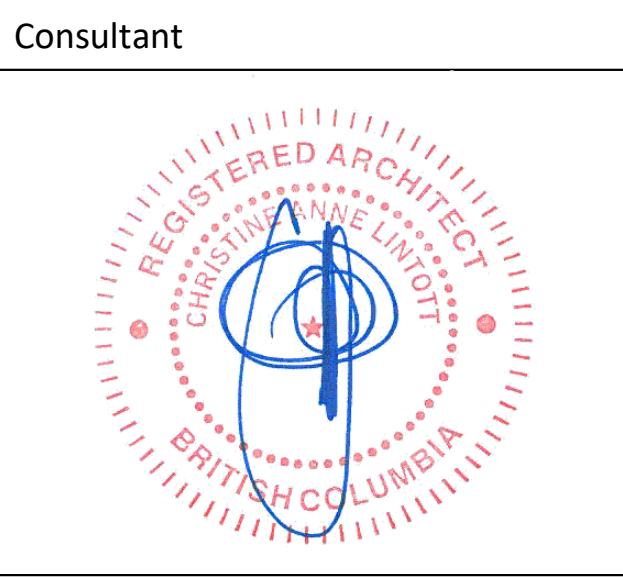


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Issue	Date
ISSUED FOR CALUC APPLICATION	SEPT 22, 2021
ISSUED FOR DP/REZONING	FEBRUARY 17, 2022
DP/REZONING RESUBMISSION	JULY 27, 2022

Revision	Description	Date
E	Elevator Shaft Size Change & Closet	2022-07-22

NUMERIC REVISIONS - MATCH MUNICIPLE COMMENTS  
ALPHANUMERIC REVISIONS - NOT INCLUDED IN MUNICIPLE COMMENTS



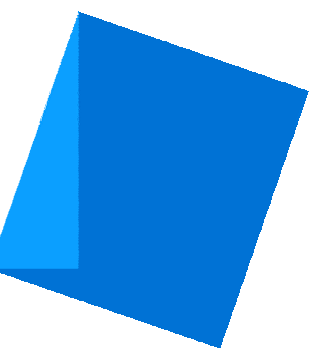
North Park VIHA  
1048 North Park Street,  
Victoria BC

Code Analysis

Date: 7/27/2022 12:44:05 PM  
Drawn by: RJ  
Checked by: Checker

**A-0.02**

Scale: As indicated



Issue Date

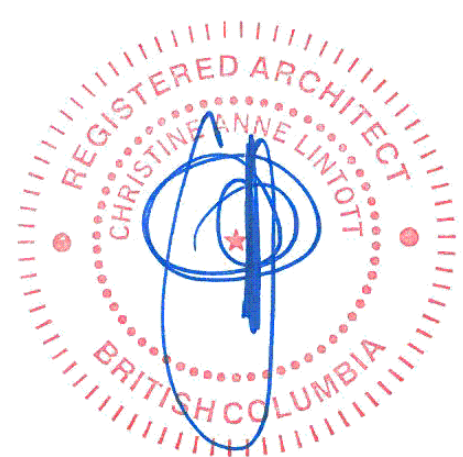
ISSUED FOR CALUC APPLICATION SEPT 22, 2021  
ISSUED FOR DP/REZONING FEBRUARY 17, 2022  
DP/REZONING RESUBMISSION JULY 27, 2022

Revision

No.	Description	Date
5	Addition of windows into the stairwells	2022-04-11
3	Changed balconies to Juliet's	2022-04-11
9	Window	2022-04-11
E	Elevator Shaft Size Change & Closet	2022-07-22

NUMERIC REVISIONS - MATCH MUNICIPLE COMMENTS  
ALPHANUMERIC REVISIONS - NOT INCLUDED IN MUNICIPLE COMMENTS

Consultant



# North Park VIHA

1048 North Park Street, Victoria BC

## Spatial Separation

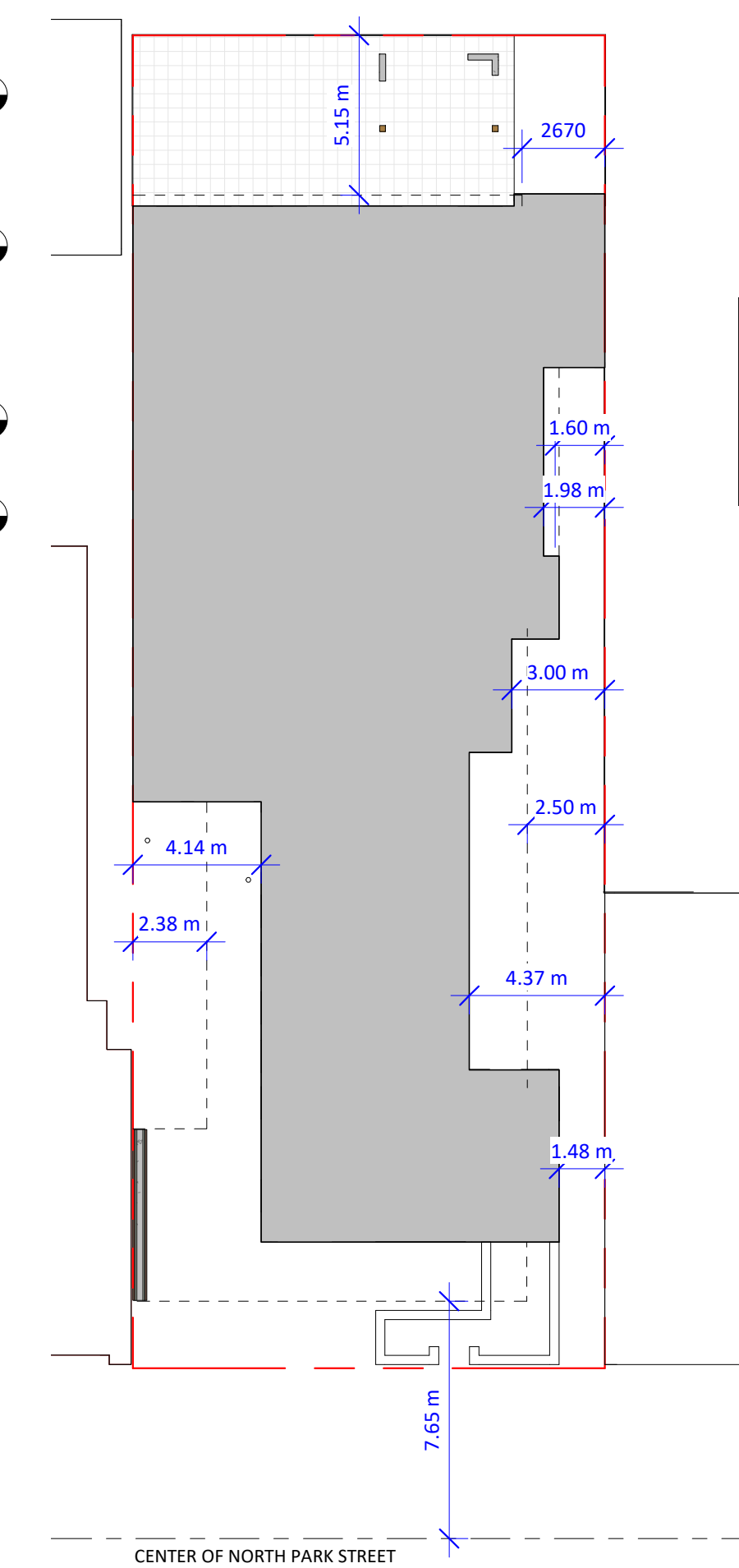
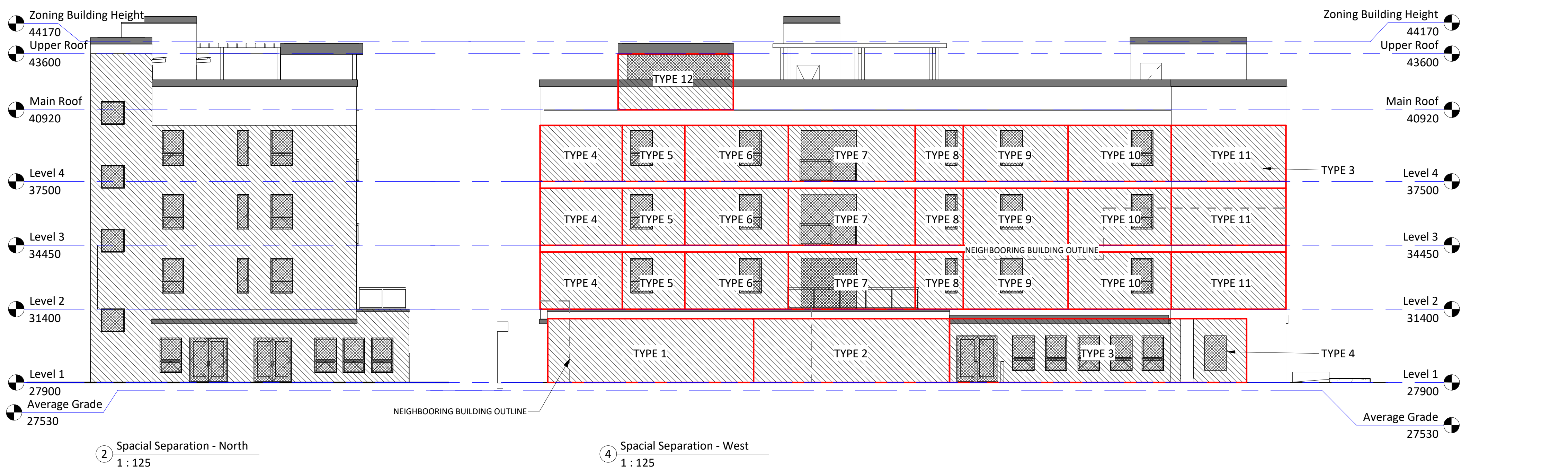
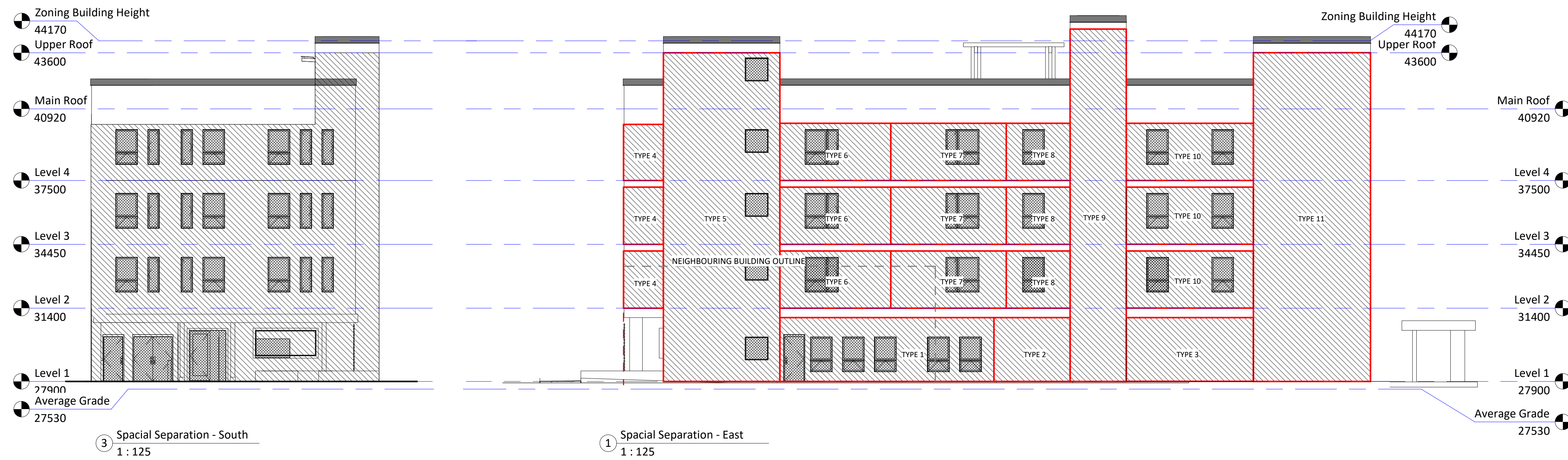
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Drawn by RJ

Checked by Checker

# A-0.03

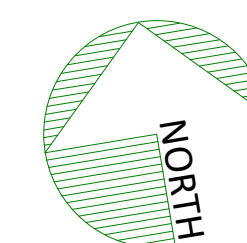
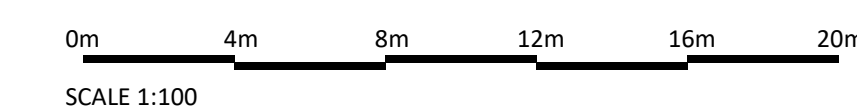
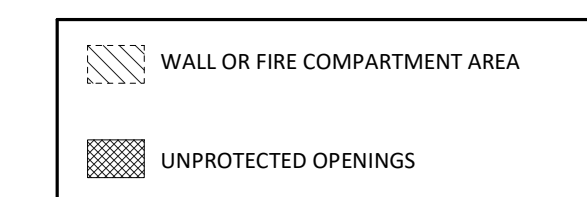
Scale As indicated

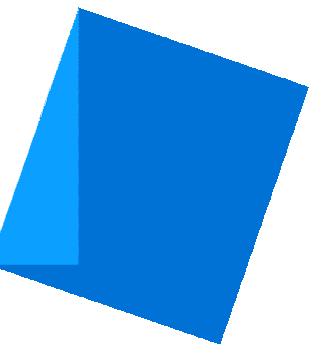


### Building Code Analysis - Spatial Separations

NO.	ITEM	DESCRIPTION	SOUTH							NORTH							REFERENCE
			WALL AREA	LIMITING DISTANCE	MAXIMUM OPENINGS	PROPOSED OPENINGS	WALL F.R.R.	WALL NON-COMB.	CLADDING NON-COMB.	WALL AREA	LIMITING DISTANCE	MAXIMUM OPENINGS	PROPOSED OPENINGS	WALL F.R.R.	WALL NON-COMB.	CLADDING NON-COMB.	
6-1	SPATIAL SEPARATION AND EXPOSURE PROTECTION & CONSTRUCTION OF EXPOSING BUILDING FACE		TOTAL FACE							TOTAL FACE							3.2.3.1.D
			179.41	7.65	100	26.61	N/A	N/A	N/A	174.79	5.15	41.8	18.45	.75	N/A	N/A	
		EAST:								WEST:							
		TYPE 1	31.2	4.37	72.88	35.1	3/4	N/A	N/A	30	0	0	0	1	REQUIRED	REQUIRED	
		TYPE 2	11.1	2.50	50.0	0	1	N/A	REQUIRED	28.56	0	0	0	1	REQUIRED	REQUIRED	
		TYPE 3	18.52	1.98	29.60	0	1	N/A	REQUIRED	41.4	4.14	59.65	35.5	3/4	N/A	N/A	
		TYPE 4	5.50	2.50	66.0	0	3/4	N/A	N/A	10.68	2.38	46.16	16.48	3/4	N/A	REQUIRED	
		TYPE 5	79.19	1.48	7.7	10.98	1	N/A	REQUIRED	8.17	2.38	60.24	21.54	3/4	N/A	N/A	
		TYPE 6	14.5	2.50	50.0	18.28	3/4	N/A	REQUIRED	13.52	2.38	46.16	13.02	3/4	N/A	REQUIRED	
		TYPE 7	15.07	2.50	50.0	17.58	3/4	N/A	REQUIRED	16.56	2.38	39.12	39.0	3/4	N/A	REQUIRED	
		TYPE 8	8.3	2.50	66.0	20.8	3/4	N/A	REQUIRED	6.28	2.38	60.24	14.65	3/4	N/A	N/A	
		TYPE 9	45.2	1.48	15.87	0	1	N/A	REQUIRED	13.7	2.38	46.16	12.85	3/4	N/A	REQUIRED	
		TYPE 10	14.78	1.48	19.73	11.9	1	N/A	REQUIRED	13.11	2.38	46.16	13.42	3/4	N/A	REQUIRED	
		TYPE 11	81.70	0	0	0	1	REQUIRED	REQUIRED	15.7	0	0	0	1	REQUIRED	REQUIRED	
		TYPE 12								14.72	2.38	46.16	46.0	3/4	N/A	REQUIRED	

#### Separation Elevations - Annotations





Issue Date

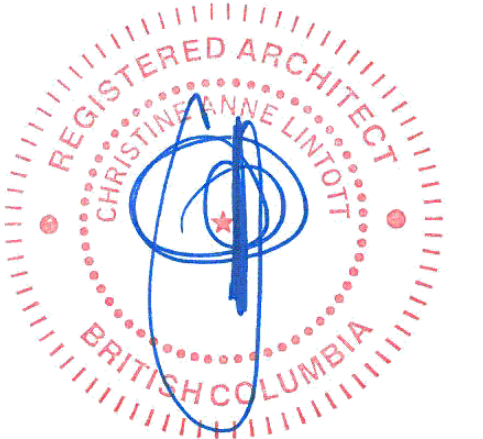
ISSUED FOR CALUC APPLICATION SEPT 22, 2021  
ISSUED FOR DP/REZONING FEBRUARY 17, 2022  
DP/REZONING RESUBMISSION JULY 27, 2022

Revision

No.	Description	Date
E	Elevator Shaft Size Change & Closet	2022-07-22

NUMERIC REVISIONS - MATCH MUNICIPLE COMMENTS  
ALPHANUMERIC REVISIONS - NOT INCLUDED IN MUNICIPLE COMMENTS

Consultant



# North Park VIHA

1048 North Park Street,  
Victoria BC

## Survey

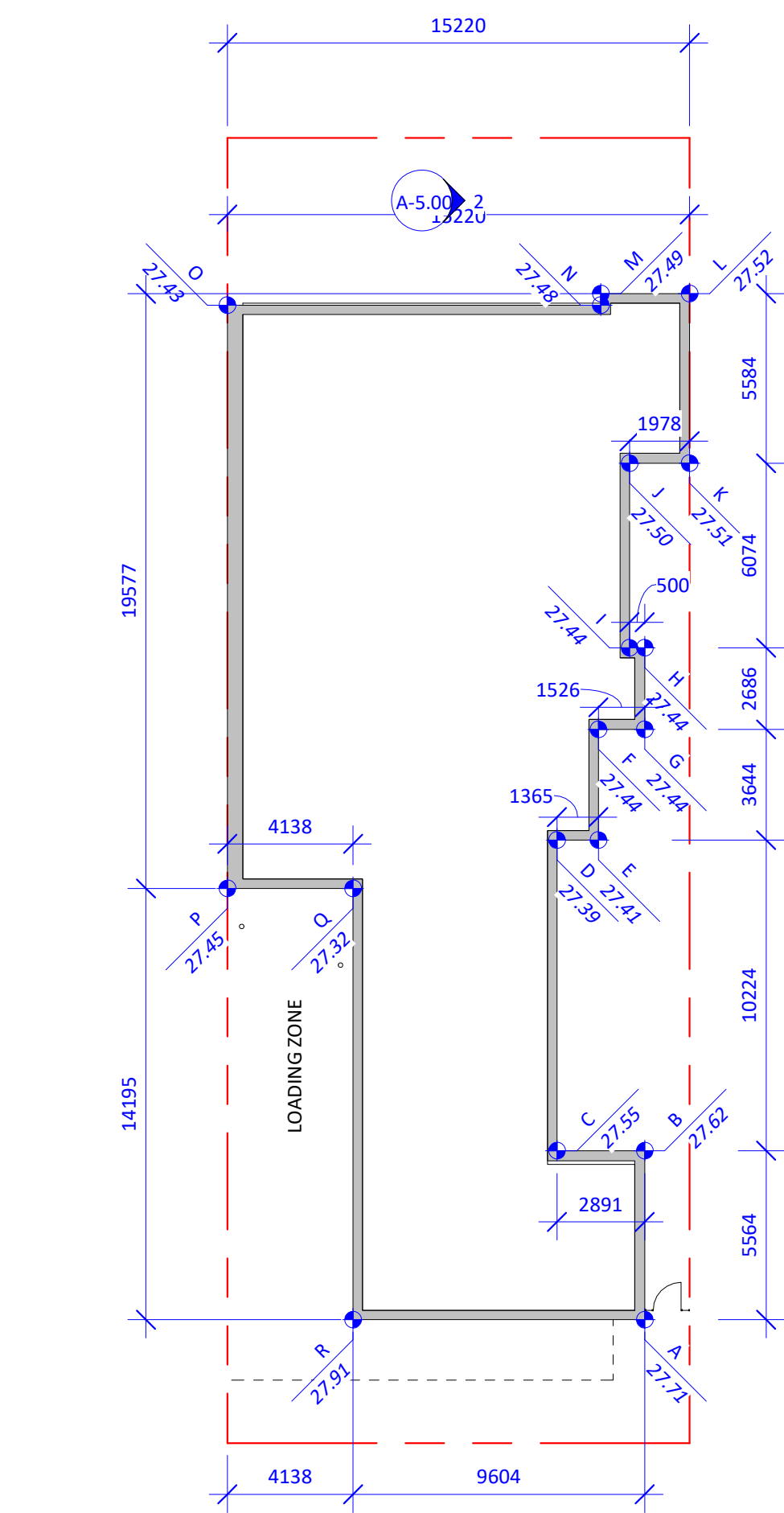
Date 7/27/2022 12:44:09 PM

Drawn by RJ

Checked by Checker

# A-1.01

Scale 1 : 200

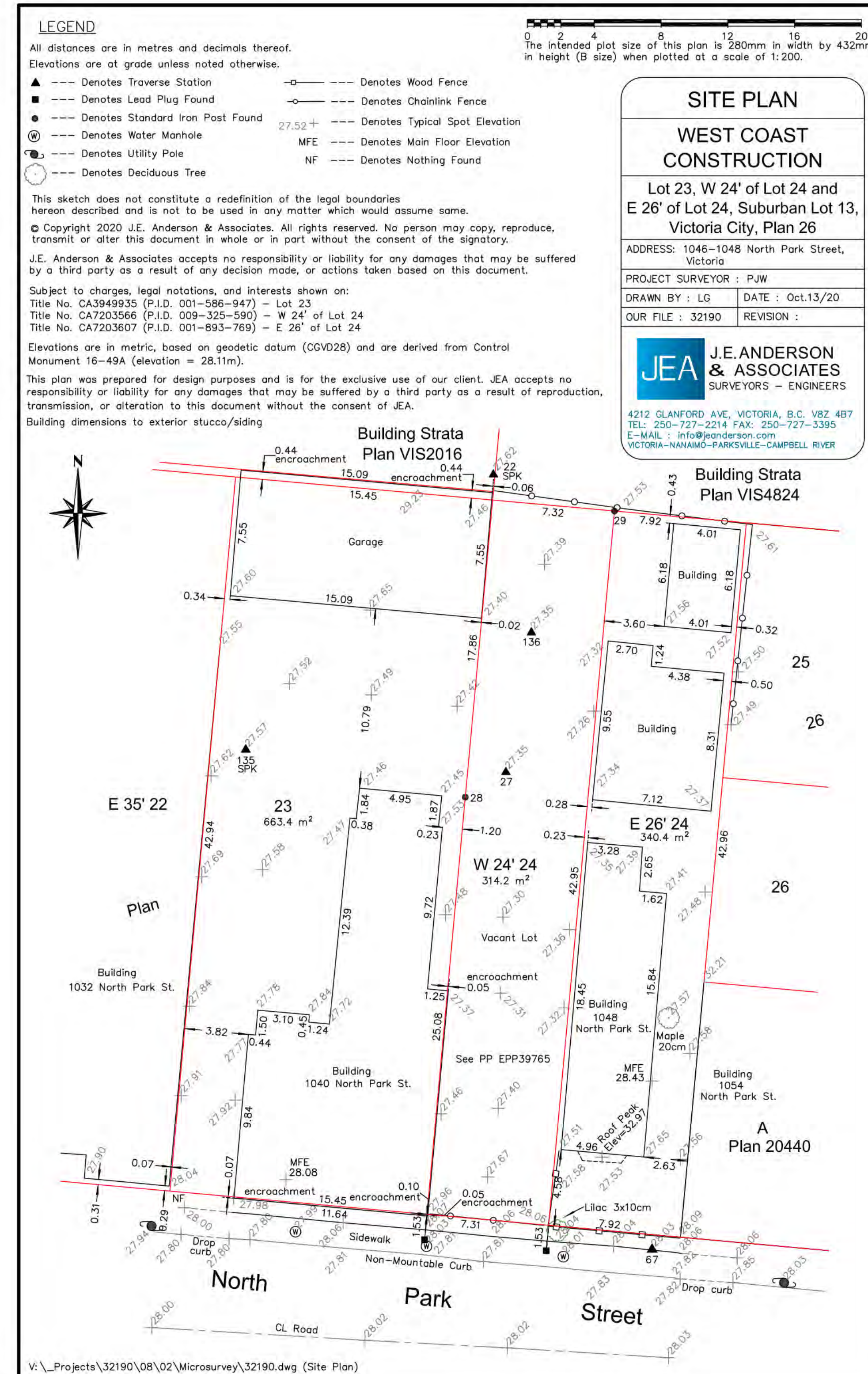


NORTH PARK ST

POINTS	GRADE	GRADE POINTS	AVG OF POINTS	DISTANCE	TOTALS	PERIMETER
A	27.71	A+B	27.665	5.04	139.43	104.4
B	27.62	B+C	27.585	2.89	79.72	
C	27.55	C+D	27.47	10.74	295.03	
D	27.39	D+E	27.4	1.37	37.54	
E	27.41	E+F	27.425	3.64	99.83	
F	27.44	F+G	27.45	1.53	41.9985	
G	27.46	G+H	27.465	2.69	73.88085	
H	27.47	H+I	27.47	0.5	13.735	
I	27.47	I+J	27.485	6.07	166.83395	
J	27.5	J+K	27.505	1.98	54.46	
K	27.51	K+L	27.515	5.2	143.08	
L	27.52	L+M	27.505	2.93	80.59	
M	27.49	M+N	27.485	0.38	10.44	
N	27.48	N+O	27.455	12.3	337.70	
O	27.43	O+P	27.44	19.2	526.85	
P	27.45	P+Q	27.365	4.14	113.37	
Q	27.32	Q+R	27.615	14.2	392.13	
R	27.91	R+A	27.81	9.6	266.98	

SUM	2873.59
GRADE CALCULATION	27.52

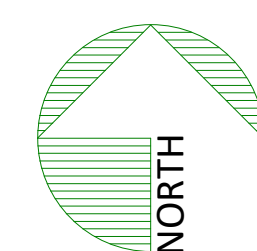
4 Average Grade Diagram  
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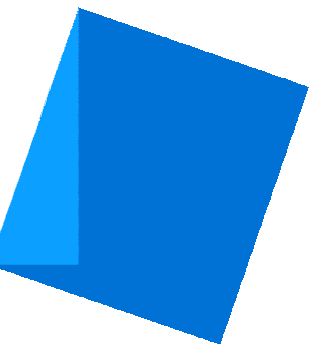


5 Survey  
1 : 200

NOTE: EXISTING BUILDING TO BE DEMOLISHED/DECONSTRUCTED & DIVERTED FROM LANDFILL

0m 4m 8m 12m 16m 20m  
SCALE 1:100





Issue Date

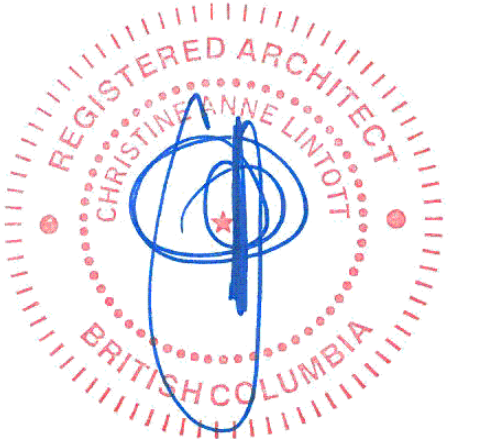
ISSUED FOR CALUC APPLICATION	SEPT 22, 2021
ISSUED FOR DP/REZONING	FEBRUARY 17, 2022
DP/REZONING RESUBMISSION	JULY 27, 2022

Revision

No.	Description	Date
18	Reclassification of loading/parking zone	2022-04-11
4	Additional Bench	2022-04-11
A	Revised Rear Setback	2022-07-08
41	CREST RADIO COVERAGE	2022-07-08
E	Elevator Shaft Size Change & Closet	2022-07-22

NUMERIC REVISIONS - MATCH MUNICIPAL COMMENTS  
ALPHANUMERIC REVISIONS - NOT INCLUDED IN MUNICIPAL COMMENTS

Consultant



North Park VIHA

1048 North Park Street,  
Victoria BC

Site Plan

Date 7/27/2022 12:44:27 PM

Drawn by RJ

Checked by Checker

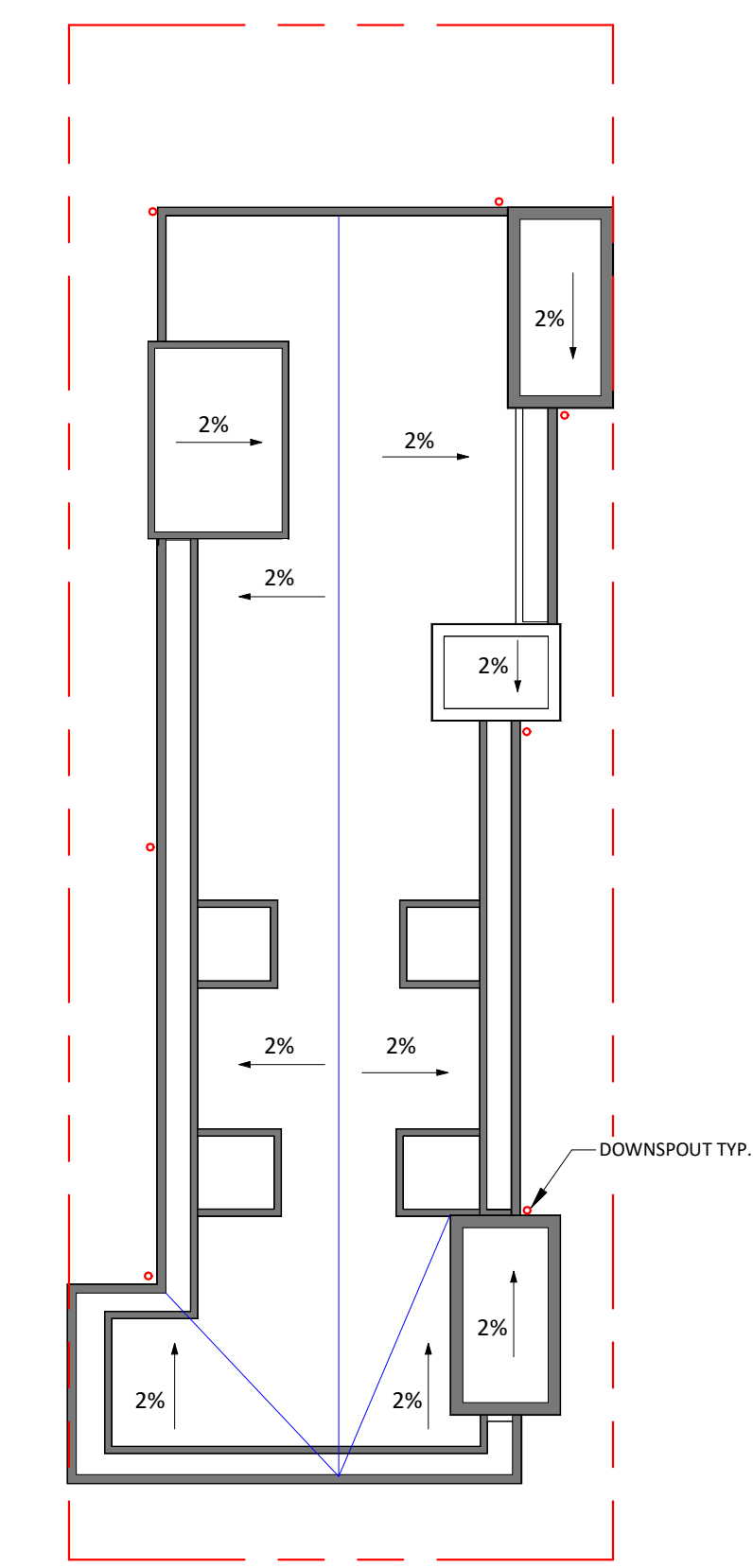
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Scale As indicated

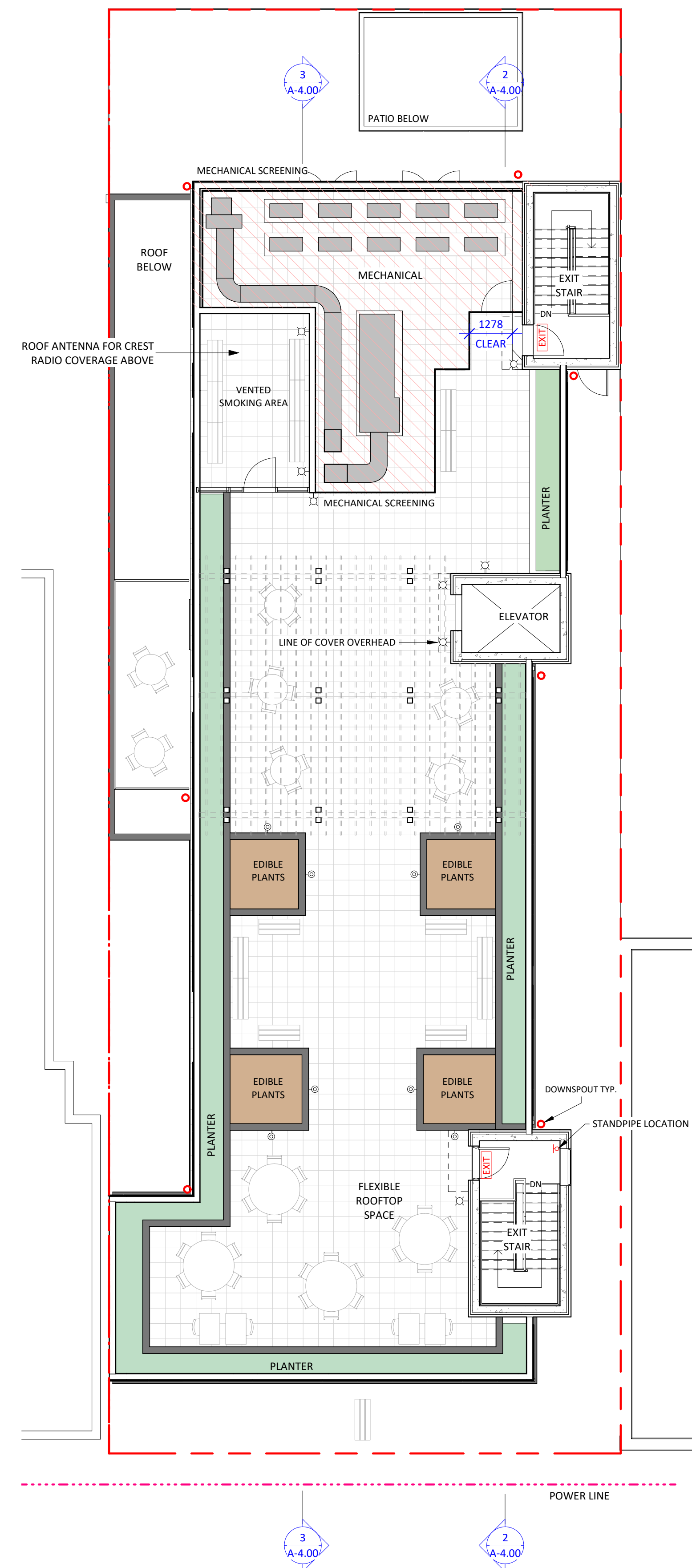
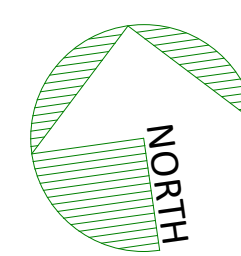
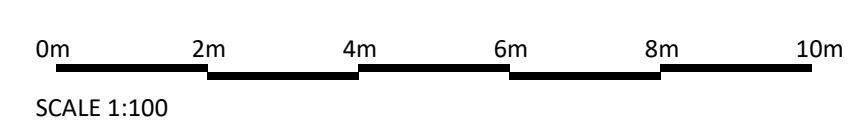
Zoning Analysis - Site Data

ZONING BYLAW ANALYSIS		
ADDRESS	1048 NORTH PARK STREET, VICTORIA BC	
LEGAL DESCRIPTION	LOT 9 (DD 209211), BLOCK 14, SECTION 2, VICTORIA DISTRICT, PLAN 379	
LOT INFORMATION	CURRENT ZONE	PROPOSED ZONE
ZONING	R-91 ZONE - NORTH PARK RESIDENTIAL DISTRICT	SITE SPECIFIC
SITE AREA	654 m <sup>2</sup>	654 m <sup>2</sup>
TOTAL FLOOR AREA	1253m <sup>2</sup> (MAXIMUM)	1485.4 m <sup>2</sup>
COMMERCIAL FLOOR AREA	N/A	N/A
FLOOR SPACE RATIO	1.91 : 1 (MAXIMUM)	2.27 : 1 (1,485.4m <sup>2</sup> + 654m <sup>2</sup> )
SITE COVERAGE %	33% (MAXIMUM)	(455.2m <sup>2</sup> + 17.3m <sup>2</sup> ) / 472.5m <sup>2</sup> of 654m <sup>2</sup> (72.3%)
OPEN SITE SPACE %	N/A	207.8m / 654m = 31.8%
HEIGHT OF BUILDING	12.7m	16.64 m
NUMBER OF STOREYS	N/A	5
VEHICLE PARKING	SUBJECT TO REGULATIONS OF SCHEDULE C	1 <sup>1</sup> <sup>2</sup> REFER TO ATTACHED PARKING STUDY
VEHICLE PARKING (VISITOR)	SUBJECT TO REGULATIONS OF SCHEDULE C	0 OFF-STREET SPACES (ON-STREET ONLY)
BICYCLE PARKING (LONG TERM)	SUBJECT TO REGULATIONS OF SCHEDULE C	12
BICYCLE PARKING (VISITOR)	SUBJECT TO REGULATIONS OF SCHEDULE C	4
BUILDING SETBACKS R-91		
	EXISTING	PROPOSED
FRONT YARD (SOUTH)	0.40m	2.16m
SIDE YARD (WEST)	2.40m	0m
SIDE YARD (EAST)	0m	0m
REAR YARD (NORTH)	6.40m	5.11m
RESIDENTIAL USE DETAILS		
PERMITTED USE	REST HOME - CLASS C HOME OCCUPATION	REST HOME - GROUP C, HOSPITALS, PRIVATE HOSPITALS, NURSING HOMES, INTERMEDIATE CARE FACILITIES AND COMMUNITY CARE FACILITIES. - A BUILDING HAVING BOTH COMMERCIAL AND RESIDENTIAL USES AND WHERE THE GROUND FLOOR IS NOT USED FOR RESIDENTIAL PURPOSES. - OFFICE
TOTAL NUMBER OF UNITS	N/A	39
UNIT TYPE BREAKDOWN	N/A	PROPOSED RENTAL UNITS: 18 ACCESSIBLE STUDIOS 21 NON-ACCESSIBLE STUDIOS
MINIMUM UNIT FLOOR AREA	N/A	11.76 m <sup>2</sup>
TOTAL RESIDENTIAL FLOOR AREA	N/A	649.5 m <sup>2</sup>

Access or Accessible an area and its facilities, or both, as required by this Code, which is easy to approach, enter, exit, operate, participate in, pass to and from, and use safely and independently by persons with disabilities.

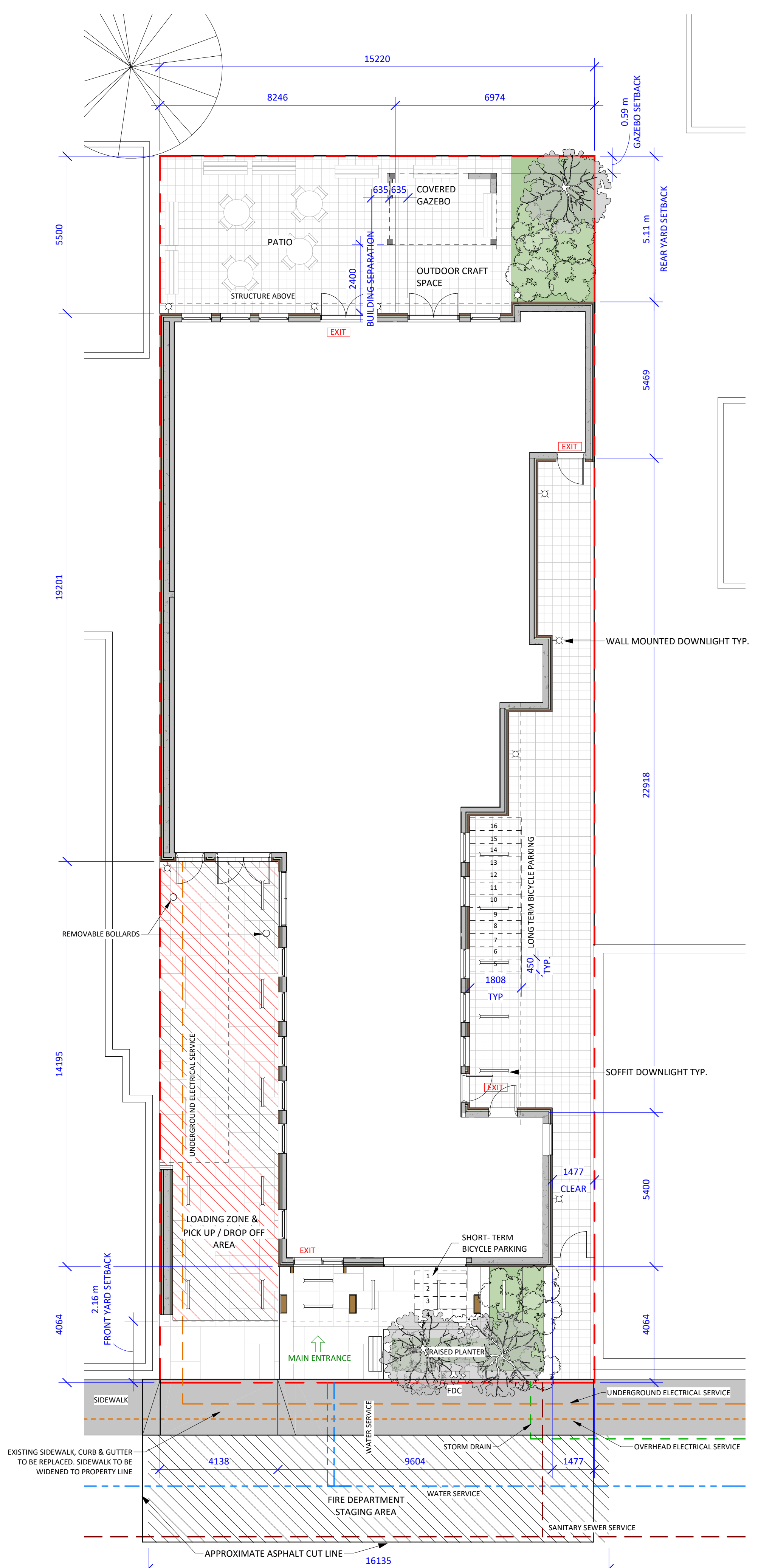


3 Drainage Plan  
1 : 200

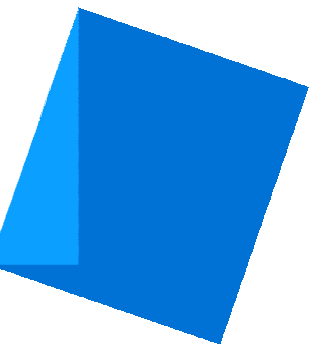


1 Roof Plan  
1 : 100

- LIGHTING LEGEND
- WALL
  - GROUND LEVEL
  - SOFFIT



2 Site Plan  
1 : 100



Issue Date

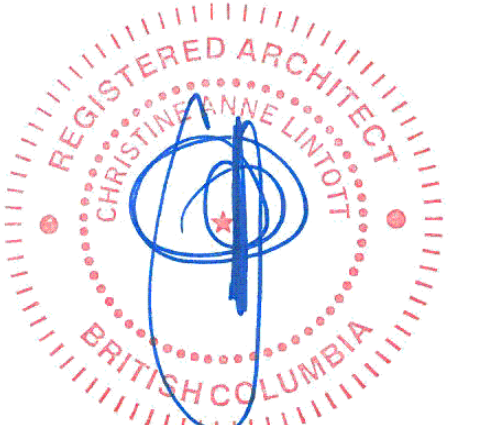
ISSUED FOR CALUC APPLICATION SEPT 22, 2021  
ISSUED FOR DP/REZONING FEBRUARY 17, 2022  
DP/REZONING RESUBMISSION JULY 27, 2022

Revision

No.	Description	Date
11	Accessible W/C & public spaces	2022-04-11
18	Reclassification of loading/parking zone	2022-04-11
4	Additional Bench	2022-04-11
B	Changed to Sliding Door	2022-07-08
41	CREST RADIO COVERAGE	2022-07-08
E	Elevator Shaft Size Change & Closet	2022-07-22

NUMERIC REVISIONS - MATCH MUNICIPLE COMMENTS  
ALPHANUMERIC REVISIONS - NOT INCLUDED IN MUNICIPLE COMMENTS

Consultant



# North Park VIHA

1048 North Park Street,  
Victoria BC

## Floor Plans

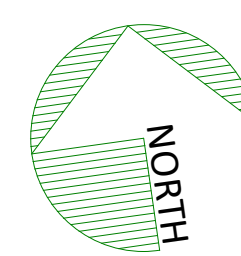
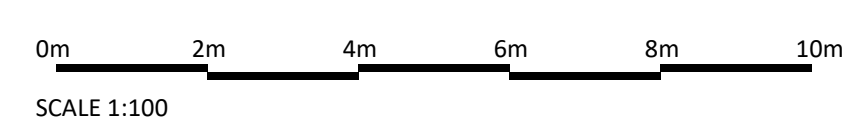
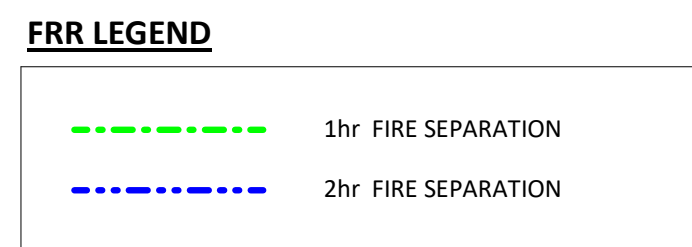
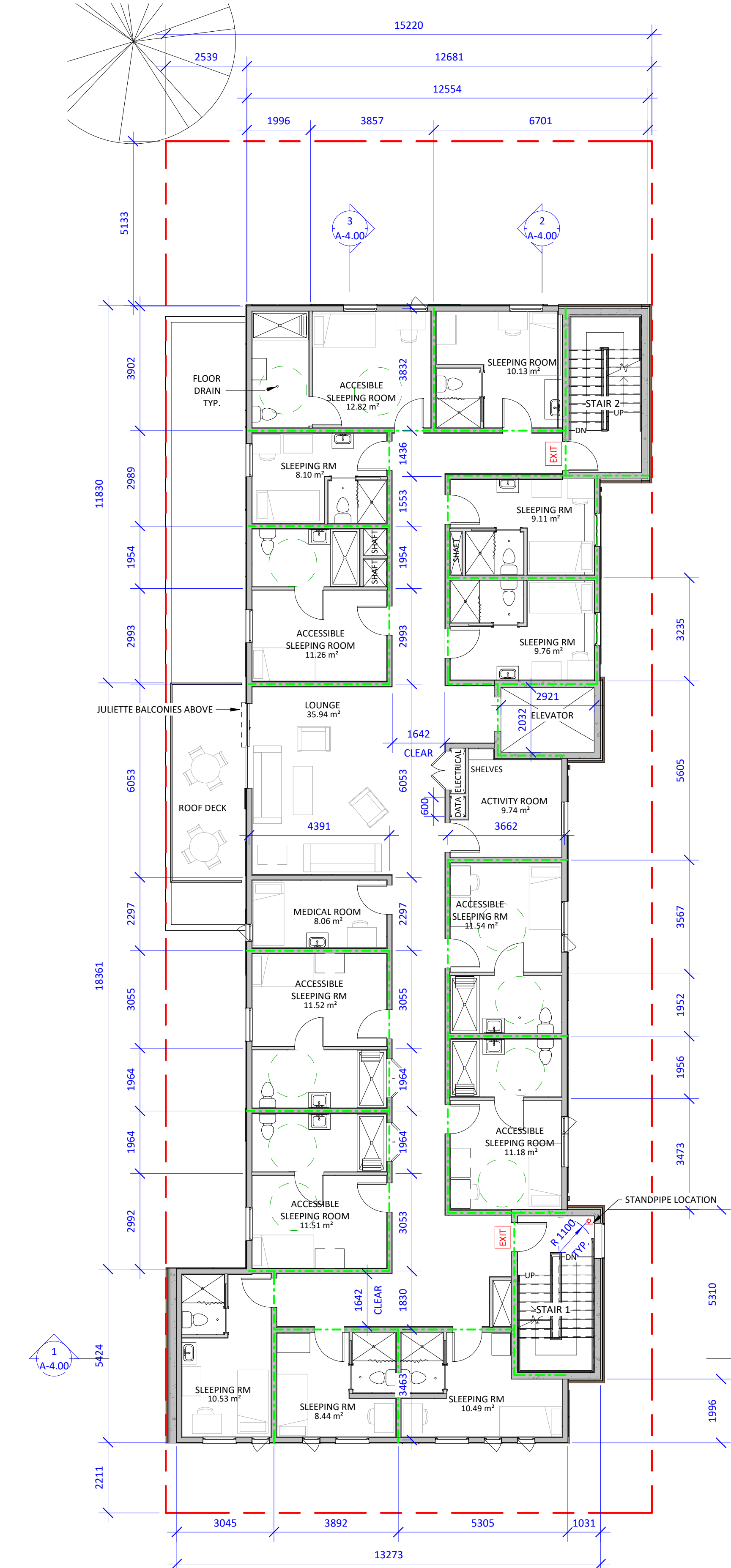
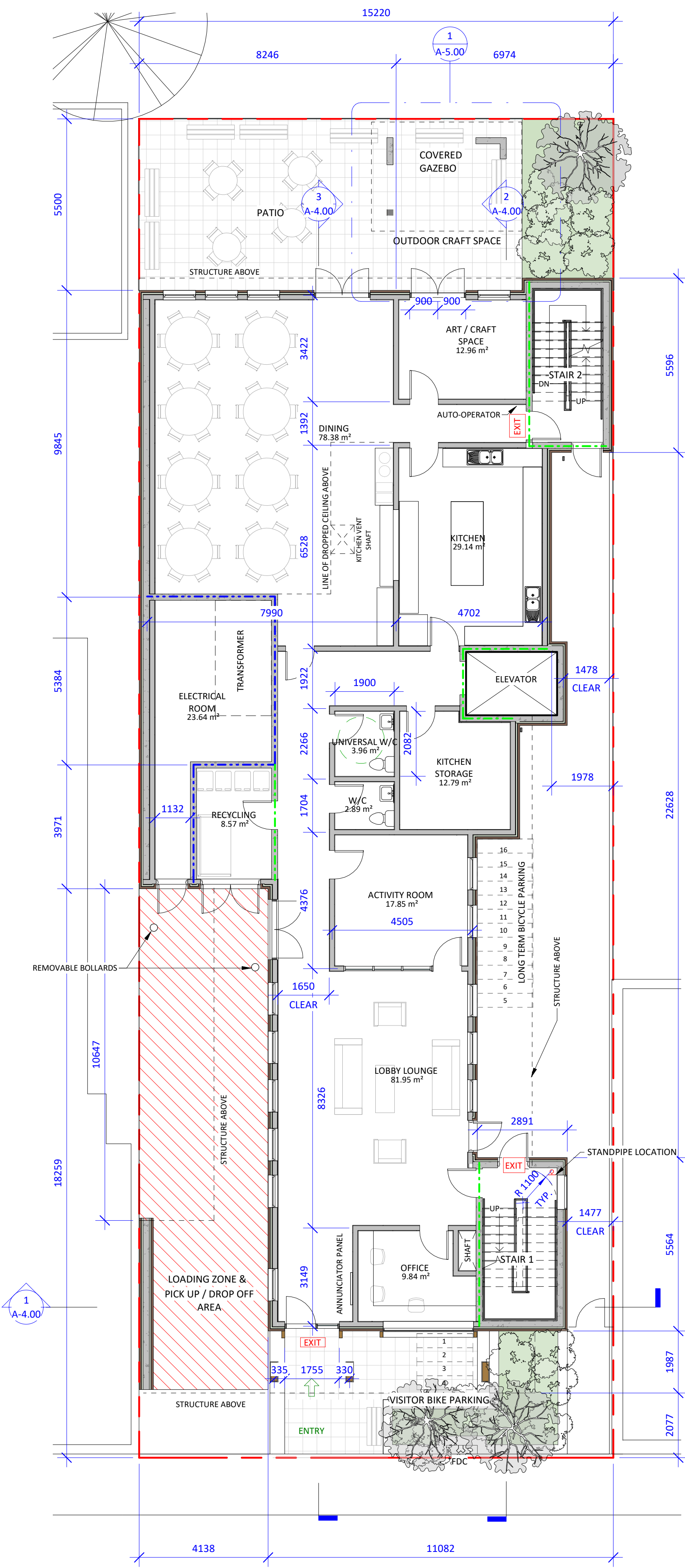
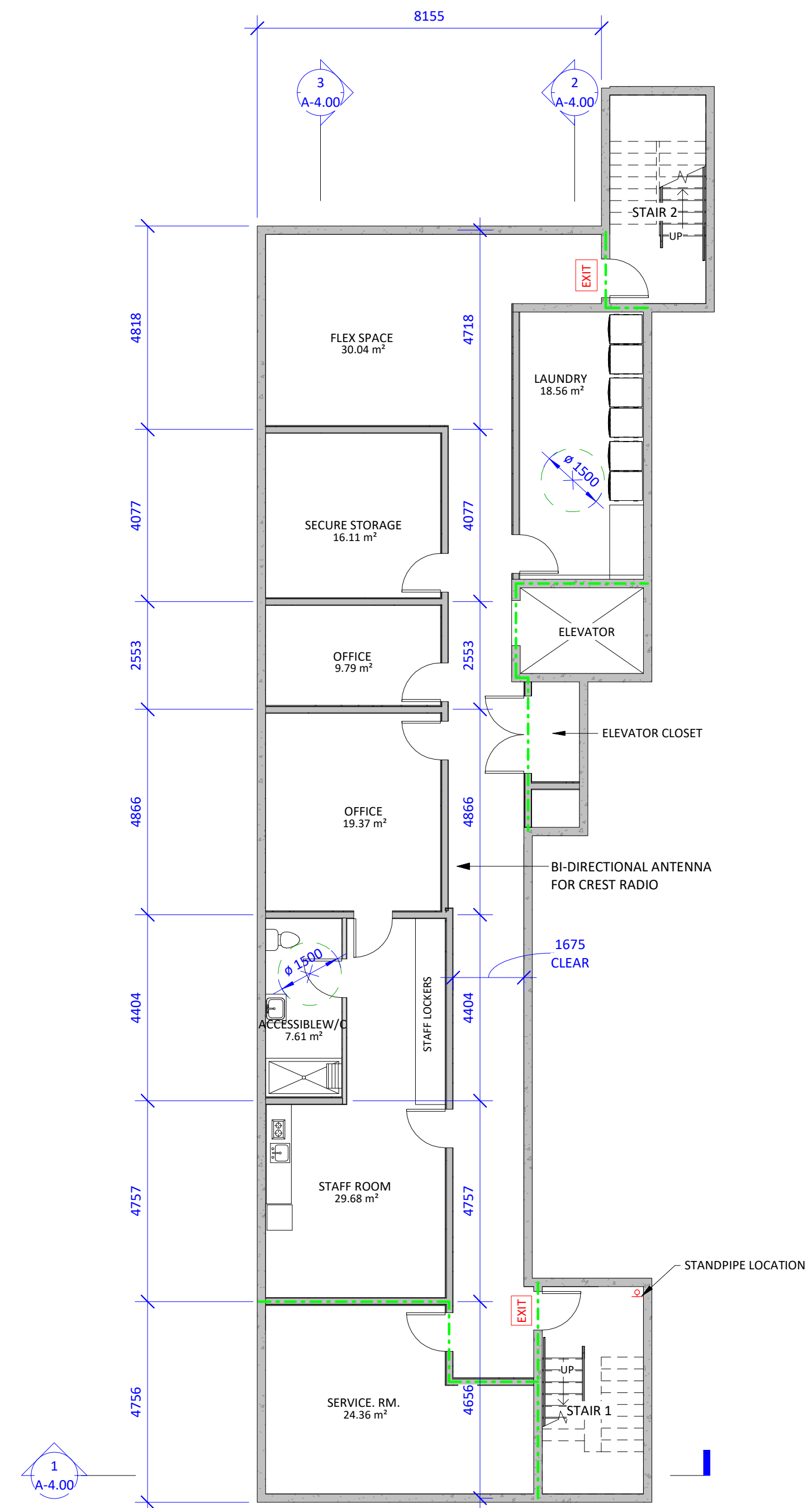
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Drawn by RJ

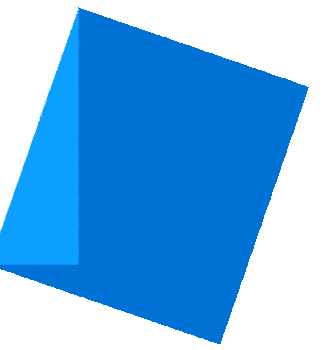
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# A-2.00

Scale As indicated







Issue Date

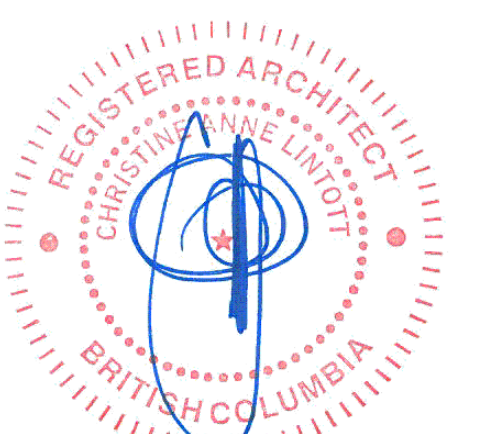
ISSUED FOR CALUC APPLICATION	SEPT 22, 2021
ISSUED FOR DP/REZONING	FEBRUARY 17, 2022
DP/REZONING RESUBMISSION	JULY 27, 2022

Revision

No.	Description	Date
5	Addition of windows into the stairwells	2022-04-11
3	Changed balconies to Juliet's	2022-04-11
9	Window	2022-04-11
8	Clear glass guardrail	2022-04-11
15	Maximum 6' high fence	2022-04-11
C	Revised Materials	2022-07-08
E	Elevator Shaft Size Change & Closet	2022-07-22

NUMERIC REVISIONS - MATCH MUNICIPLE COMMENTS  
ALPHANUMERIC REVISIONS - NOT INCLUDED IN MUNICIPLE COMMENTS

Consultant



North Park VIHA

1048 North Park Street,  
Victoria BC

Elevations

Date 7/27/2022 12:44:58 PM

Drawn by RJ

Checked by Checker

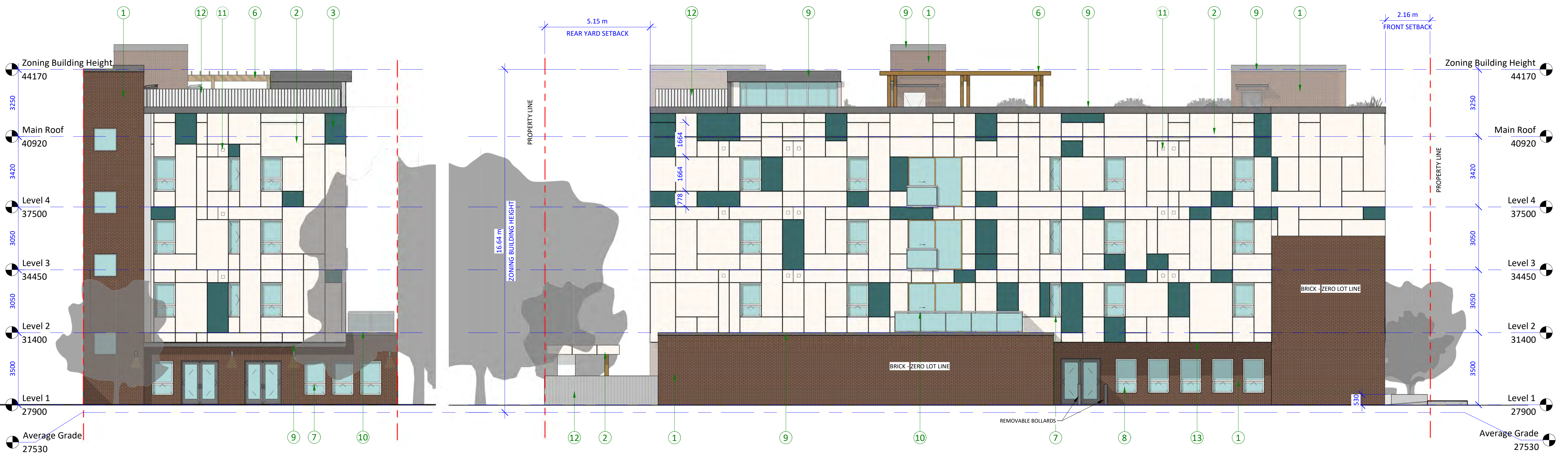
A-3.00

Scale 1 : 100



2 South  
1 : 100

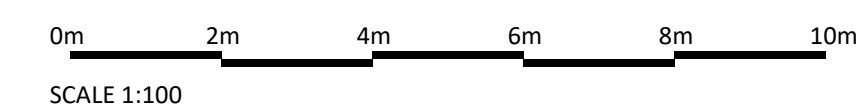
1 East  
1 : 100

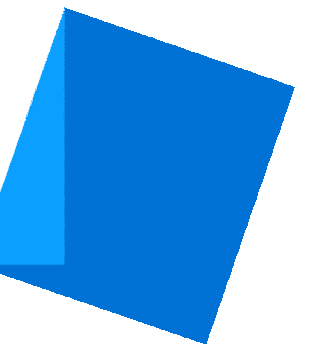


3 North  
1 : 100

4 West  
1 : 100

- 1 BRICK
- 2 COMPACT LAMINATE - PAPHYRUS WHITE
- 3 COMPACT LAMINATE WALL PANEL - MID GREEN
- 4 CONCRETE
- 5 GLULAM COLUMN
- 6 TIMBER
- 7 VINYL CASEMENT WINDOW
- 8 VINYL AWNING WINDOW
- 9 PRE-FINISHED METAL FLASHING - GREY
- 10 GLASS & ALUMINUM GUARD
- 11 VENT
- 12 WOOD
- 13 LONGBOARD SOFFIT





Issue Date

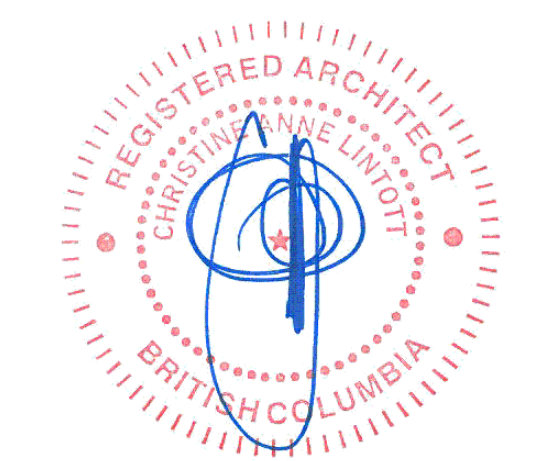
ISSUED FOR CALUC APPLICATION SEPT 22, 2021  
ISSUED FOR DP/REZONING FEBRUARY 17, 2022  
DP/REZONING RESUBMISSION JULY 27, 2022

Revision

No. Description Date

NUMERIC REVISIONS - MATCH MUNICIPLE COMMENTS  
ALPHANUMERIC REVISIONS - NOT INCLUDED IN MUNICIPLE COMMENTS

Consultant



North Park VIHA

1048 North Park Street,  
Victoria BC

Materials

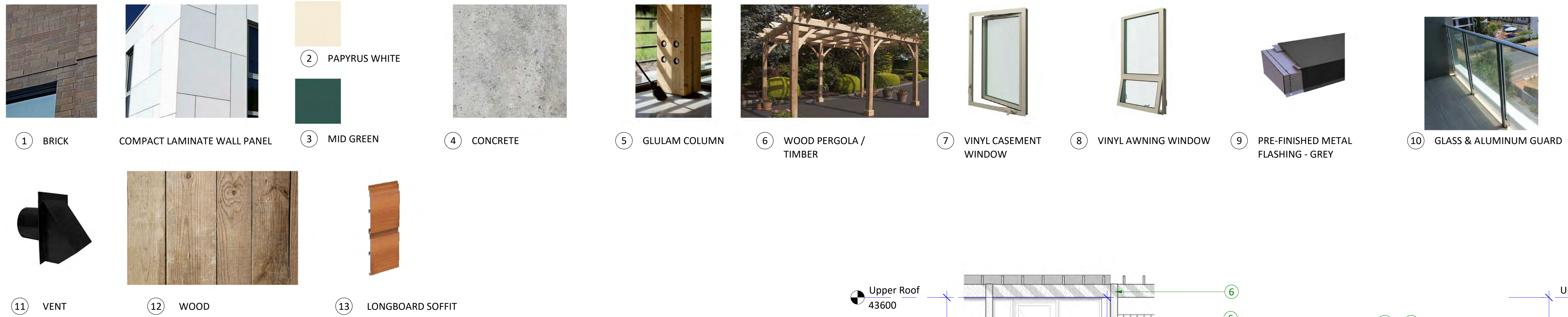
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Drawn by RJ

Checked by Checker

A-3.01

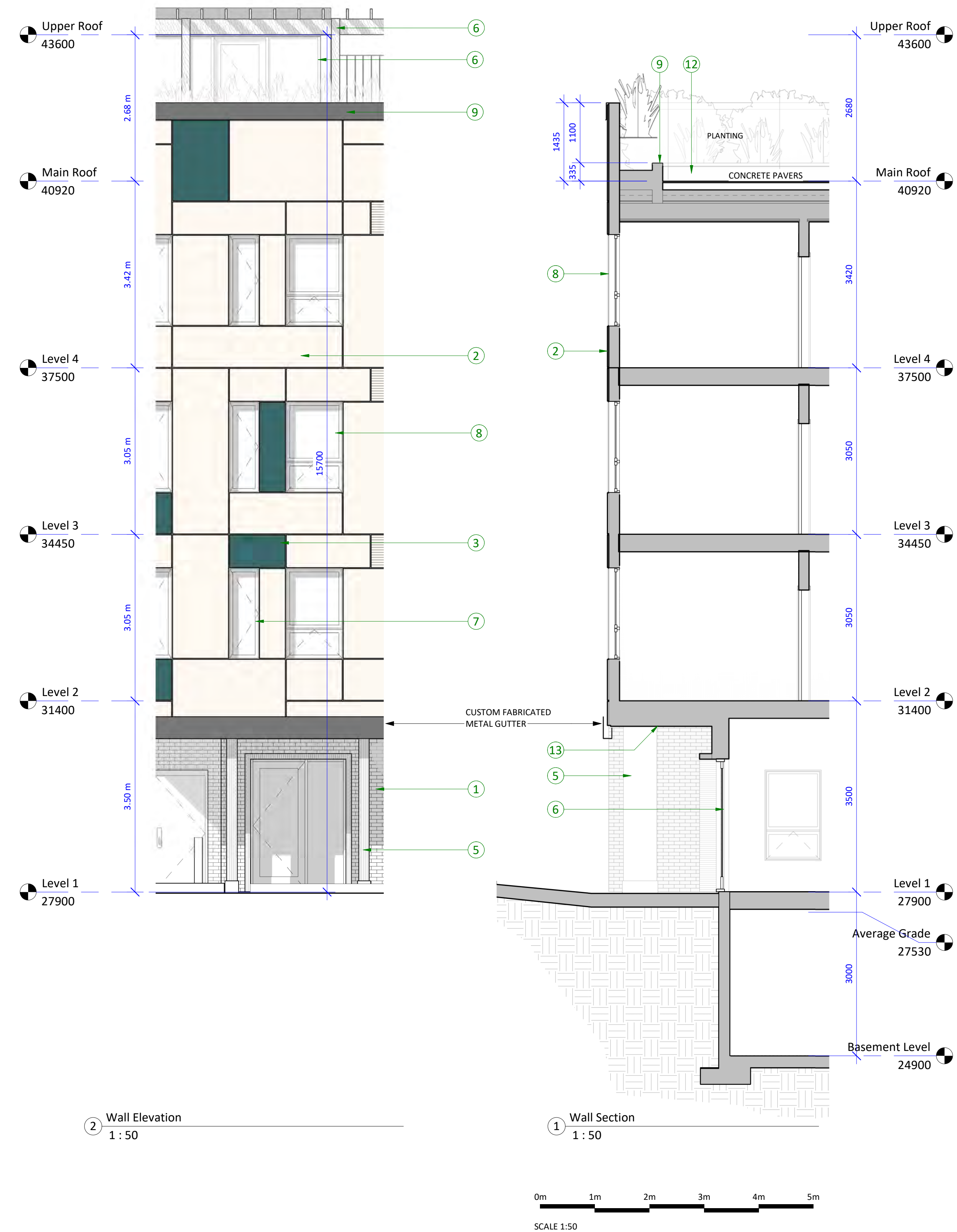
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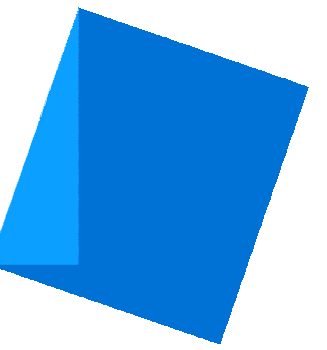


Roof Deck



Entrance





Issue Date

ISSUED FOR CALUC APPLICATION	SEPT 22, 2021
ISSUED FOR DP/REZONING	FEBRUARY 17, 2022
DP/REZONING RESUBMISSION	JULY 27, 2022

Revision

No.	Description	Date
20	Revision 20	Date 20

NUMERIC REVISIONS - MATCH MUNICIPAL COMMENTS  
ALPHANUMERIC REVISIONS - NOT INCLUDED IN MUNICIPAL COMMENTS

Consultant



North Park VIHA

1048 North Park Street,  
Victoria BC

Context

Date 7/27/2022 12:45:04 PM

Drawn by RJ

Checked by Checker

A-3.02

Scale 1 : 1



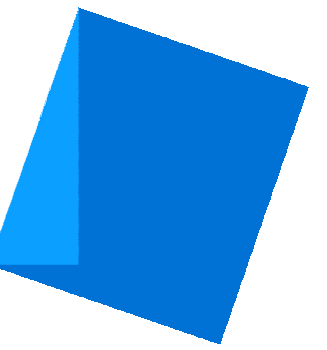
North Park Context Elevation



Street Presence



Building Context

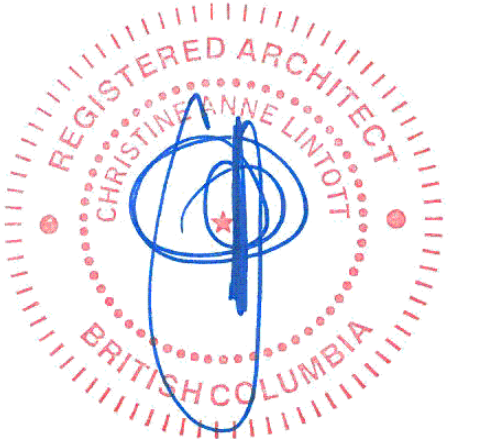


Issue	Date
ISSUED FOR CALUC APPLICATION	SEPT 22, 2021
ISSUED FOR DP/REZONING	FEBRUARY 17, 2022
DP/REZONING RESUBMISSION	JULY 27, 2022

Revision		
No.	Description	Date
E	Elevator Shaft Size Change & Closet	2022-07-22

NUMERIC REVISIONS - MATCH MUNICIPLE COMMENTS  
ALPHANUMERIC REVISIONS - NOT INCLUDED IN MUNICIPLE COMMENTS

Consultant



## North Park VIHA

1048 North Park Street,  
Victoria BC

### Sections

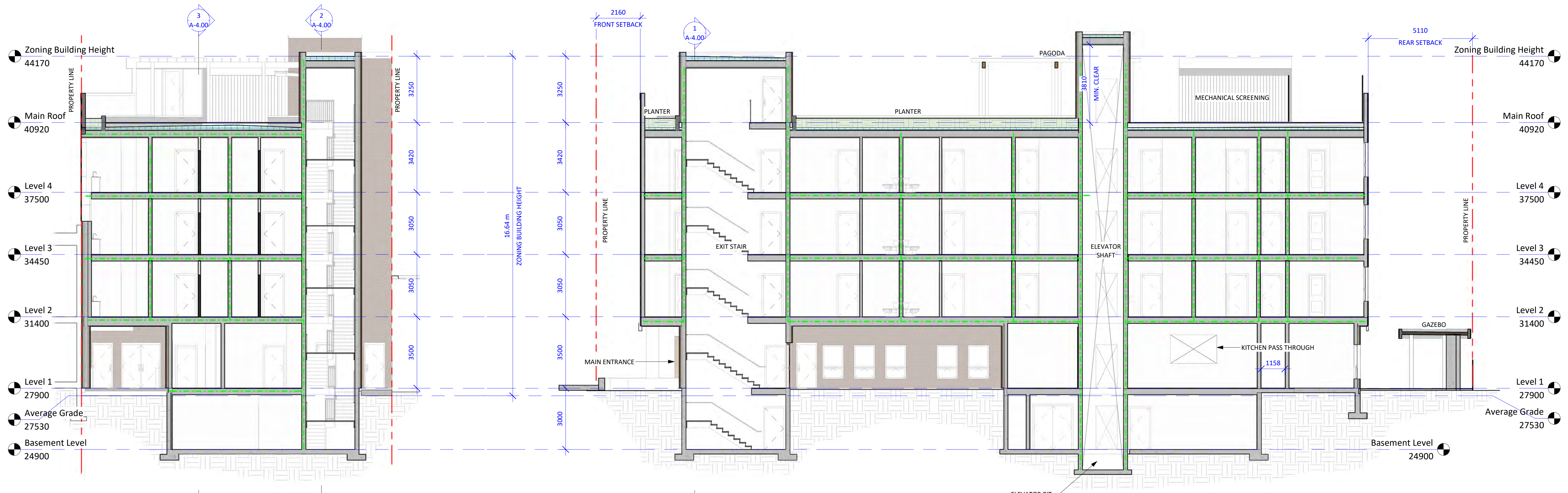
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Checked by Checker

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Scale As indicated



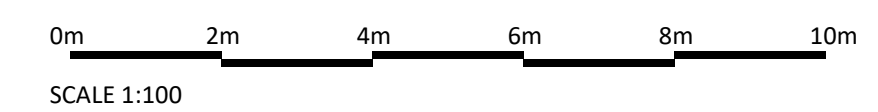
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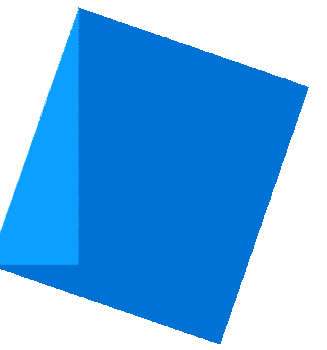
2 Section 2  
1 : 100

3 Section 3  
1 : 100

**FRR LEGEND**

	1hr FIRE SEPARATION
	2hr FIRE SEPARATION



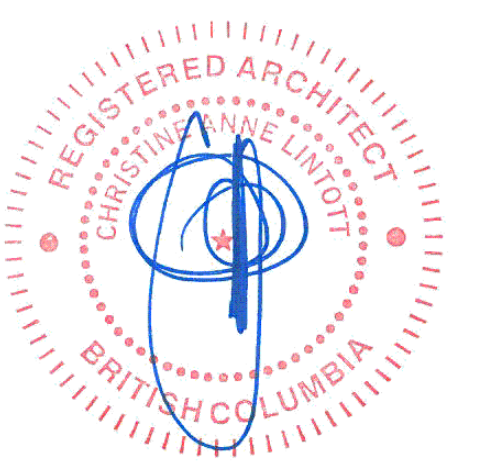


Issue	Date
ISSUED FOR CALUC APPLICATION	SEPT 22, 2021
ISSUED FOR DP/REZONING	FEBRUARY 17, 2022
DP/REZONING RESUBMISSION	JULY 27, 2022

Revision No.	Description	Date
5	Addition of windows into the stairwells	2022-04-11

NUMERIC REVISIONS - MATCH MUNICIPLE COMMENTS  
ALPHANUMERIC REVISIONS - NOT INCLUDED IN MUNICIPLE COMMENTS

Consultant



## North Park VIHA

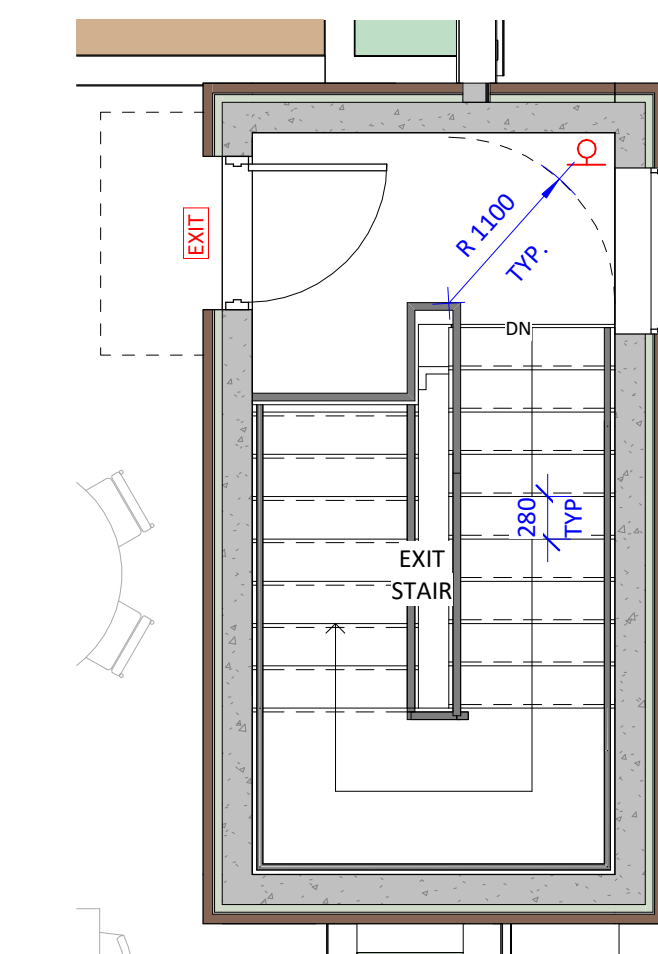
1048 North Park Street,  
Victoria BC

### Stair Plans, Sections & Details

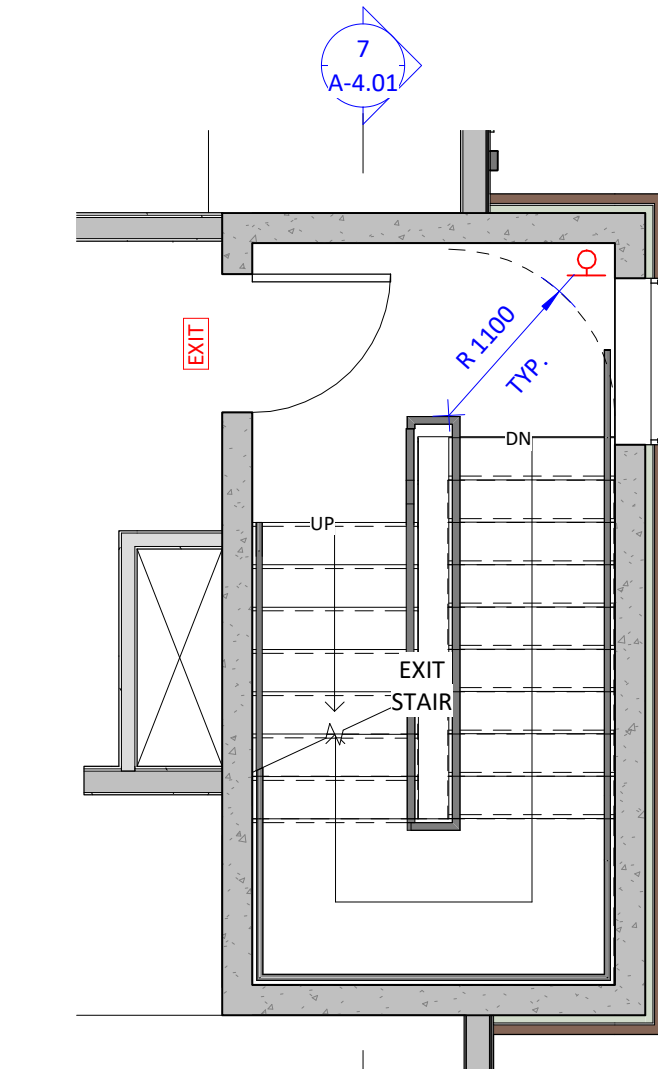
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Checked by	Checker

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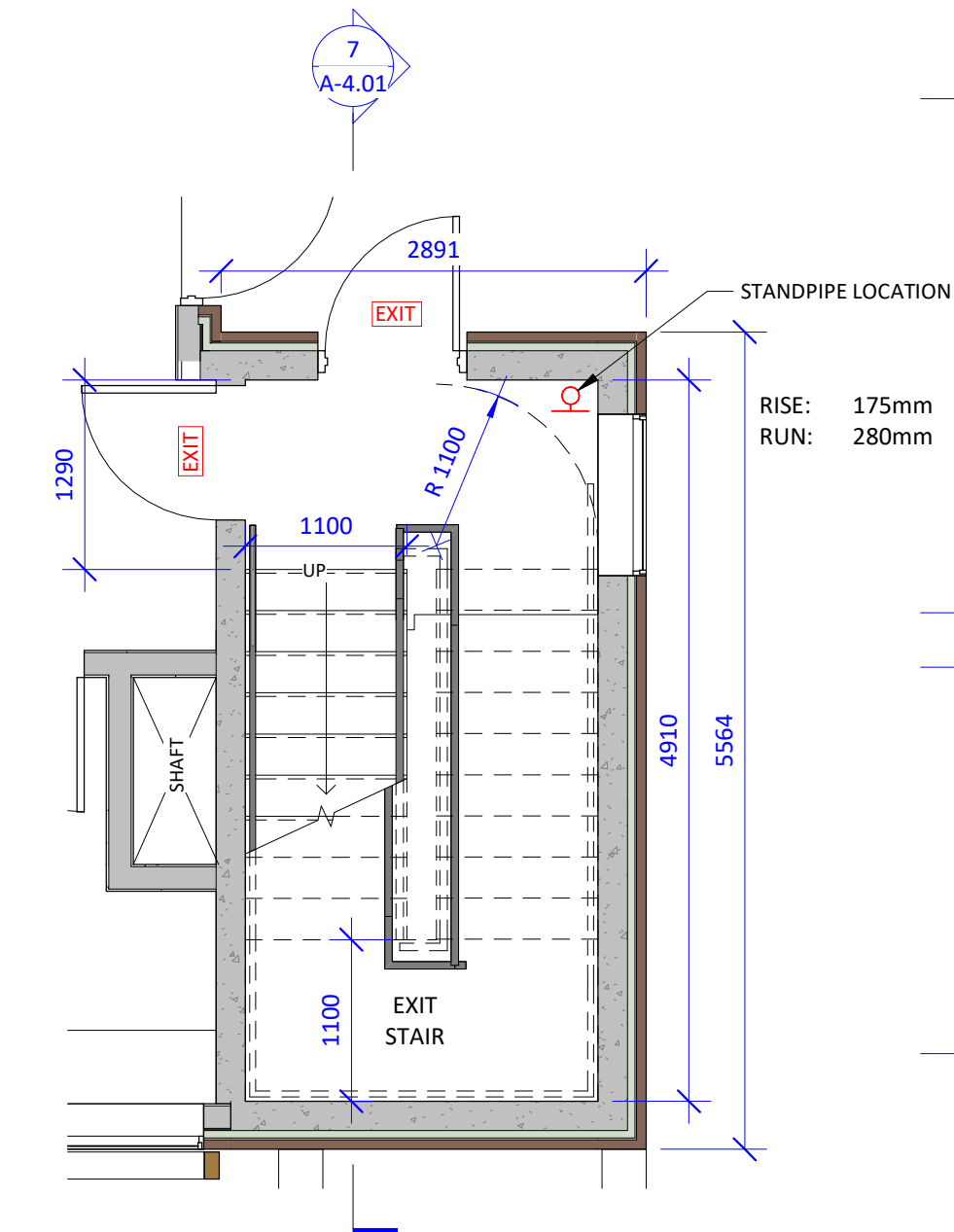
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3 Stair 1 - Roof Plan  
1:50



4 Stair 1 - L2 Plan  
1:50

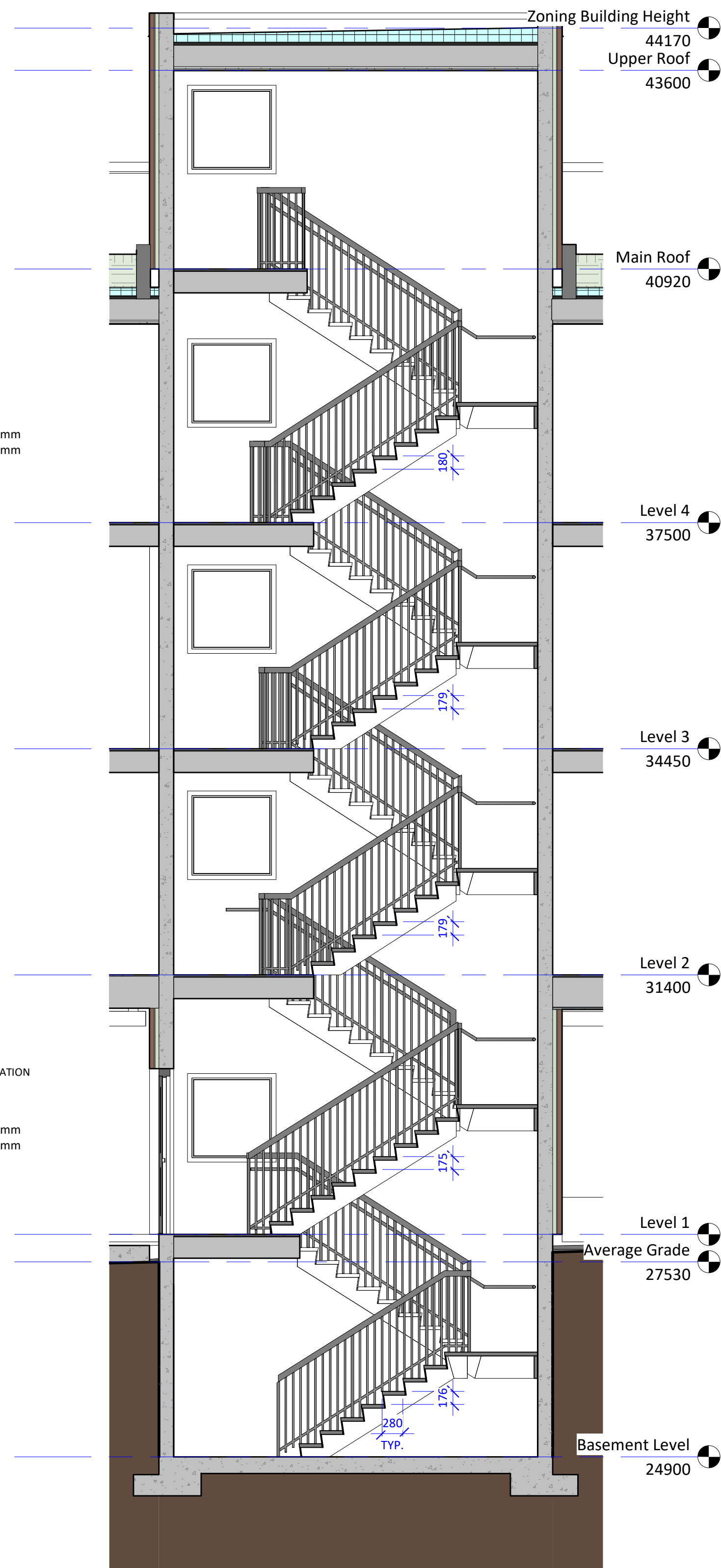


2 Stair 1 - L1 Plan  
1:50

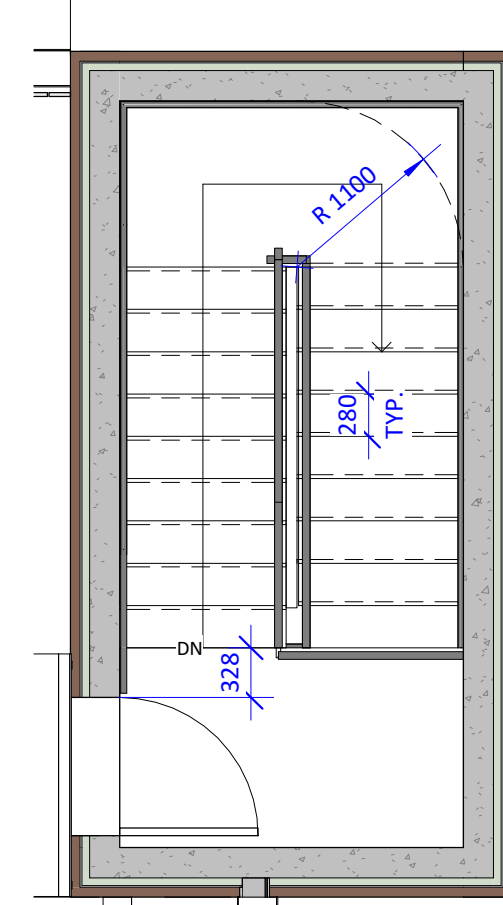
RISE: 180mm  
RUN: 280mm

RISE: 179mm  
RUN: 280mm

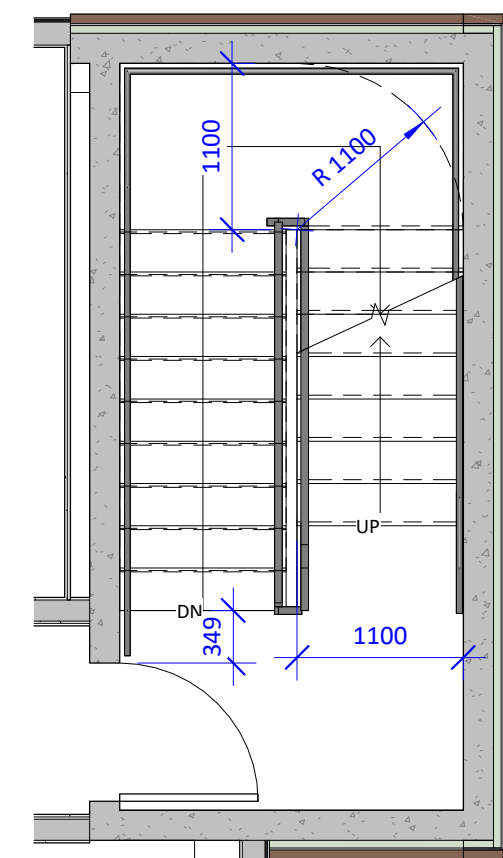
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RUN: 280mm



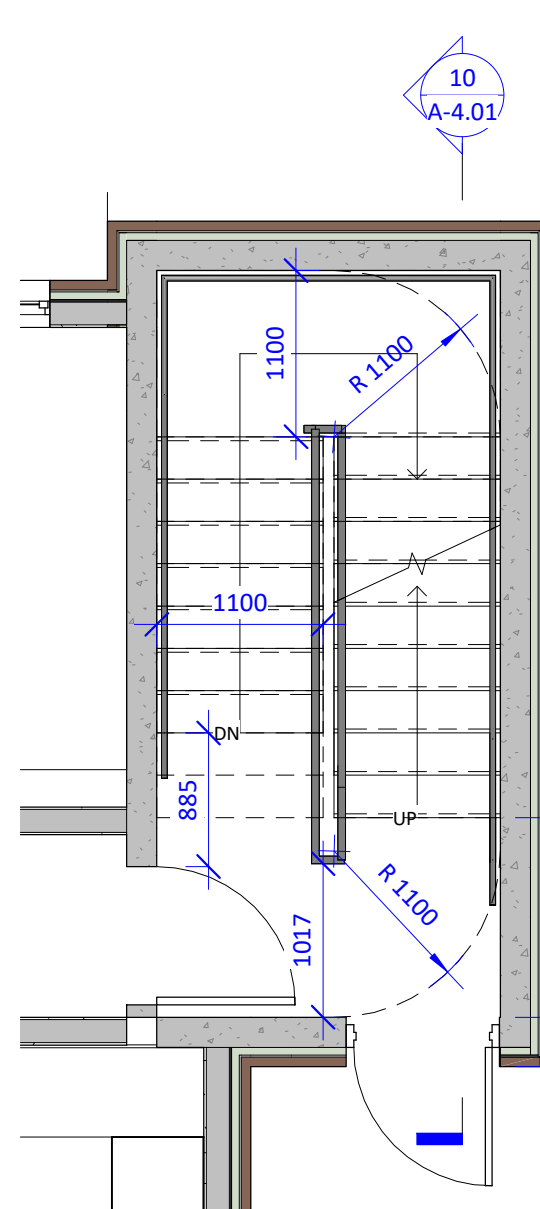
7 Stair 1 - Section  
1:50



6 Stair 2 - Roof Plan  
1:50



5 Stair 2 - L2 Plan  
1:50

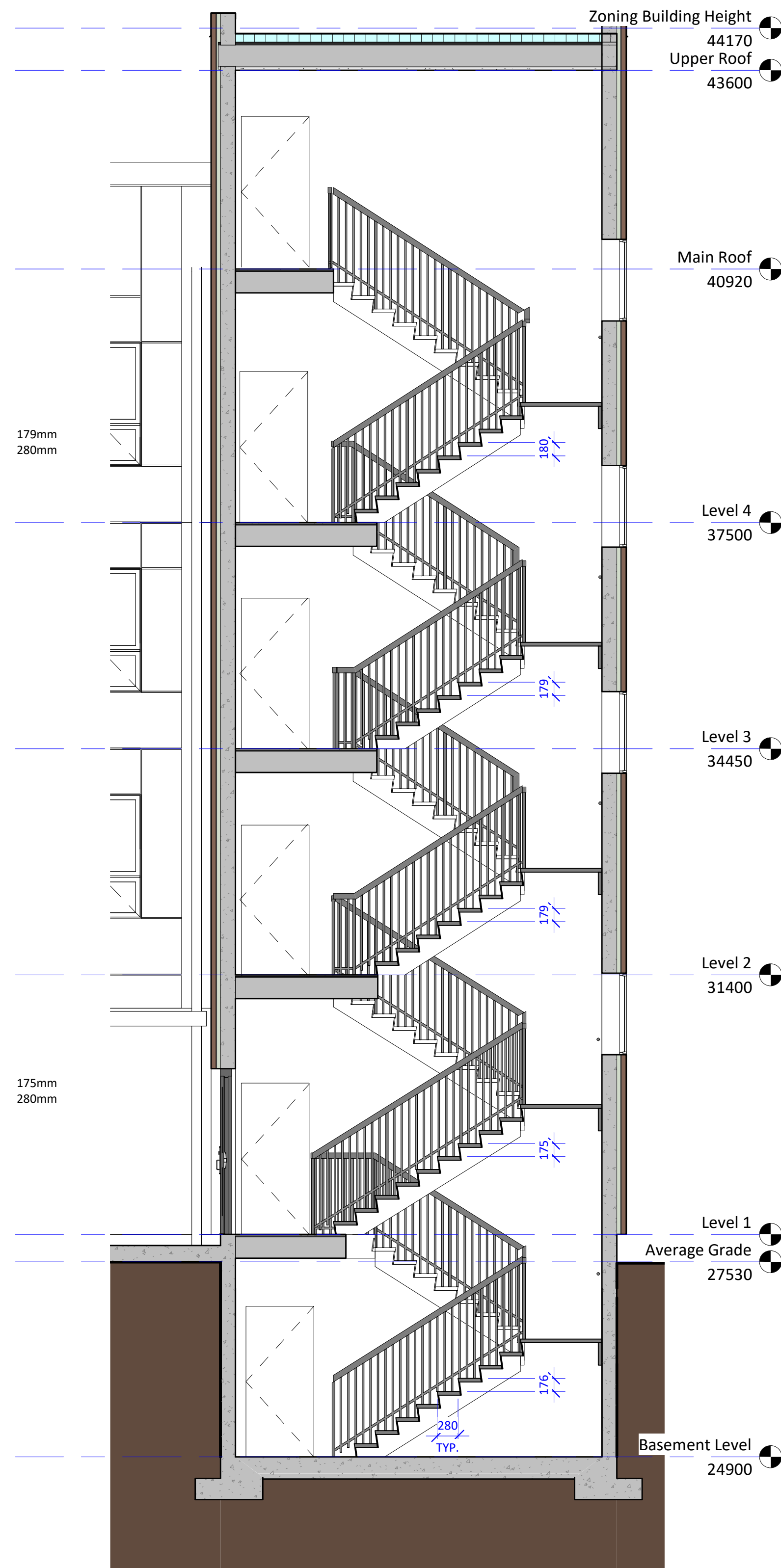


1 Stair 2 - L1 Plan  
1:50

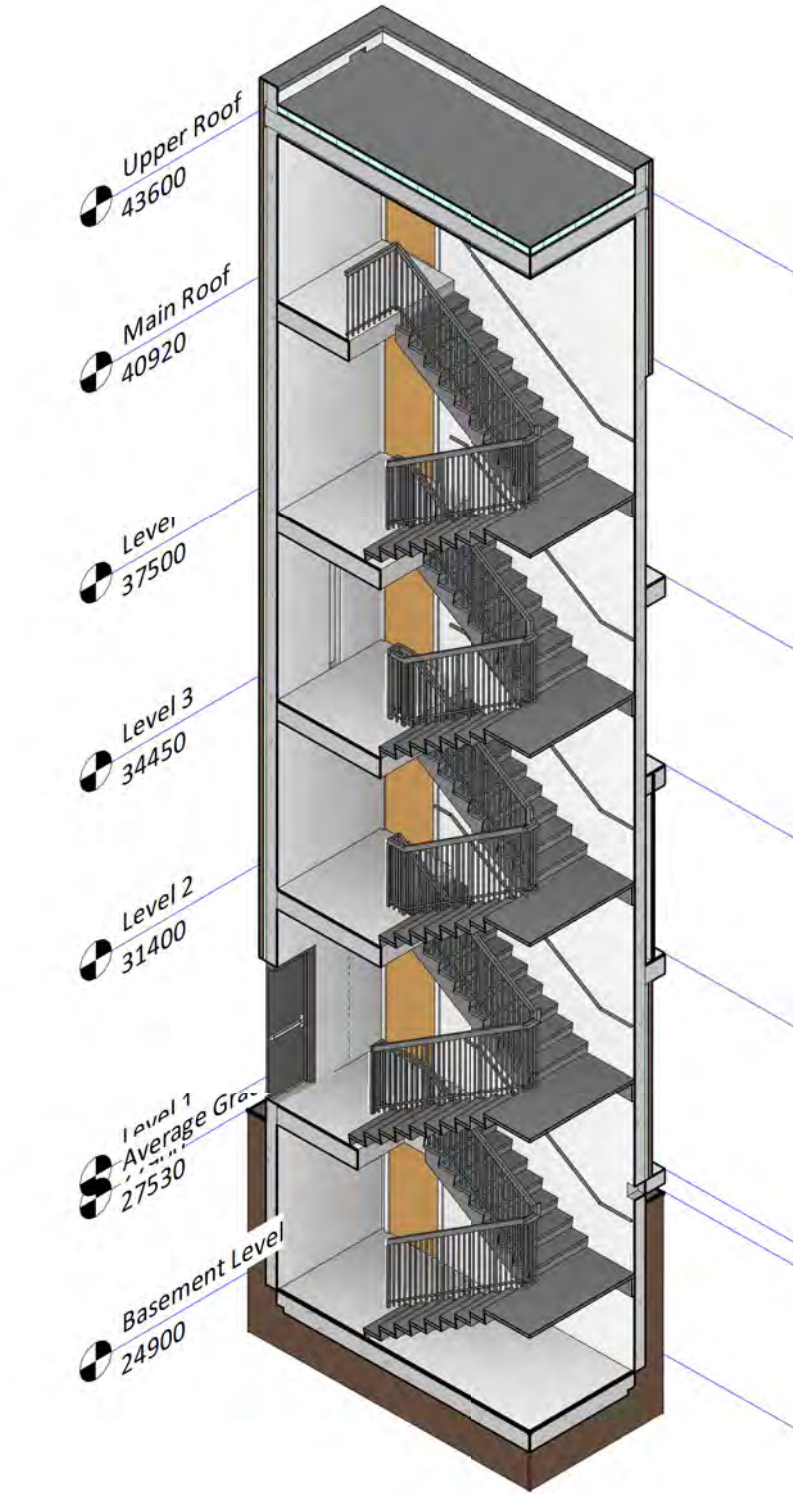
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RUN: 280mm

RISE: 179mm  
RUN: 280mm

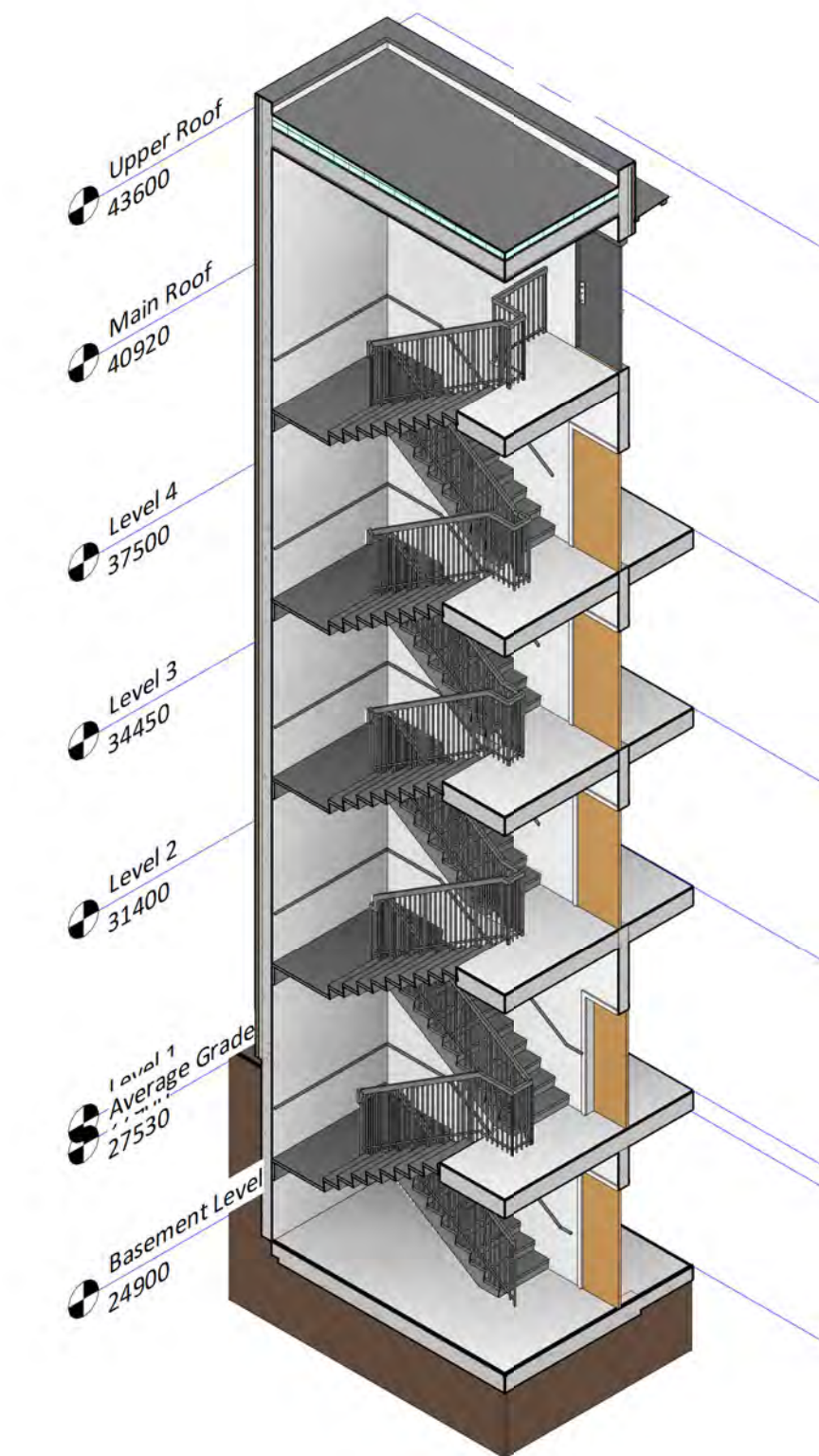
RISE: 175mm  
RUN: 280mm



10 Stair 2 - Section  
1:50



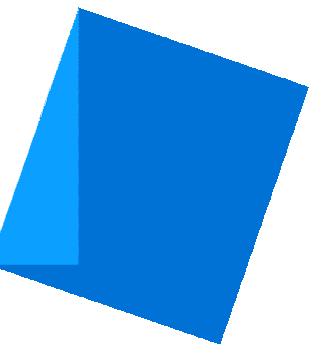
9 Stair 2 Axo



8 Stair 1 Axo



SCALE 1:50



Issue	Date
ISSUED FOR CALUC APPLICATION	SEPT 22, 2021
ISSUED FOR DP/REZONING	FEBRUARY 17, 2022
DP/REZONING RESUBMISSION	JULY 27, 2022

Revision		
No.	Description	Date
13	Gazebo Plans & Elevations	2022-04-11

NUMERIC REVISIONS - MATCH MUNICIPLE COMMENTS  
ALPHANUMERIC REVISIONS - NOT INCLUDED IN MUNICIPLE COMMENTS

Consultant



North Park VIHA

1048 North Park Street,  
Victoria BC

Renders & Gazebo

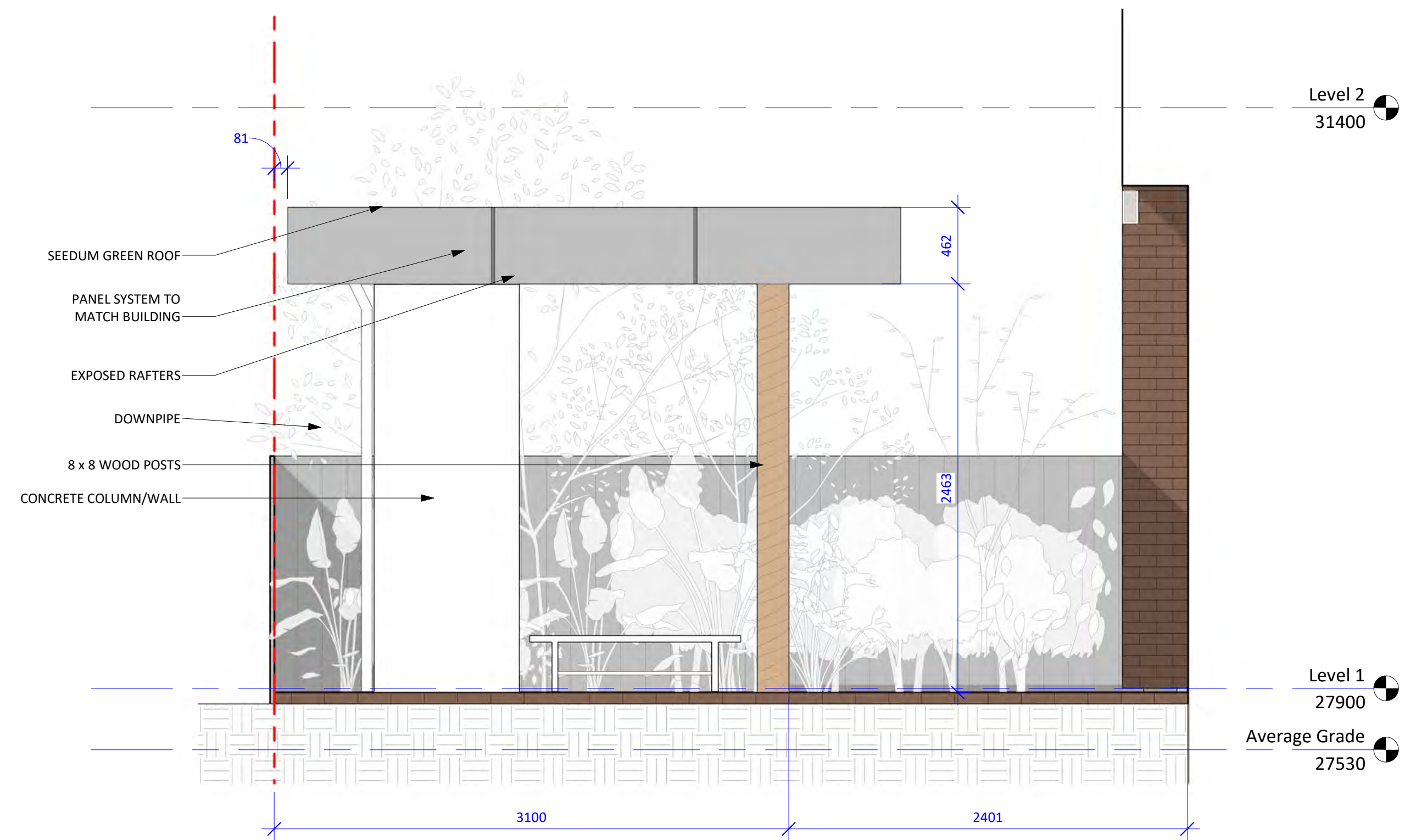
Date	7/27/2022 12:45:21 PM
Drawn by	RJ
Checked by	Checker

A-5.00

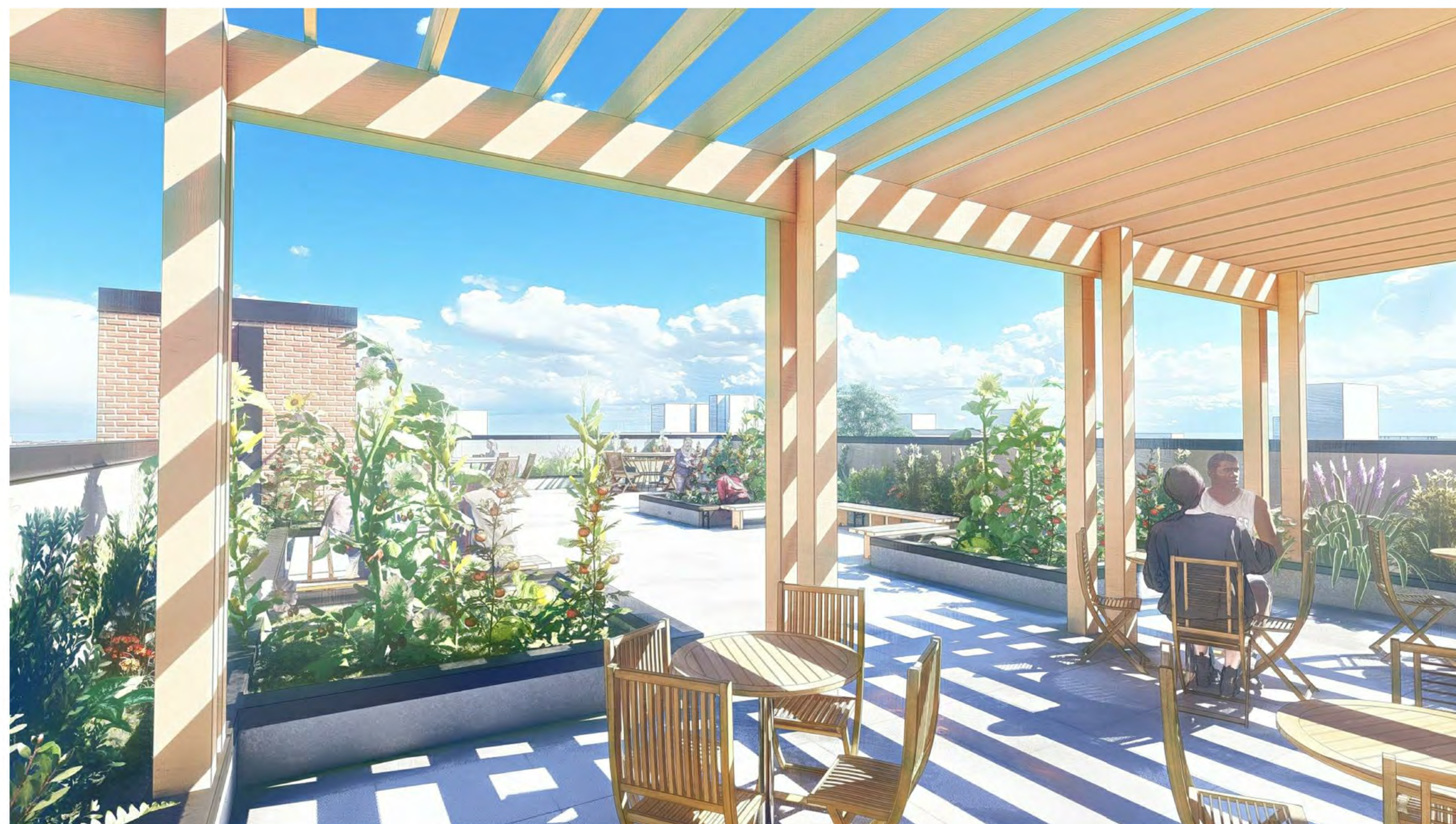
Scale 1 : 25



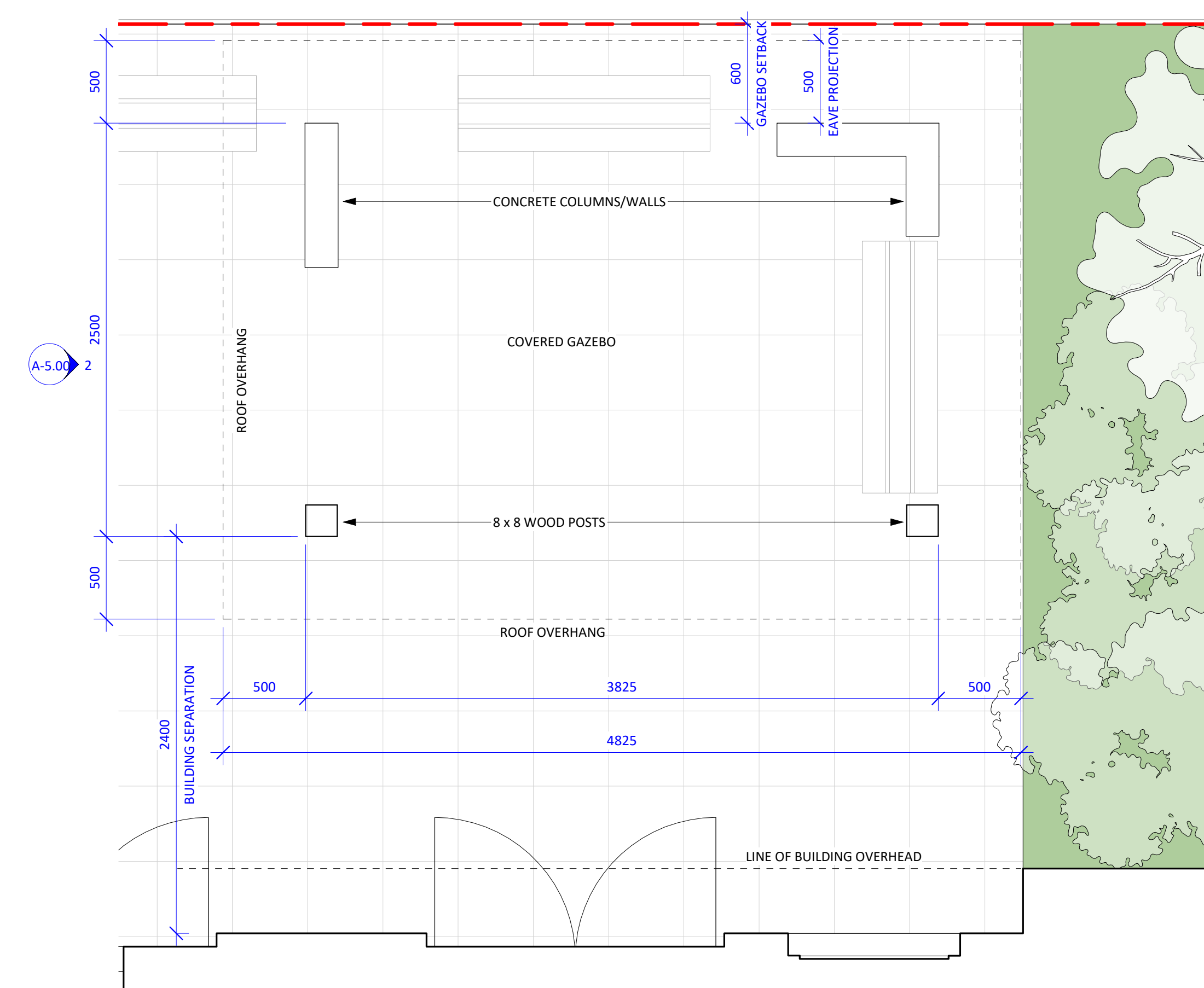
Gazebo | Rear Yard



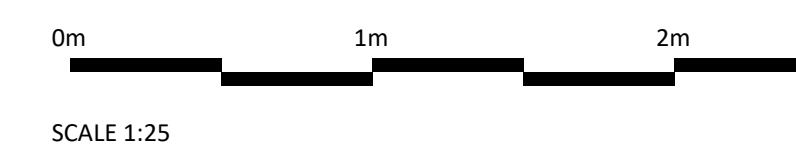
② Elevation - Gazebo  
1 : 25



Roof Deck



① Enlarged Plan - Gazebo  
1 : 25



RECOMMENDED PLANT LIST

BOTANICAL NAME	COMMON NAME	SIZE/REMARKS
<b>TREES</b>		
1 Frangula purshiana	Cascara Tree	4cm.cal./B&B
2 Persia persica Ruby Vase	Ruby Vase Persian Ironwood	4cm.cal./B&B
1 Stewartia pseudocamellia	Japanese Stewartia	4cm.cal./B&B
<b>SHRUBS &amp; PERENNIALS</b>		
Buxus Microphylla Winter Gem	Littleleaf Boxwood	#5 Pot
Calamagrostis x acutiflora	Karl Foerster	#1 Pot
Erysimum cheiri. Bowles Mauve	English Wallflower	#1 Pot
Euonymus Alatus Compacta	Dwarf Burning Bush	#5 Pot
Lavandula Munstead	English Lavender	#1 Pot
Liriope Muscari	Big Blue Lily Turf	#1 Pot
Pennisetum alopec. Little Bunny	Little Bunny Grass	#1 Pot
Rosemary Officialis	Rosemary	#3 Pot
Rudbeckia Fulgida	Orange Coneflower	#1 Pot
Taxus media Hillii	Yew Hedging	#5 Pot
<b>VINES &amp; GROUNDCOVER</b>		
Vinca minor	Perriwinkle	SP3
Parthenocissus Tricus. Veitchii	Boston Ivy	#2 Pot / Staked
Clematis armandii	Evergreen Clematis	#2 Pot / Staked

Plant material, installation and maintenance to conform to BCCLA/ BCLNA standard (current edition). All growing medium to comply to BCCLA/ BCLNA standard designation "IP - Level-1 Well Groomed Areas". Undergroud irrigation system to be installed. Irrigation materials and installation to conform, as a minimum, to BCCLA/ BCLNA Standard (current edition) and IABC Standards. All irrigation piping under hardsurfaces to be sleeved. At least 30% of the on-site planting will comply with the City of Victoria's initiative of native planting. Fencing to be built as shown on plan; portions of fencing along sideyards to be built with trellis top where shown. Paving pattern for front stamped concrete area(s) subject to change in scale/finish. All existing trees located on plan are approximate. Size and dripline of trees are not shown, and should be verified by a surveyor and/or Arborist where necessary. General contractor and Landscape contractor are to make themselves familiar with The Project Arborist's Tree Management Plan (TMP) and Tree Protection Plan (TPP). Arborist to install tree protection fencing for any on or off-site protected trees or boulevard tree where necessary. Project Arborist to provide all tree information including reports and soil calculations for this site.

LEGEND

HARDSCAPE FINISHES:

- PP1 CIP random stamped concrete
- PP2 600x600 Concrete Patio Slabs

SOFTSCAPE:

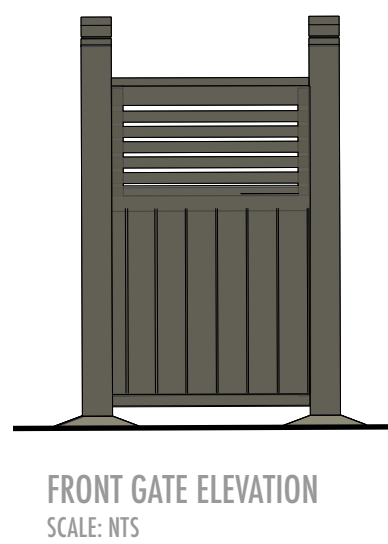
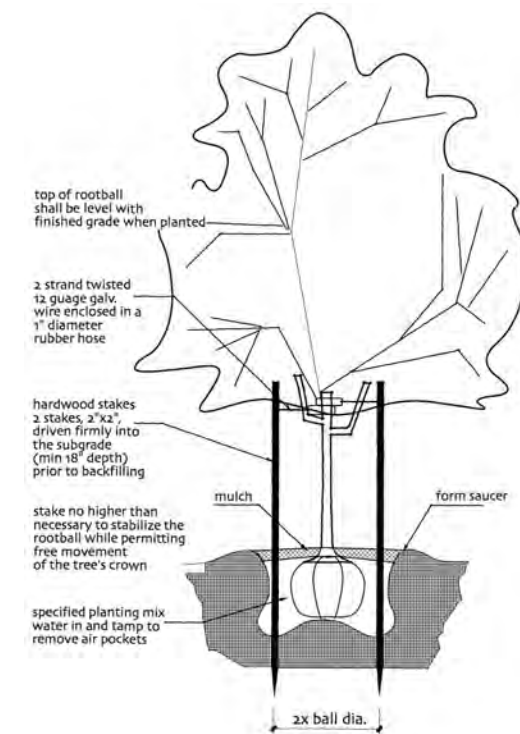
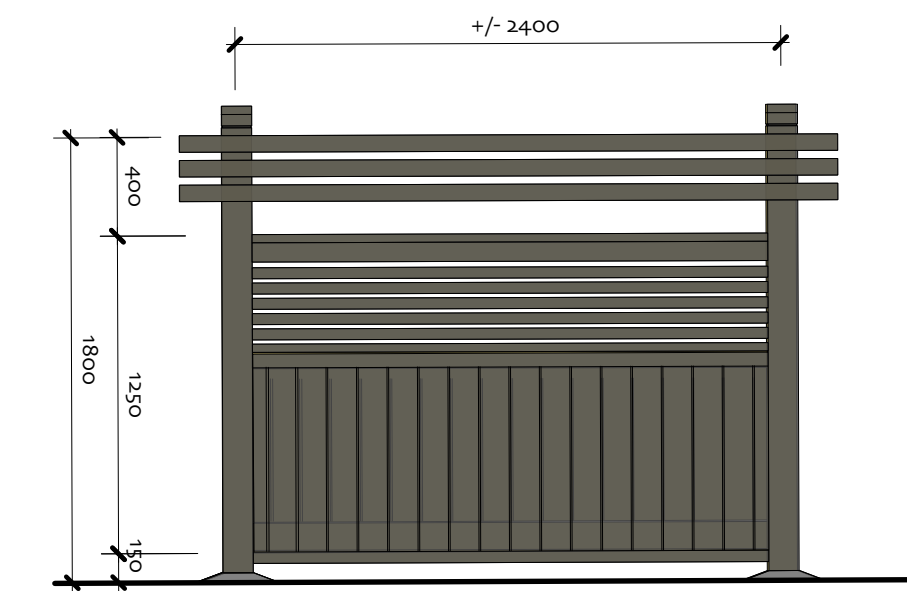
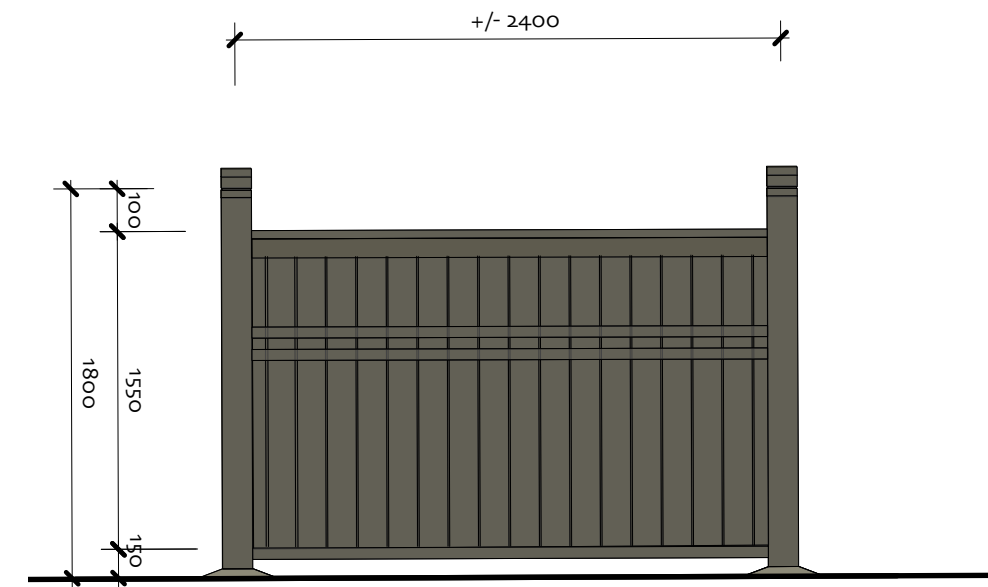
- Planting area

MISCELLANEOUS:

- Wooden fence or privacy screening approx. 1500-1800mm height
- Concrete or mortared rock retaining/upstand walls, Heights vary.

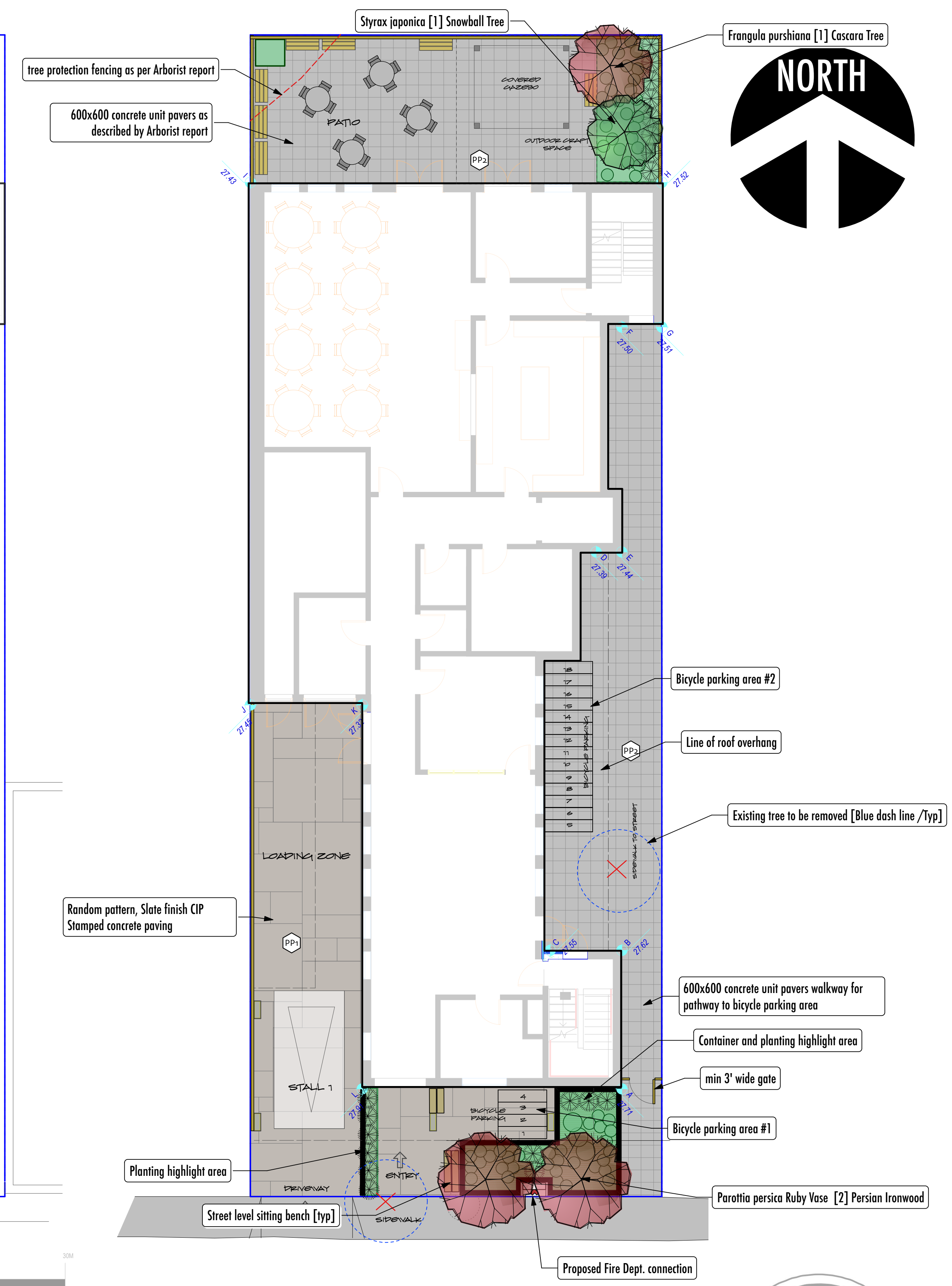
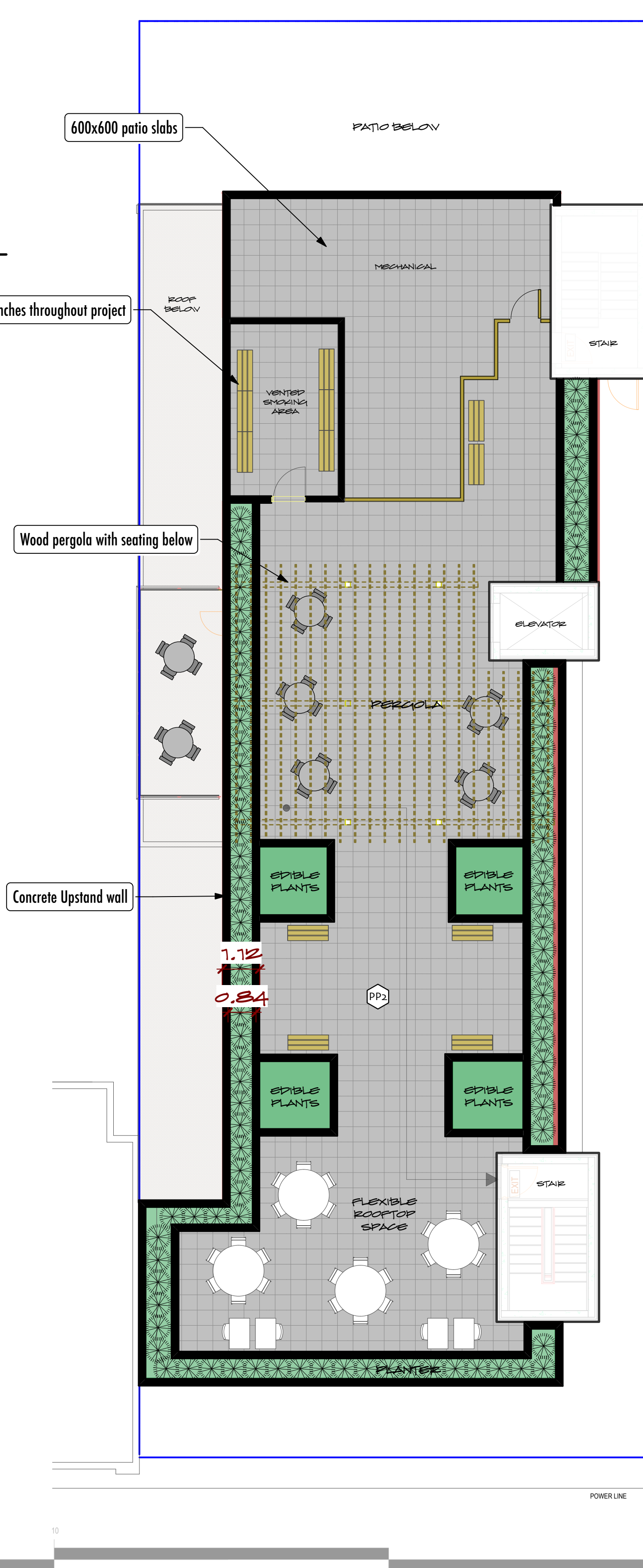
NOTES:

- 1) All building layout information and setback dimensions supplied by Christine Lintott Architects Inc.
- 2) All survey information supplied by Christine Lintott Architects Inc.
- 3) This drawing must not be scaled. The General Contractor shall verify all dimensions, datums and levels prior to commencement of work.
- 4) All errors and omissions must be reported immediately to the Designer.
- 5) This drawing is the exclusive property of the Designer and can be reproduced only with the permission of the designer, in which case the reproduction must bear the designers name.



MODEL NO.	DESCRIPTION	SIZE L x W x H	COLOR
H-2892RL	1-Loop	22 x 2 1/2 x 34"	Black

BICYCLE STORAGE RACKS



SKL.01  
10.SEPTEMBER.2021  
1:100  
LATEST REVISION: 23.JUNE.2022

ISSUED FOR DP /REZONING

1048 NORTH PARK ST  
LANDSCAPE LAYOUT



250.881.0706

Multi-Residential Development :: 1048 North Park Street :: SKL.01 :: Landscape layout ::

**SHEET NOTES:**

- (A) PROPOSED DOMESTIC AND FIRE WATER SERVICE AS PER CoV SD W2h. SIZING AND SRW TO BE CONFIRMED AT BUILDING PERMIT.
- (B) CoV TO CAP EXISTING WATER SERVICE AT DEVELOPERS EXPENSE.
- (C) PROPOSED 150mm SANITARY SEWER SERVICE CONNECTION.
- (D) CoV TO CAP EXISTING 100mm SANITARY SEWER SERVICE AT DEVELOPERS EXPENSE.
- (E) PROPOSED DRAIN EXTENSION AND 150mm SERVICE CONNECTION C/W MANHOLE.
- (F) PROPOSED 3.75m DRIVEWAY ACCESS AS PER CoV DWG TA-64. GRADING TO BE AS PER CoV HIGHWAY ACCESS BYLAW.
- (G) EXISTING STRUCTURES TO BE DEMOLISHED UNDER SEPARATE PERMIT.
- (H) EXISTING BUSHES AND TREE TO BE REMOVED AND REPLACED WITH RAISED PLANTER AND VEGETATION. REFER TO LANDSCAPE PLANS FOR DETAILS.
- (I) EXISTING 2HR PARKING SIGN TO BE REMOVED AND REESTABLISHED.
- (J) PROPOSED TREES AND LANDSCAPING. SEE LANDSCAPE PLAN FOR DETAILS.
- (K) PROPOSED HYDRO SERVICING AS PER BC HYDRO INTENT OF DESIGN REDLINE.
- (L) PROPOSED FIRE DEPARTMENT CONNECTION.
- (M) EXISTING SIDEWALK, CURB, AND GUTTER TO BE REPLACED. SIDEWALK TO BE WIDENED TO PROPERTY LINE.
- (N) PROPOSED ASPHALT CUT LINE. CONTRACTOR TO MILL AND FILL 50mm TO CENTRELINE OF NORTH PARK.



CONCEPTUAL SITE PLAN - North Park Ave  
H 1:200



PLAN - BCH INTENT OF DESIGN  
NTS



KEY PLAN  
NTS

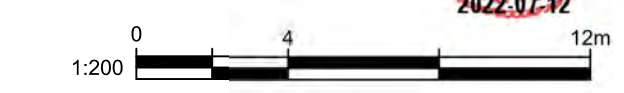
**1048 NORTH PARK  
PRELIMINARY SERVICING**

Scale  
horiz. 1:200  
vert. N/A  
Sheet 1 of 1  
Eng. Project No. 33445



**JEA** J E ANDERSON & ASSOCIATES

SURVEYORS - ENGINEERS  
VICTORIA NANAIMO PARKSVILLE CAMPBELL RIVER  
PHONE: 250-727-2214 info@jeanderson.com



**ISSUED FOR DEVELOPMENT PERMIT / REZONING**



November 14, 2022

Christine Lintott  
Architects Inc.



The City of Victoria  
Attention: Mayor and Council  
1 Centennial Square  
Victoria BC V8W 1P6

**RE: 1046 and 1048 North Park Street, Development Permit, Rezoning Application**

On behalf of Wild Coast Construction Ltd. , we are pleased to submit for your consideration our application for Development Permit and Rezoning for the redevelopment of the two adjacent properties at 1046 and 1048 North Park Street.

Our proposal seeks to consolidate these two parcels, remove the existing structures, and construct a purpose-built supported housing project in association with the Vancouver Island Health Authority (VIHA). The facility comprises a basement, four storeys of housing, and a rooftop amenity space (because the rooftop amenity is occupiable and contains enclosed recreational areas, it is considered a floor as well, for a total of 5 storeys).

The facility as proposed will add thirty-nine (39) supported residential suites to the neighbourhood's housing mix, of which eighteen (18) will be fully accessible. While the building will be privately owned, VIHA will manage all operations under a long-term lease agreement with the Owner.

The project's design outcome reflects an intensive and collaborative process with VIHA, and the building's features have been fashioned carefully to meet the specific requirements of the residents being supported. Each person living in the building will have a private, secure personal living space as well as access to an array of communal assets. These include shared dining and lounge spaces and opportunities for personal growth including art, gardening, and learning spaces.

Please consider our application in the context of the information provided below, in addition to our complete submission and accompanying documentation.

**Description of Proposal**

The development site located at 1046 and 1048 North Park Street is bounded by North Park Street to the south, a commercial property to the east, and residential properties to the north and west. The proposal includes the following:

- Animation and improvement of existing North Park Street frontage to include:
  - Completion of street façade with infill development between existing zero lot line developments at east and west
  - New landscaped buffer between the sidewalk and building including two new trees
  - Secure, covered bicycle parking
  - A dedicated loading zone behind the building’s south elevation;
  
- Provision of thirty-nine (39) long term supported housing units including eighteen (18) accessible units in a new five story wood frame building with one level of basement. With all common areas, washrooms, and doorways to will be accessible for residents using mobility devices.
  - Lower level provides staff and resident amenities including a staff room, storage areas, laundry and a medical room.
  - Main floor provides reception, offices, resident common space, kitchen, and communal dining room.
  - Second, third and fourth floors provide individual residential units with private baths, shared common spaces, and activity rooms.
  - Occupiable roof (fifth floor) provides outdoor activity space, native and edible landscaping, and a weather-protected lounge
  
- Facility to be operated under long term lease by the Vancouver Island Health Authority;

### **Design and Development Permit Guidelines**

The development site is located immediately adjacent to the North Park Large Urban Village and is designated as Light Industrial Employment with Limited Residential in the Official Community Plan (OCP). The proposal has been developed in line with the guiding principles outlined in that document and in the North Park Local Plan. Specifically, the proposal is consistent with the following guidelines:

#### Official Community Plan

##### Industrial Employment Residential

- “Buildings up to approximately five storeys, with ground floor designed to support light industrial uses”
- “Total floor space ratios of approximately 2.5:1 FSR may be considered, as indicated in local area plans, for projects that advance both housing affordability objectives and industrial land objectives on-site.”

Discussions with the planning department indicate that the project is supportable under the existing provisions of the OCP as the project advances the stated objective for increasing the supply of high quality affordable housing in this neighborhood.

##### North Park Strategic Directions

- 21.20.2 “Accommodate new population and housing growth within walking distance of the North Park Village...”

## DPA 16: General Form and Character

- 4.(a) "To support commercial, industrial and multi-unit residential developments that provide a sensitive transition to adjacent and nearby areas with built form that is often three stories, or lower"
- 4.(b) "To integrate commercial, industrial and multi-unit residential developments in a manner that is complementary to the established place character in a neighborhood..."
- 4.(c) "To enhance the place character of established areas and their streetscapes through high quality architecture, landscaping and urban design that responds to each distinctive setting through sensitive and innovative interventions"

## North Park Local Plan

- 10.2.1. "Strive for excellence in design of buildings, landscaping and public spaces."
- 10.2.2. "Create an attractive sidewalk environment."
- 12.3.1. "Foster community development creating a sense of neighborhood."
- 12.3.2. "Promote opportunities for a range of people to live, work and play."
- 12.3.3. "Further safe, secure, healthy and accessible environments."
- 12.3.4. "Increase the provision of a range of human services and respond to identified gaps in service."
- 12.3.6. "Design the physical environment to be as barrier free as possible."
- 12.3.3. "Recognize neighborhood diversity."

## **Project Benefits and Amenities**

This proposal addresses a critical housing need for high quality, long term supported living units in our community. Specifically, this project has been developed in direct association with the Vancouver Island Health Authority to house a specific group of residents with cognitive disabilities who have lived in community with each other for many years in another building owned by the same Owners. As that existing building is coming to the end of its useful life the Owners have made this purchase and development proposal with the express intent of relocating this group of residents and staff as an intact community.

This proposed building and associated revitalization responds to the North Park Large Urban Village Designation by providing a critical community housing asset, while enhancing the public realm and interface along both North Park Street and Cook Street, where the animated and landscaped roof amenity will be visible.

## **Requested Variances**

A variance of 18 parking spaces is being requested. Schedule C parking requirements for the proposed residential building - identified as Transitional Housing - requires 1 parking space per 80m<sup>2</sup> floor area resulting in a total of 18 spaces for the project. The project proposes no off street parking spaces, due to the low anticipated demand of the occupant group. The Owner engaged WATT Consultants to conduct a traffic study to examine and address parking demand and their report, included in the application documents, details how the project proposes to address parking requirements through traffic demand management protocols.

The following variances are being requested from the existing R-91 Zone – North Park Residential District:

**Height**

- Maximum project height increased from 12.7m to 16.64m

**Setbacks**

- Side (west) setback from 2.4m to 0m
- Rear (north) setback from 6.4m to 5.15m

**Infrastructure**

The building will be connected to sanitary, storm, potable water, and BC Hydro services existing along North Park Street

**Summary**

The project outlined in this application would provide thirty-nine critically needed long term supported housing units in a new purpose built and high quality development that fills a “missing tooth” in the North Park Street façade. In doing so the project addresses a clear community need and supports the City of Victoria’s intent, detailed in the OCP, to increase density and diversity of housing options, and enhance the overall public realm within the North Park Urban Village.

We welcome the opportunity to work with you and the community to move this proposal forward. We thank you for considering our application.

Sincerely,

A handwritten signature in black ink, appearing to read 'Justin Gammon', with a long horizontal flourish extending to the right.

Justin Gammon, Architect AIBC, MRAIC  
Christine Lintott Architect Inc.