



## Advisory Design Panel Report For the Meeting of January 24, 2024

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**To:** Advisory Design Panel **Date:** January 16, 2024  
**From:** Kasha Janota-Bzowska, Planner  
**Subject:** **Development Permit with Variances Application No. 00249 for 1276/1278 Gladstone Avenue**

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### EXECUTIVE SUMMARY

The Advisory Design Panel (ADP) is requested to review a Development Permit with Variances Application for 1276/1278 Gladstone Avenue and provide advice to Council.

The subject property is designated Small Urban Village in the *Official Community Plan (OCP, 2012)*, which supports low-rise multi-unit buildings, mixed use buildings, and freestanding commercial buildings generally up to four storeys in height. Density of up to a maximum of approximately 2:1 floor space ratio (FSR) is permitted for locations that support the growth management concept of the OCP and *Fernwood Neighbourhood Plan (FNP, 2022)* objectives.

The FNP is consistent with the OCP uses and density envisioned for the site. The proposed increases in height, massing, setbacks, and density in this location are all supported by the OCP and the FNP, as is the ground-oriented commercial with residential above the first-floor design.

The proposed development is generally consistent with the relevant design guidelines associated with Development Permit Area 6B (HC): Small Urban Village Heritage as they relate to inclusion of heritage, building orientation, relationship to the street, and amenities and livability for tenants.

Staff are looking for commentary from the ADP with regard to:

- building design elements
- setbacks, height, and massing
- any other aspects of the proposal on which the ADP chooses to comment.

The Options section of this report provides guidance on possible recommendations that the Panel may make, or use as a basis to modify, in providing advice on this application.

### BACKGROUND

**Applicant:** Mr. Tonny Kiptoo  
Ms. Ashley Kiptoo

<b>Architect:</b>	Mr. Colin Harper, Architect AIBC CHA Architects
<b>Development Permit Area:</b>	Development Permit Area 6B (HC) - Small Urban Villages Heritage
<b>Heritage Status:</b>	N/A

## Description of Proposal

The proposal is for a 19-unit mixed use building consisting of 18 residential rental units and one commercial unit. The proposed new building presents itself as three storeys from the street view along Gladstone Avenue but is technically five storeys, as it has one storey below grade, one storey at ground level, two upper storeys and roof top addition for the upper storey units. It has been architecturally designed to take advantage of existing site topography and steep slope which allows it to have a storey below the ground floor, as well as a storey with ground level access. The proposed five-unit studio sized apartments with ground level access off Gladstone Avenue will be adaptable dwelling units designed for individuals with mobility challenges. Two units have private balconies, and the upper floor units have access via stairwells, which continue up to the roof top addition. The commercial unit is 132.26 m<sup>2</sup> in size, and proposed density is 1.52:1 FSR.

An associated rezoning application would increase the density from 0.30:1 FSR to 1:52:1 FSR and allow for multiple dwelling units and a ground floor commercial unit as permitted uses on site.

The proposed variances are related to setbacks, height, and parking.

Major design components include:

- 18 residential rental units with a range of unit sizes from studio to three bedroom
- five studio sized adaptable dwelling units with ground floor access
- one commercial unit fronting onto Gladstone Avenue
- private outdoor space for eight of the 18 units
- zero parking spaces proposed.

Exterior finishes include:

- reclaimed brick
- vertical stack bond brick
- black fibre cement board & batten siding
- clear seal architectural concrete
- black brake metal flashing
- yellow cedar T&G siding
- opaque privacy screen
- grey accent pavers
- cedar fencing.

Landscaping elements include:

- four proposed vine maple trees in tree grates
- mix of permeable pavers and timber decking benches

- hick's yew hedge along exposed concrete wall for screening at the rear
- tall Oregon grape, Herbert evergreen azalea and deer fern shrubs in planter beds.

The following data table compares the proposal with the CR-F, Fernwood Commercial Residential District and CR-6, Commercial Residential Fernwood Village District zones, which have permitted mixed-use development projects in the identified Fernwood Village heritage conservation area.

An asterisk is used to identify where the current proposal does not meet the requirements of one or both of these zones.

Zoning Criteria	Proposal	CR-F Zone	CR-6 Zone
Site area (m <sup>2</sup> ) – minimum	626.40	N/A	N/A
<b>Density (Floor Space Ratio) – maximum</b>	<b>1.52:1*</b>	1.40:1	1.00:1
Lot width (m) – maximum	13.70	N/A	N/A
Total floor area (m <sup>2</sup> ) – maximum	949.46	N/A	N/A
<b>Height (m) – maximum</b>	<b>13.57*</b>	12.00	10.60
Storeys – maximum	5 storeys (4 storeys and a roof deck)	N/A	N/A
Site coverage (%) – maximum	60.98 %	59.00 %	63.00 %
Roof deck	Yes	Permitted	Permitted
<b>Setbacks (m) – Front</b>	<b>5.69*</b>	6.00	3.50
<b>Setbacks (m) – Rear</b>	<b>3.95*</b> – main face of building <b>1.00*</b> – 1 <sup>st</sup> storey and patio	6.00	7.50
<b>Setbacks (m) – Side (East)</b>	<b>2.09*</b> – main face of building <b>1.44*</b> – balconies <b>0.06*</b> – steps	3.39	0.00
<b>Setbacks (m) – Side (West)</b>	<b>2.08*</b> – main face of building <b>0.00*</b> – 1 <sup>st</sup> storey and patio <b>1.36*</b> – balconies	3.39	1.50
<b>Vehicle parking – minimum</b>	<b>0*</b>	18 - Residential	18 - Residential
<b>Visitor Vehicle Stalls (included in overall total)</b>	<b>0*</b>	2 - Visitor	2 - Visitor
<b>Accessible Vehicle Stalls (included in overall total)</b>	<b>0*</b>	1 - Accessible 1 - Van Accessible 0 - Visitor Accessible 0 - Van Visitor Accessible	1 - Accessible 1 - Van Accessible 0 - Visitor Accessible 0 - Van Visitor Accessible

Zoning Criteria	Proposal	CR-F Zone	CR-6 Zone
Long Term Bicycle Parking	20.00	20.00	20.00
Short Term Bicycle Parking	7.00	7.00	7.00

### Sustainability Features

The applicants Letter to Mayor and Council identified the following sustainability features:

- use of recycled brick material.

### Consistency with Policies and Design Guidelines

#### Official Community Plan, 2012

The *Official Community Plan (OCP, 2012)* designates the subject property as Small Urban Village, which envisions low-rise multi-unit, mixed use, and freestanding commercial buildings with heights generally ranging from two to four storeys depending on the existing and envisioned context of the area. Taller buildings are generally envisioned to be located in mixed-use forms.

Envisioned uses include residential and mixed use, commercial, home occupations, and live/work units. Low to medium density residential, mixed use, and freestanding commercial is encouraged with a base density of 1.5:1 FSR. Additional density of up to 2:1 FSR may be considered where public benefit is provided consistent with neighbourhood plan objectives.

The OCP also identifies the site as being within Development Permit Area 6B (HC) – Small Urban Villages Heritage.

#### Fernwood Neighbourhood Plan, 2022

The *Fernwood Neighbourhood Plan (FNP, 2022)* is consistent with the OCP and designates the subject property as Small Urban Village and located in the identified Heritage Conservation Area.

Within Fernwood Village, the FNP encourages a mix of commercial and community services with low-rise apartment residential and mixed-use buildings at densities of approximately 1.5:1 to 2.0:1 FSR, with higher densities in this range considered where public benefits or affordable housing is provided. The identified Heritage Conservation Area is a tool used to protect, preserve, and enhance the heritage value or character of related properties with collective historical significance.

The FNP also designates the property as being in a “commercial-desired area” of the Fernwood Village, which calls for considering mixed-use development with publicly orientated, active ground floor uses that may include retail, community and public servicing spaces, or art spaces. Where the ground floor of a new building is not entirely occupied by a commercial space, the FNP encourages active residential-orientated uses in the remaining portion of the ground floor.

Housing objectives in the FNP support the creation of multi-family development with varied tenure options including rental housing in the urban villages. Provide diverse mobility options and opportunities for people to choose car-light lifestyles and advance the City’s heritage objectives.

## Design Guidelines for Development Permit Area 6B (HC): Small Urban Villages Heritage

The OCP identifies this property in Development Permit Area 6B (HC): Small Urban Villages Heritage. The objectives for this DPA that are relevant to this location include:

- (a) accommodating Victoria's anticipated residential growth and associated housing growth in Small Urban Villages, and support future commercial and community services.
- (b) revitalizing an area of commercial use through infill development.
- (c) conserving and enhancing the heritage value and characteristic of the area.
- (d) enhancing the area through infill with a high quality of architecture, landscape and urban design that responds to its heritage setting through sensitive and innovative interventions.

The special features, characteristic and special conditions that justify this designation include:

- (a) *Small Urban Villages as nodes of commercial and community services that support adjacent land use areas with potential for revitalization through infill, building additions and heritage conservation. Small Urban Villages have capacity for mixed-use development with active commercial at the street level and multi-family (multi-unit) residential.*
- (b) *The Fernwood Village area of the city is a small commercial district with a majority of buildings that date back to the Victorian and Edwardian eras. Many of the buildings are listed on the City of Victoria Heritage Register, and some are protected heritage property.*

The design guidelines that apply to this application are:

- [Fernwood Village Design Guidelines \(2022\)](#)
- [Standards and Guidelines for the Conservation of Historic Places in Canada](#)
- City of Victoria Heritage Program Sign & Awning Guidelines (1981)
- Guidelines for Fences, Gates, and Shutters (2010).

## **ANALYSIS**

The following sections identify and provide a brief analysis of the areas where the Panel is requested to provide commentary for review and consideration by both Staff and Council.

The Panel's commentary on any other aspects of the proposal is also welcome.

### Building Design Elements

The Fernwood Village Design Guidelines say to articulate façades, especially for larger buildings, into a series of intervals, using vertically proportioned windows and bays, to reflect and fit within the established streetscape pattern. New development should seek to include a distinct roof line in the building design, through such measures as a simplified or contemporary cornice or parapet. Lighting by incorporating pedestrian-scale lighting along the length of the building face is key, as is locating and screening proposed rooftop structures so they are not visible from the public realm. The guidelines also say to provide varied roof lines across different buildings to create visual interest along the street, and to generally align floor heights, mid-cornice lines, windowsills, and top edges with those adjacent heritage buildings, and discourages blank walls along open spaces.

Staff invite the ADP members to provide commentary, if any, on the proposed building design elements as it relates to preserving the character defining features of the Fernwood Village.

## Setbacks, Height, and Massing

### *Setbacks*

Variances are being requested to reduce the front, rear, and side yard setbacks.

<b>Setback</b>	<b>Proposed</b>	<b>CR-F Zone</b>	<b>CR-6 Zone</b>
<b>Setbacks (m) – Front</b>	<b>5.69*</b>	6.00	3.50
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The Fernwood Village Design Guidelines say that in the area adjacent to the established Fernwood Village where new commercial and mixed-use development is envisioned, locate and setback new buildings to achieve a minimum 4 metres from the curb to the face of the building.

The design guidelines also advise incorporating small setbacks for portions of the façade at street level in order to accommodate sidewalk cafes, patios, and other outdoor seating areas.

### *Height and Massing*

The building is proposed to be 13.57 m in height, which is higher than the comparable CR-F zone and CR-6 zone in the Fernwood Village area (12.0 m and 10.60 m).

The shadow study identifies minor overshadowing in the am during the summer solstice months, and the applicant has made exterior design changes to mitigate this impact, including:

- Removing the rooftop access stair closest to the rear yard and replacing it with an exterior stair at the fourth storey, resulting in a stepped massing and reduced shade impact
- Brick banding has been added to match the street-facing elevation, additional windows have been provided and the façade has been broken up by the exterior stairs
- The cladding on the west and east façades have been changed from black standing metal seam siding to a wood style board and batten, with variation in the spacing of the boards on each level to differentiate the storeys and further break up the façade.

The inclusion of one storey below grade and the proposed roof top addition makes the proposed new building technically 5 storeys, and the OCP and FNP call for generally 2 to 4 storeys in height.

The Fernwood Village Design Guidelines advise that when integrated, ensure new rooftop additions are designed sensitively to enable conservation of the entire historic building, to use a less dominating colour or lighter shade of colour, and that rooftop additions should be stepped back from the primary façade a minimum 4m to preserve views of the Belfry Theatre's spire.

Staff invite the ADP members to provide commentary, if any, on the setback reduction requests, increase in height, and proposed rooftop addition.

## **OPTIONS**

The following are three potential options that the Panel may consider using or modifying in formulating a recommendation to Council:

### **Option One**

That the Advisory Design Panel recommend to Council that Development Permit Application No. 00249 for 1276/1278 Gladstone Avenue be approved as presented.

### **Option Two**

That the Advisory Design Panel recommend to Council that Development Permit Application No. 00249 for 1276/1278 Gladstone Avenue be approved with the following changes:

- as listed by the ADP.

### **Option Three**

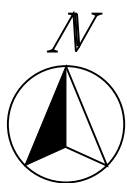
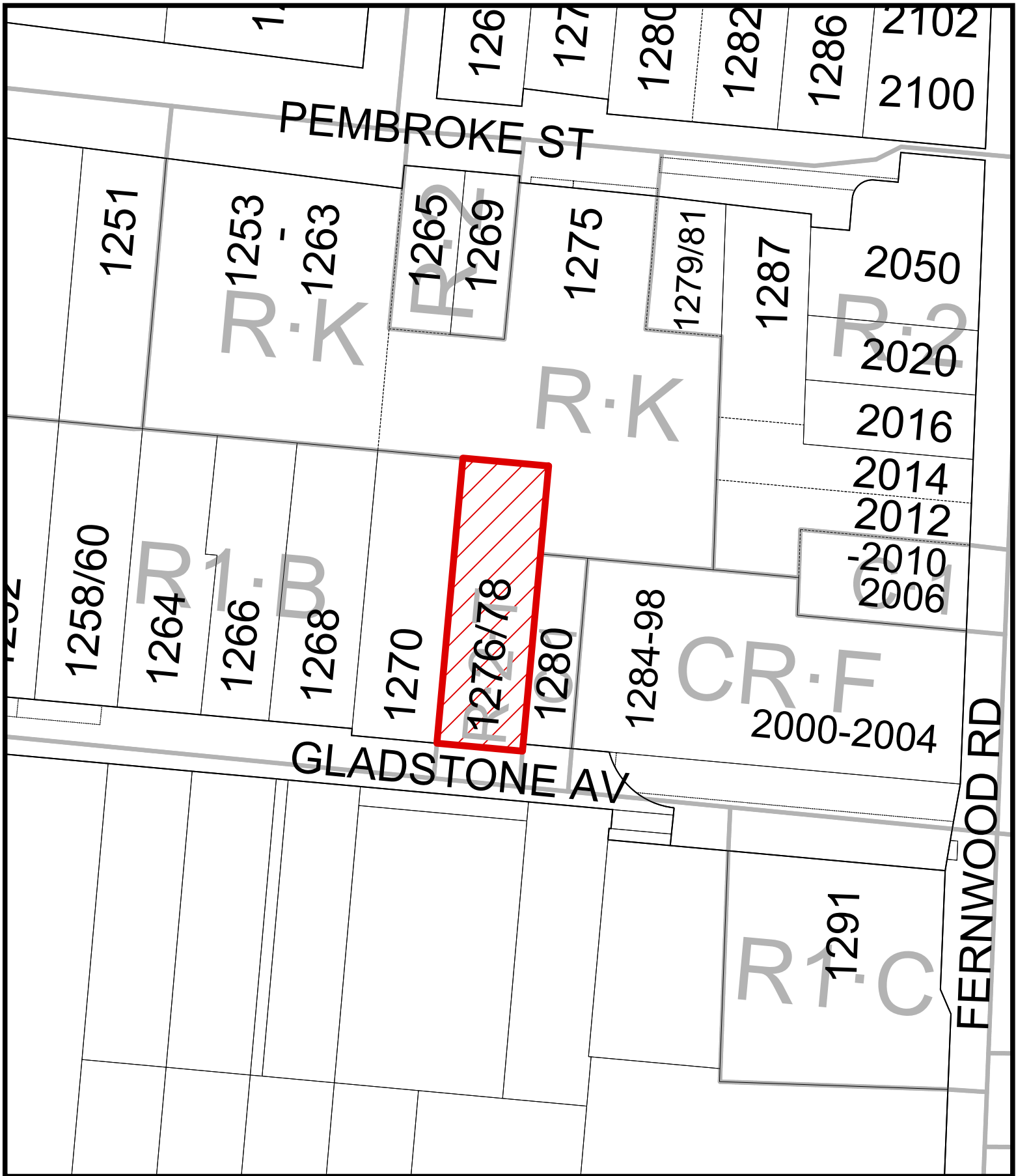
That the Advisory Design Panel recommend to Council that Development Permit Application No. 00249 for 1276/1278 Gladstone Avenue does not sufficiently meet the applicable design guidelines and polices and should be declined (and key areas that should be revised include:)

- as listed by the ADP, if there is further advice on how the application could be improved.

## **ATTACHMENTS**

- Subject Map
- Aerial Map
- Plans date stamped December 13, 2023
- Applicant's letter dated December 13, 2023

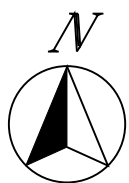
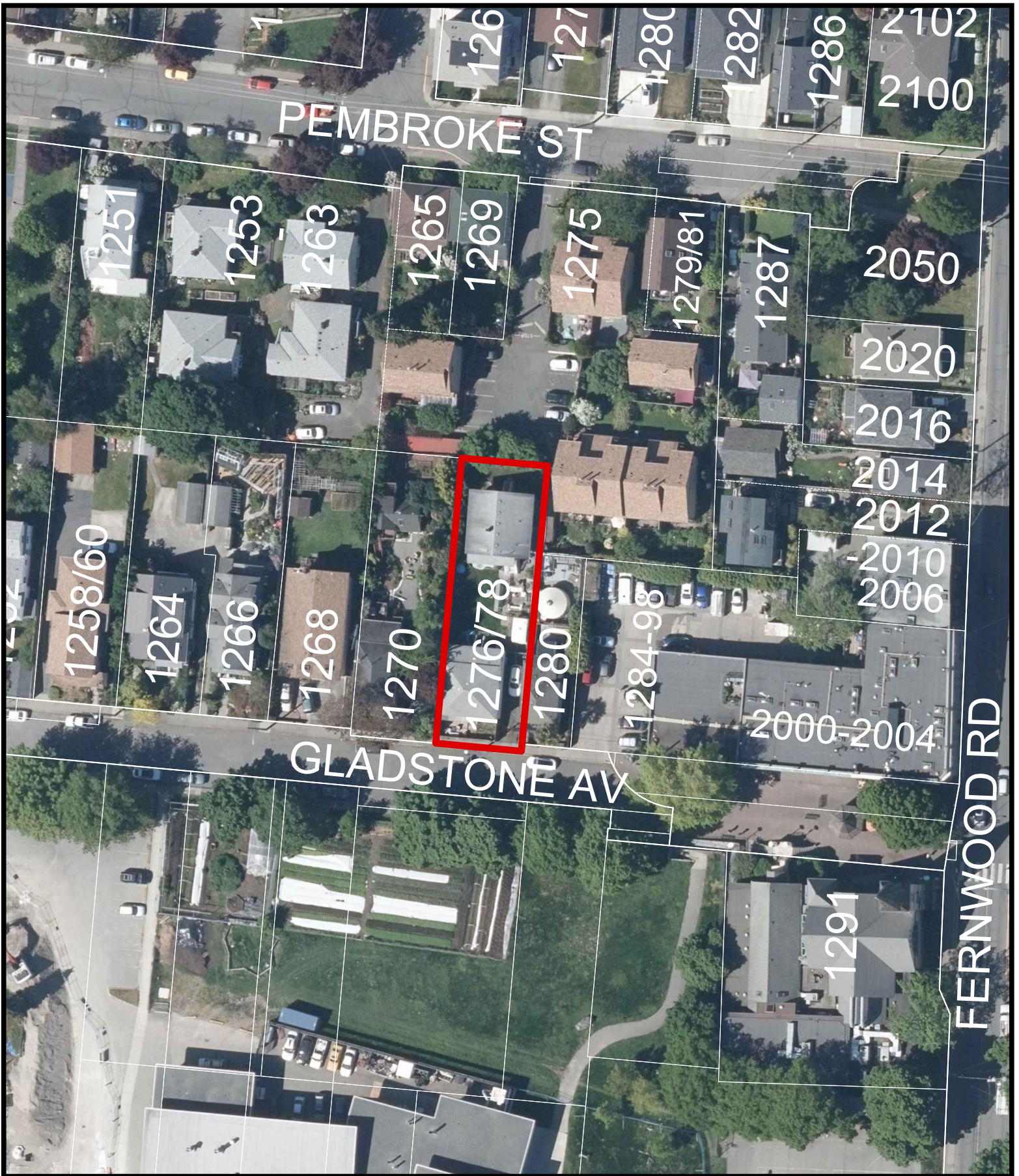
cc: Colin Harper, Applicant and Architect



1276 & 1278 Gladstone Avenue  
 Rezoning No.00860







1276 & 1278 Gladstone Avenue  
Rezoning No.00860



# 1276 GLADSTONE | 1276 GLADSTONE AVE.

PROJECT NUMBER: 2303

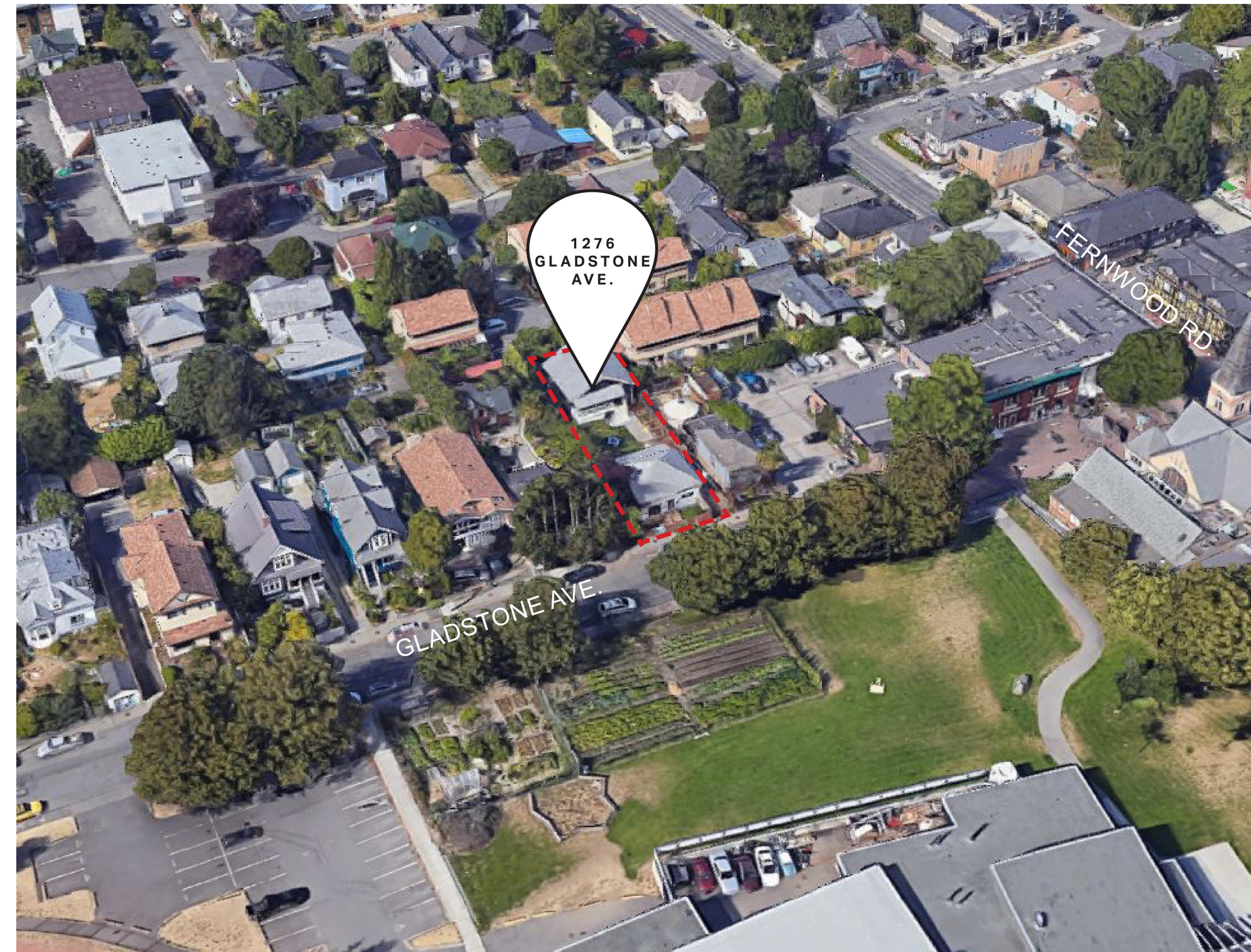
REISSUED FOR REZONING AND DEVELOPMENT PERMIT - DECEMBER 11, 2023

## CONTACTS

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CONT: COLIN HARPER  
TEL: 778 584 0582  
EMAIL: charper@charch.ca
- CIVIL** ISLANDER ENGINEERING  
623 DISCOVERY STREET,  
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CONT: JUSTIN EAGLE  
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VICTORIA BC, V8T 1M5  
CONT: CHRIS WINDJACK  
TEL: 250 598 0105  
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PO BOX 2203  
SIDNEY, BC, V8L 3S8  
CONT: MICHAEL BUTCHER  
TEL: 250 893 9056  
EMAIL: butcherlodi@aol.com

## DRAWING LIST

- ARCHITECTURAL**
- A000 COVER
  - A001 CODE REVIEW
  - A002 AREA CALCULATIONS
  - A003 LIMITING DISTANCE
  - A005 SHADOW STUDY
  - A006 CONTEXT PLAN & STREETScape
  - A007 SIGHTLINE DIAGRAM
  - A101 EXISTING SITE PLAN
  - A102 PROPOSED SITE PLAN
  - A202 LEVEL 1 FLOOR PLAN
  - A203 LEVEL 2 FLOOR PLAN
  - A204 LEVEL 3 FLOOR PLAN
  - A205 LEVEL 4 FLOOR PLAN
  - A206 ROOF PLAN
  - A301 ELEVATIONS
  - A302 ELEVATIONS
  - A303 MATERIAL BOARD
  - A304 RENDERINGS
  - A401 SECTIONS
- CIVIL**
- C1 CONCEPTUAL SITE SERVICING PLAN
  - C2 CONCEPTUAL GRADING PLAN
- LANDSCAPE**
- L1 LANDSCAPE CONCEPT PLAN
  - L2 LANDSCAPE CONCEPT PLAN
  - L3 TREE MANAGEMENT PLAN



## 1 CONTEXT PLAN



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SEAL

2023-12-11

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NOTES

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OWNER/CLIENT: TONNY KIPTOO  
1252 GLADSTONE AVE,  
VICTORIA, BC, V8T 1G6

NO.	REVISION	MDY
03	REISSUED FOR REZONING AND DEVELOPMENT PERMIT	12/11/2023
02	ISSUED FOR REVIEW	11/03/2023
01	ISSUED FOR REZONING AND DEVELOPMENT PERMIT	09/15/2023

PROJECT NAME

**1276 GLADSTONE  
VICTORIA, BC**

PROJECT ADDRESS:  
1276 GLADSTONE AVE,  
VICTORIA, BC, V8T 1G6

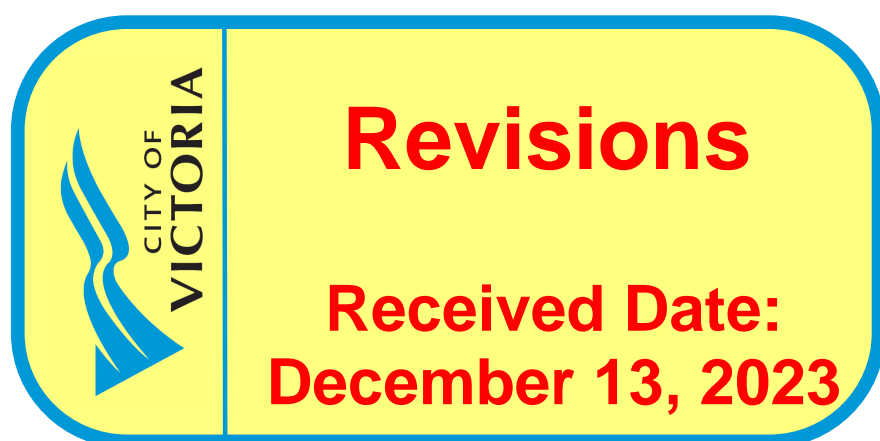
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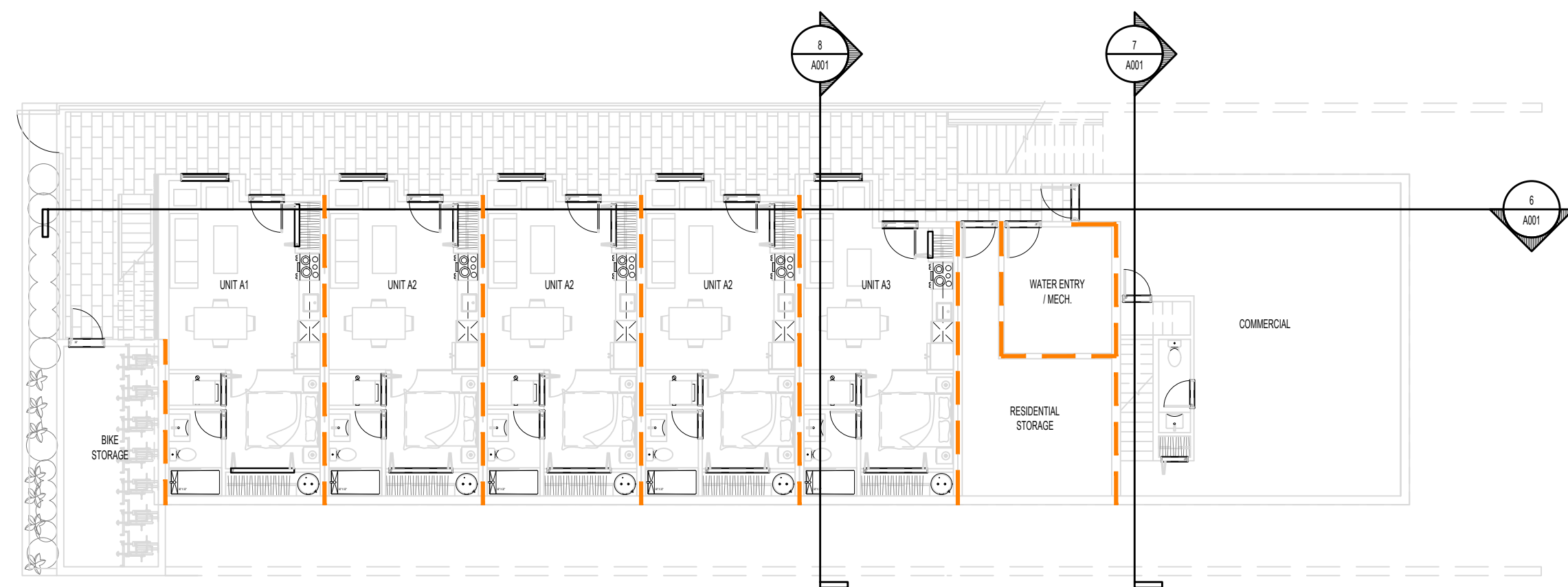
302-666 Cook Street, Victoria, BC, V8V 3Y7  
778-584-0582 | info@charch.ca | charch.ca

DRAWING TITLE

**COVER PAGE**

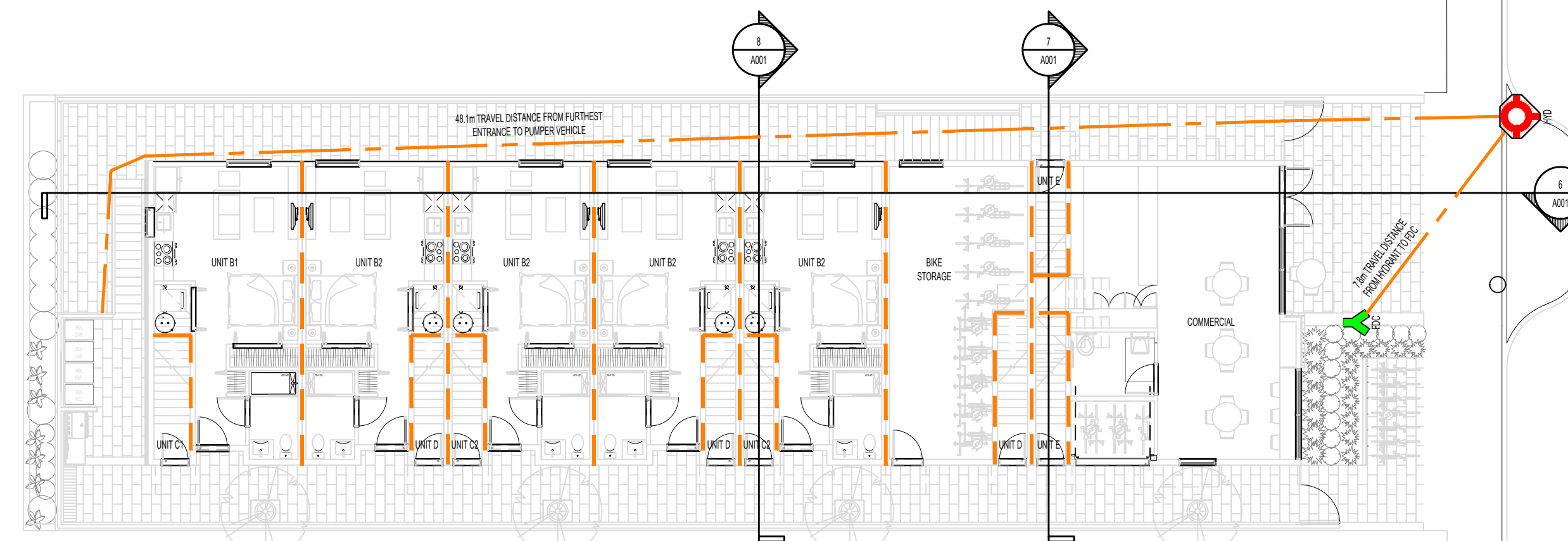
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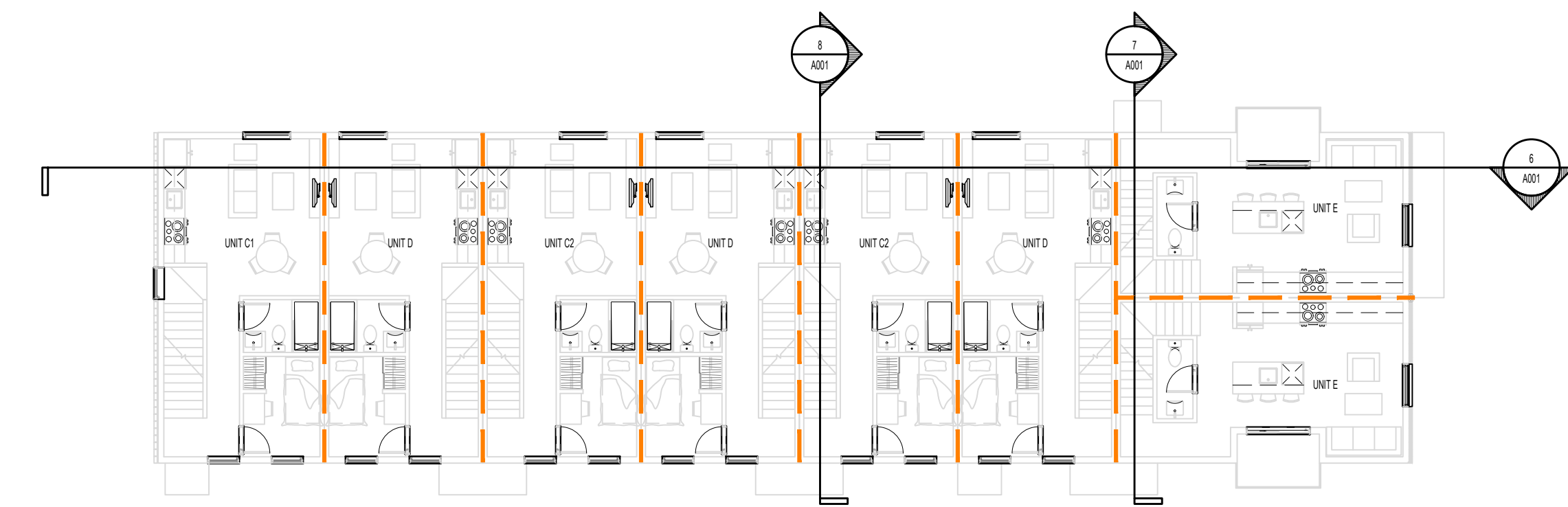
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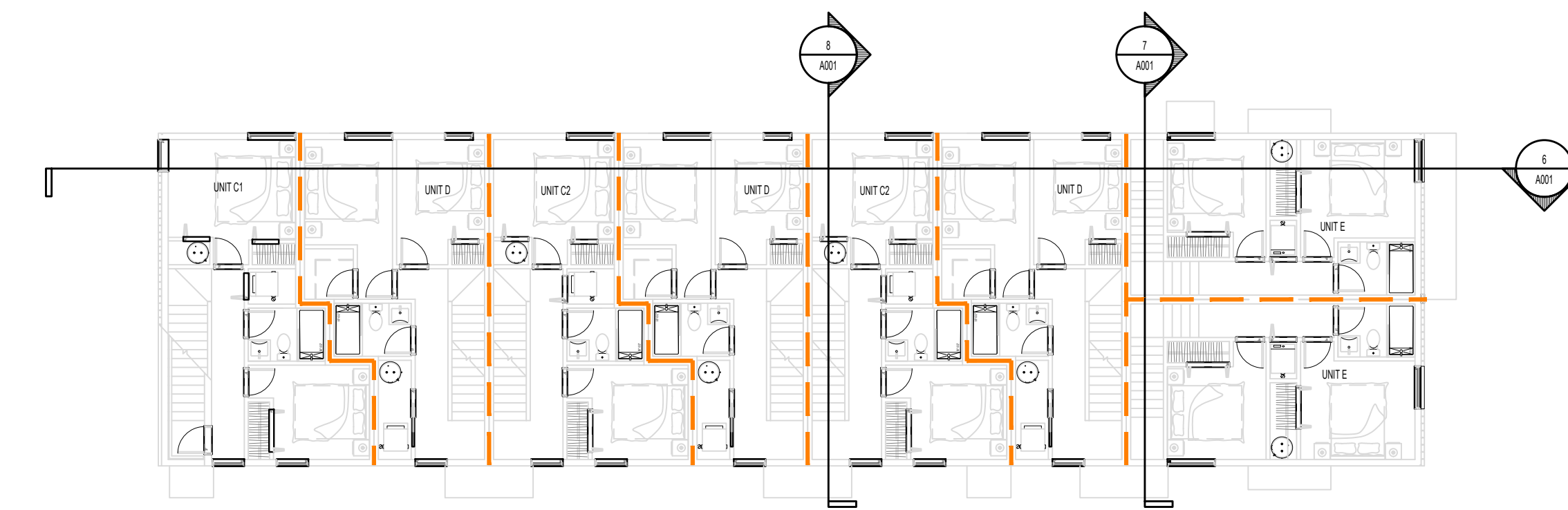
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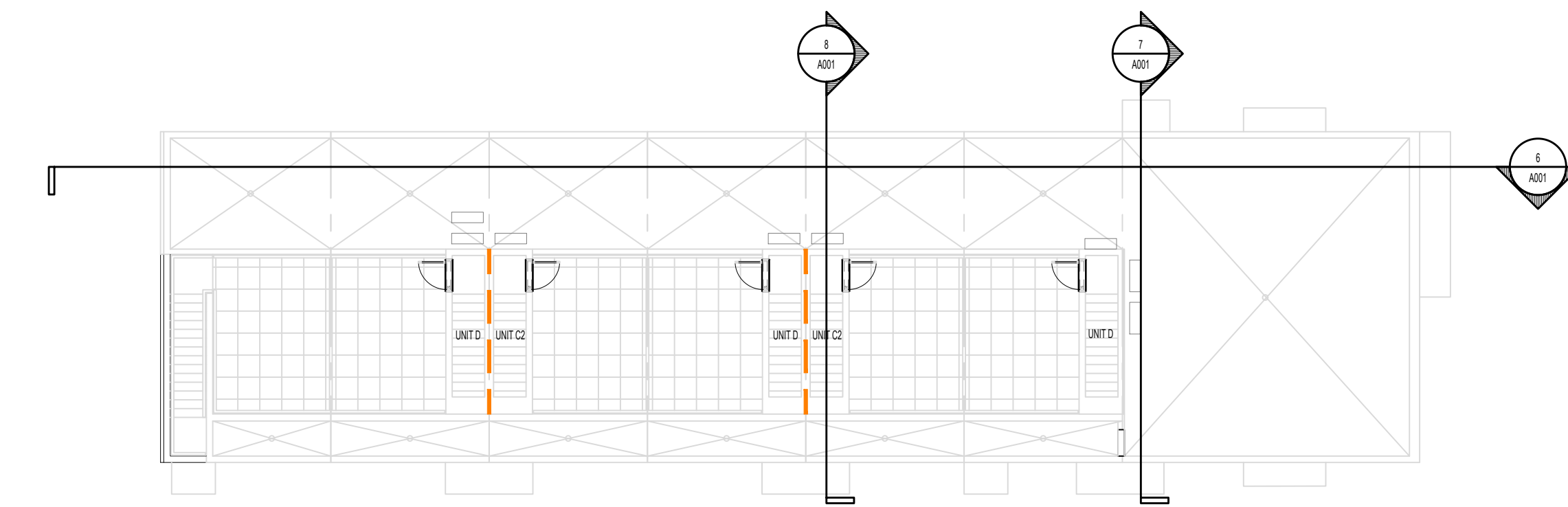
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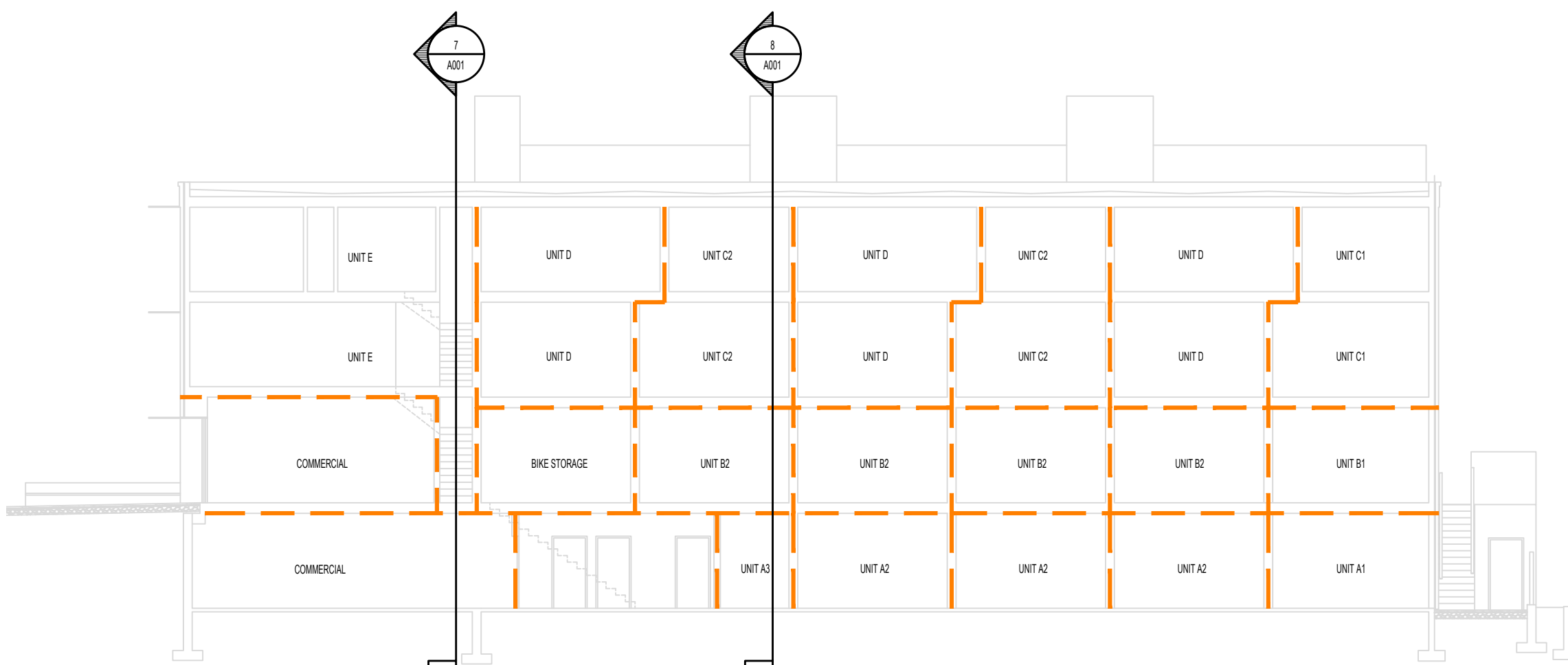
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**5 ROOF LEVEL CODE PLAN**

1:150



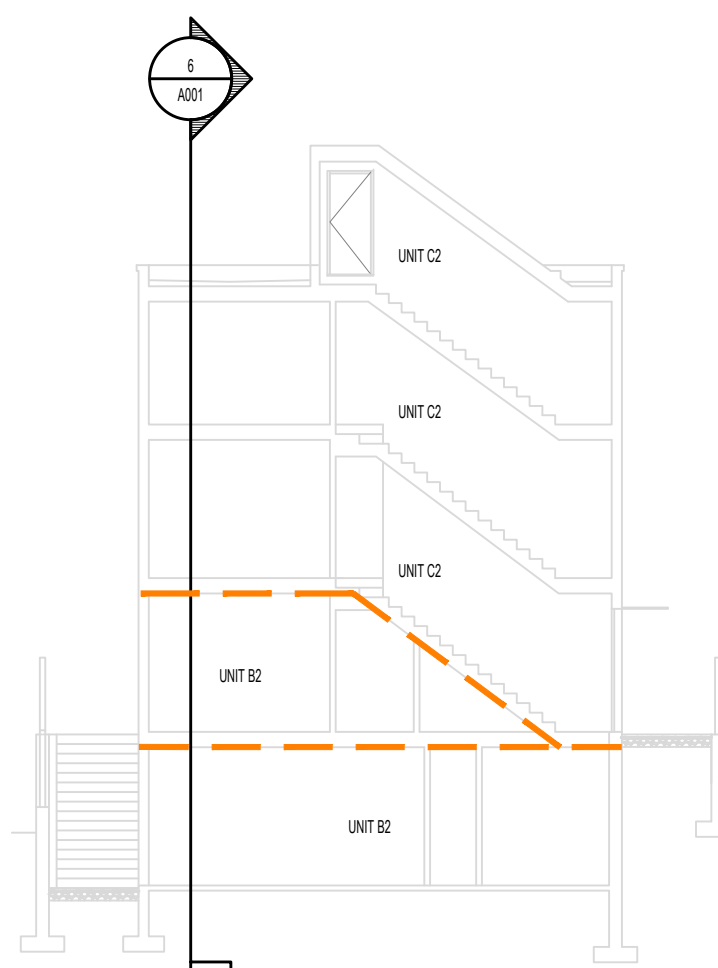
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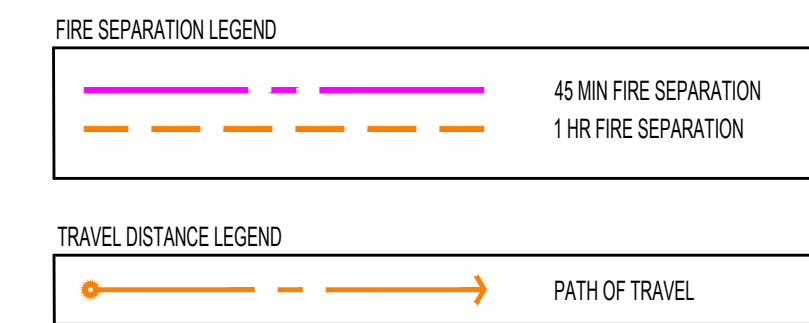
**7 CODE SECTION B**

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**8 CODE SECTION C**

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**CODE ANALYSIS BC BUILDING CODE 2018**

PR. #: 2303  
DATE: 11-Dec-23

**PROJECT DESCRIPTION**

4-STORY BUILDING WITH WOOD FRAME COMBUSTIBLE CONSTRUCTION  
TYPE OF WORK  
BASIS FOR CODE ANALYSIS

NEW CONSTRUCTION  
PART 3 PER 1.3.3.2.(1)(c)(iii)

**BUILDING SIZE AND CONSTRUCTION**

GOVERNING ARTICLE  
MAJOR OCCUPANCIES  
OCCUPANT LOAD  
BUILDING AREA  
BUILDING HEIGHT (STOREYS)  
SPRINKLERED  
FIRE ALARM AND DETECTION SYSTEM  
TYPE OF CONSTRUCTION PERMITTED

3.2.2.50 PER 3.2.2.50.(5)  
GROUP C AND GROUP A2  
84 PER 3.1.17.1.(1)(b) AND 3.1.17.1.(1)(c)  
366.9 m<sup>2</sup>  
4  
YES NFPA 13 - PER 3.2.2.50.(1)(a) & 3.2.5.12.(1)  
YES PER 3.2.4.1.(1)  
COMBUSTIBLE OR NONCOMBUSTIBLE

**OTHER SAFETY REQUIREMENTS**

STANDPIPE & HOSE SYSTEM  
LIMITING DISTANCE  
FIREFIGHTING ACCESS ROUTES  
STORAGE ROOM SPRINKLERS  
LIGHTING AND EMERGENCY POWER SYSTEMS

NO (REQUIRED PER 3.2.5.8.(1)(a)) ALTERNATE SOLUTION PENDING)  
UNPROTECTED OPENINGS ARE IN COMPLIANCE. SEE SHEET A002  
7.8m TRAVEL DISTANCE FROM HYDRANT TO FDC (45m ALLOWED)  
48.1m TRAVEL DISTANCE FROM FURTHEST ENTRANCE TO VEHICLE (45m ALLOWED)  
YES PER 3.3.4.3.(1)  
YES PER 3.2.7.

**REQUIRED FIRE SEPARATION / FIRE-RESISTANCE RATINGS**

FRR OF FLOOR ASSEMBLIES  
FRR OF ROOF ASSEMBLIES  
FRR BETWEEN SUITES  
FRR BETWEEN COMMERCIAL AND RESIDENTIAL  
FRR BTW ELECTRICAL ROOM AND STORAGE ROOM / COMMERCIAL  
FRR BTW BIKE ROOM AND RESIDENTIAL  
FRR BTW STORAGE ROOM AND RESIDENTIAL  
FIRE SEPARATION OF FLOOR ENTIRELY CONTAINED WITHIN DWELLING  
UNITS HAVING MORE THAN ONE STOREY

1 HR PER 3.2.2.50.(2)(a)  
1 HR PER 3.2.2.50.(2)(b)  
1 HR PER 3.3.1.1.(1)  
1 HR PER 3.1.3.1.(1)  
1 HR PER 3.6.2.1.(6)  
1 HR PER 3.3.4.3.(2)  
1 HR PER 3.3.4.3.(2)  
N/A PER 3.2.2.50.(3)

**ACCESSIBILITY REQUIREMENTS**

APARTMENT DWELLING UNITS  
COMMERCIAL ACCESSIBILITY REQUIREMENTS  
NOTE: ACCESSIBLE DESIGN REQS. PROVIDED FOR PATRONS ONLY. WORK FUNCTIONS CANNOT REASONABLY BE EXPECTED TO BE PERFORMED BY PERSONS WITH DISABILITIES.

N/A PER 3.8.2.1.(1)(b)  
PER 3.8.2.1.(1)

**ENERGY EFFICIENCY**

STEP CODE 3

PER CITY OF VICTORIA REQUIREMENTS

**REQUIRED ALTERNATE SOLUTIONS**

ARTICLE  
EGRESS FROM DWELLING UNITS - PER 3.3.4.4.(3)  
EXIT EXPOSURE - PER 3.3.2.13.  
STANDPIPE SYSTEM - PER 3.2.5.8.

**MITIGATING FEATURE**  
INCREASED SPRINKLER DENSITY AND WATER CURTAIN AT KITCHEN, TBC  
WATER CURTAINS ABOVE ALL UNPROTECTED OPENINGS WITHIN 5m OF THE EXIT PATH  
64mm HOSE CONNECTIONS AT ENTRIES

\*ALTERNATE SOLUTION REPORT TO BE PROVIDED BY BUILDING CODE CONSULTANTS PRIOR TO COMMITTEE OF THE WHOLE

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OWNER/CLIENT: TONNY KIPTOO  
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NO.	REVISION	MDY

**PROJECT NAME**

**1276 GLADSTONE  
VICTORIA, BC**

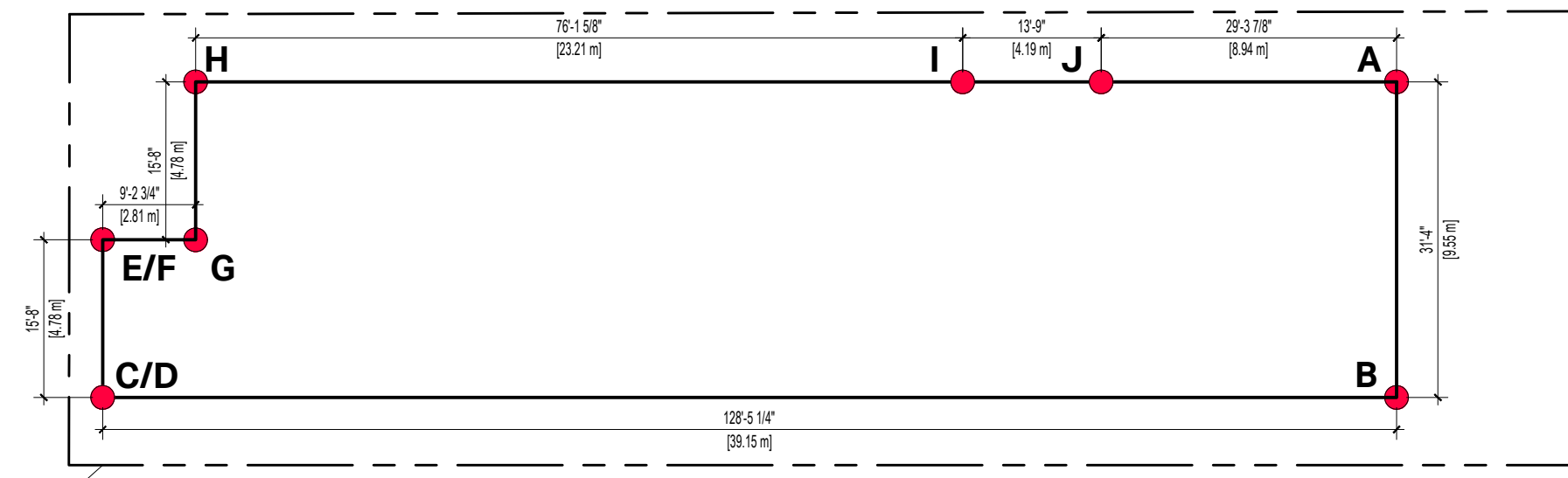
**PROJECT ADDRESS:**  
1276 GLADSTONE AVE.  
VICTORIA, BC, V8T 1G6

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**CODE REVIEW**

PROJECT NO:	2303	DRAWN BY:	HG
SCALE:	1:100	REVIEW BY:	CH
DRAWING TITLE:			<b>A001</b>



### 1 AVERAGE GRADE CALCULATION

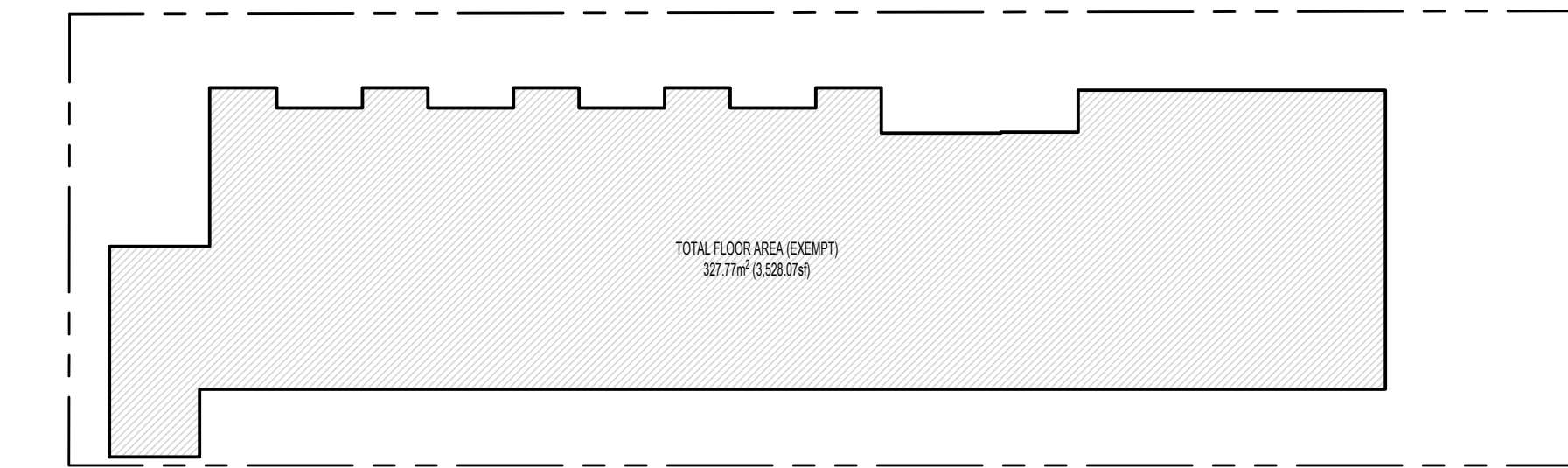
1:200

#### ZONING GRADE CALCULATION

GRADE POINTS (m)	LENGTH (m)	GRADE CALCS	
A 31.03 B 31.50	9.55	$(31.03 + 31.5) \div 2 \times 9.55m =$	298.58
B 31.50 C 29.08	39.15	$(31.5 + 29.08) \div 2 \times 39.15m =$	1185.85
D 29.08 E 28.77	4.76	$(29.08 + 28.77) \div 2 \times 4.78m =$	138.26
F 28.77 G 28.65	2.81	$(28.77 + 28.65) \div 2 \times 2.81m =$	80.68
G 28.65 H 28.65	4.78	$(28.65 + 28.65) \div 2 \times 4.78m =$	136.95
H 28.65 I 28.65	23.21	$(28.65 + 28.65) \div 2 \times 23.21m =$	664.97
I 28.65 J 30.44	4.19	$(28.65 + 30.44) \div 2 \times 4.19m =$	123.79
J 30.44 A 31.03	8.94	$(30.44 + 31.03) \div 2 \times 8.94m =$	274.77
TOTALS	97.41		2903.85
AVERAGE GRADE			29.81

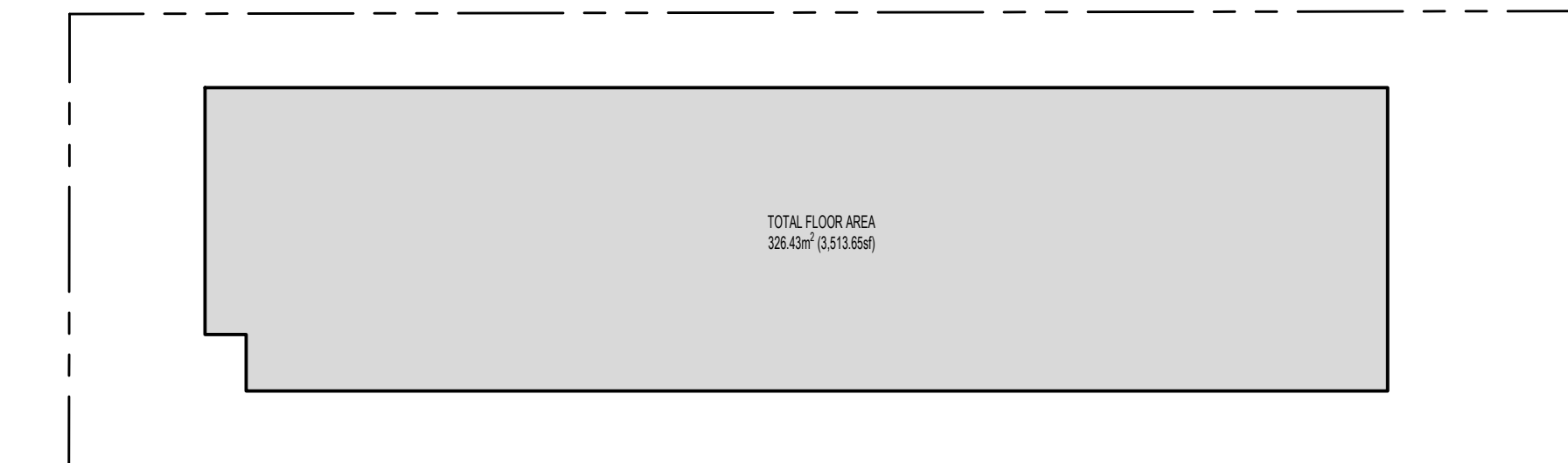
#### GRADES

Grade Points	Existing	Proposed	Grade
Point A	31.03	31.65	31.03
Point B	31.50	31.78	31.50
Point C	29.08	31.70	29.08
Point D	29.08	29.08	29.08
Point E	28.77	28.77	28.77
Point F	28.77	31.85	28.77
Point G	29.12	28.65	28.65
Point H	28.99	28.65	28.65
Point I	30.02	28.65	28.65
Point J	30.44	31.70	30.44



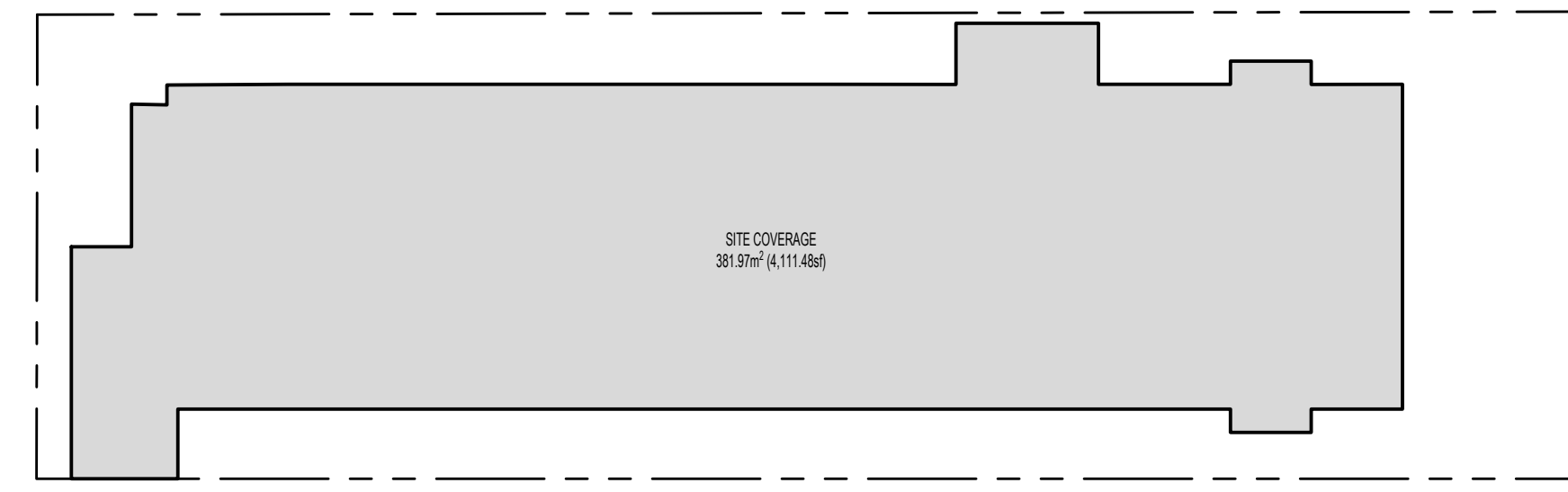
### 4 LEVEL 1 FLOOR AREA CALC

1:200



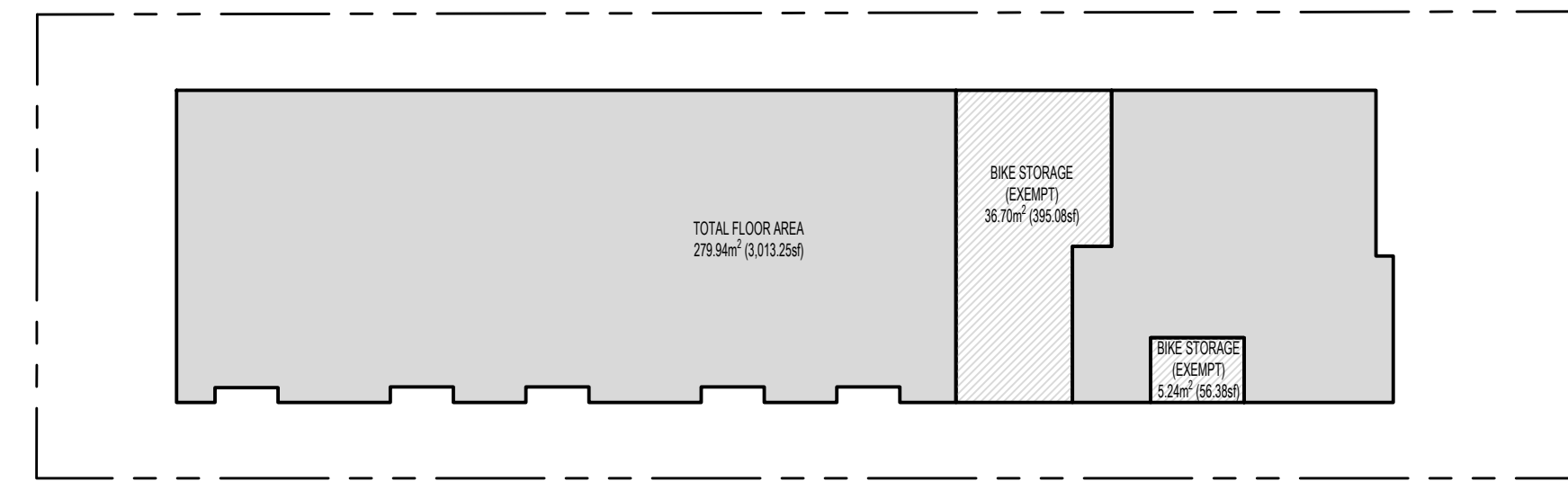
### 7 LEVEL 4 FLOOR AREA CALC

1:200



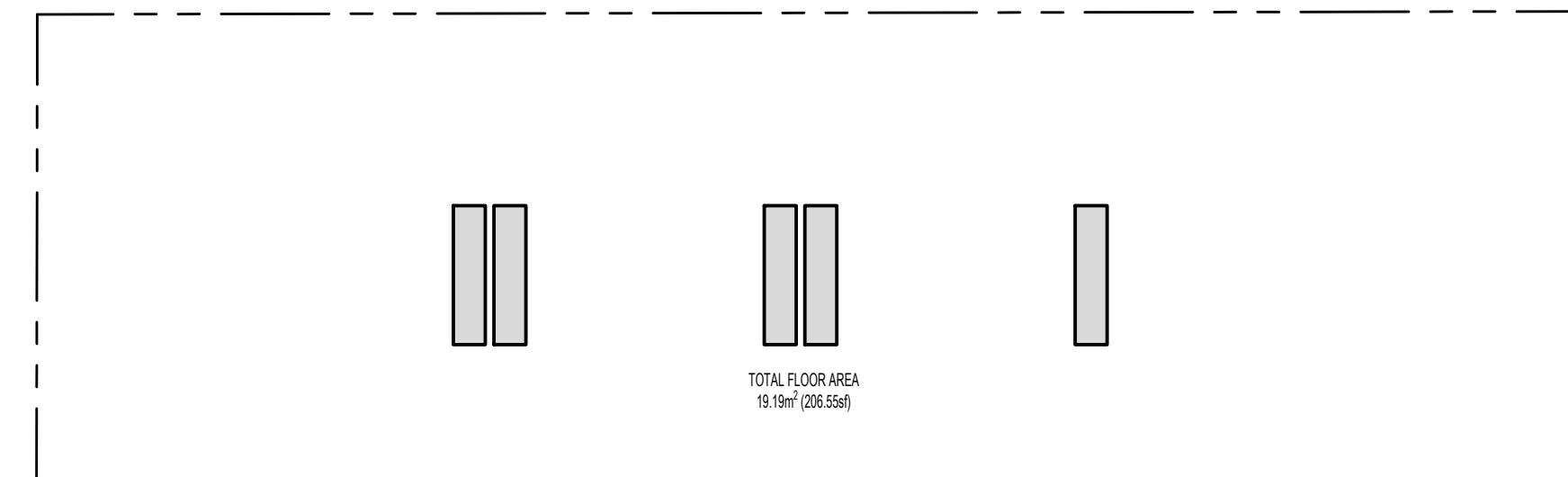
### 2 SITE COVERAGE

1:200



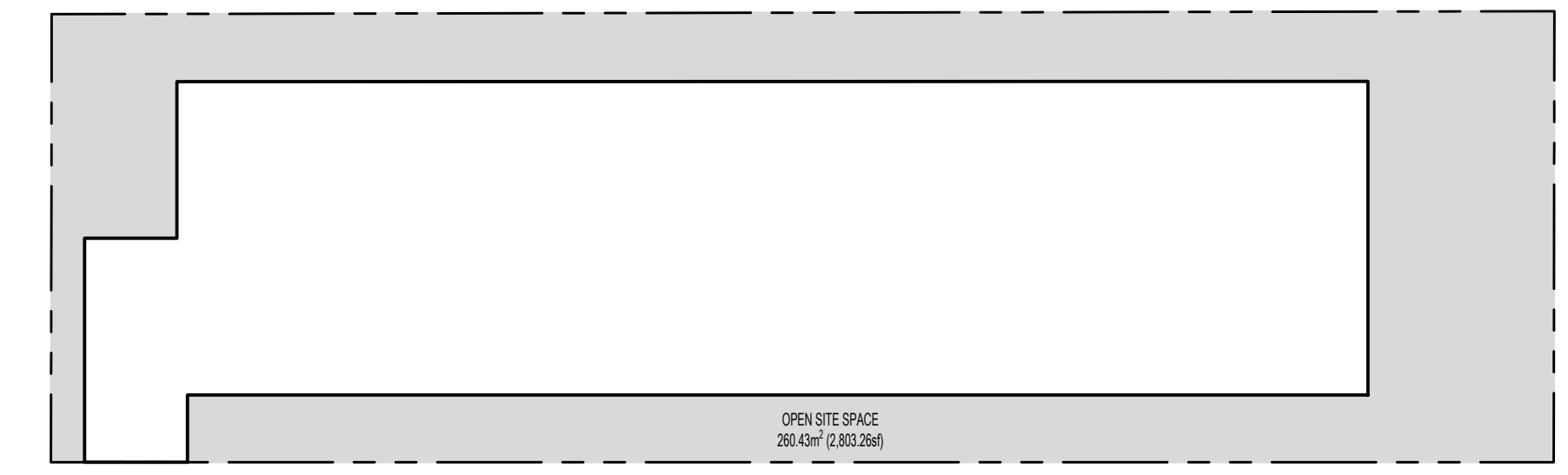
### 5 LEVEL 2 FLOOR AREA CALC

1:200



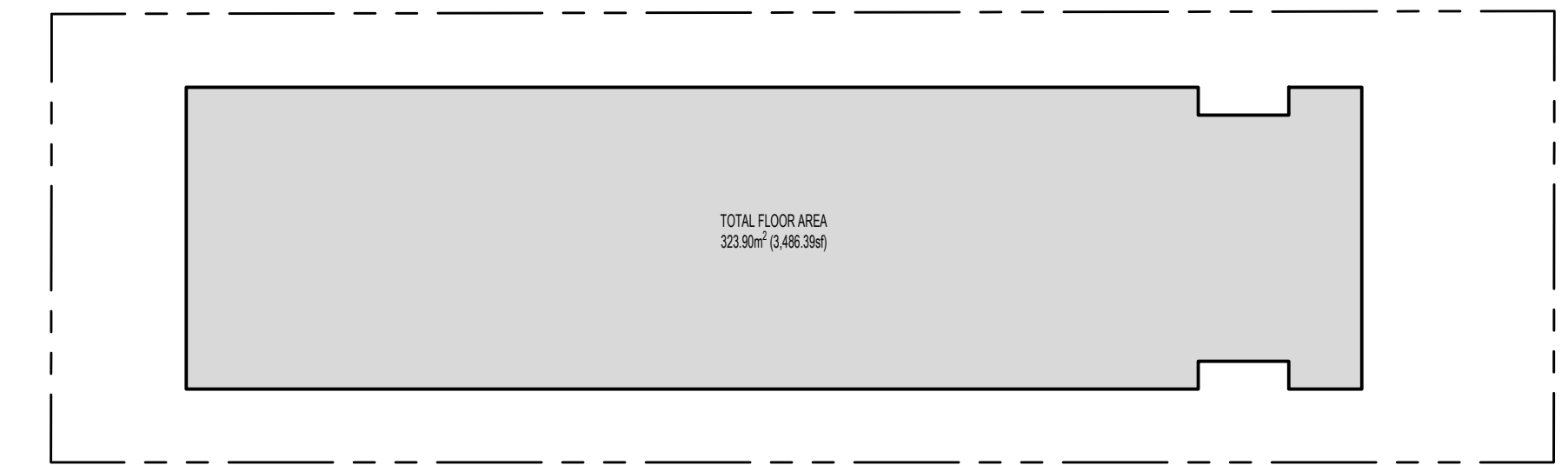
### 8 ROOF LEVEL FLOOR AREA CALC

1:200



### 3 OPEN SITE SPACE

1:200



### 6 LEVEL 3 FLOOR AREA CALC

1:200

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02	ISSUED FOR REVIEW	11/03/2023
01	ISSUED FOR REZONING AND DEVELOPMENT PERMIT	09/15/2023

PROJECT NAME  
**1276 GLADSTONE  
VICTORIA, BC**

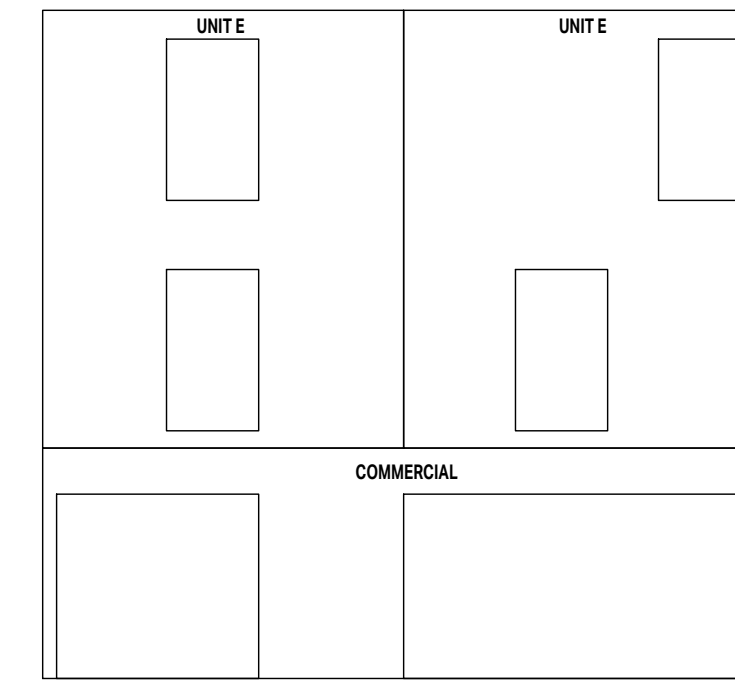
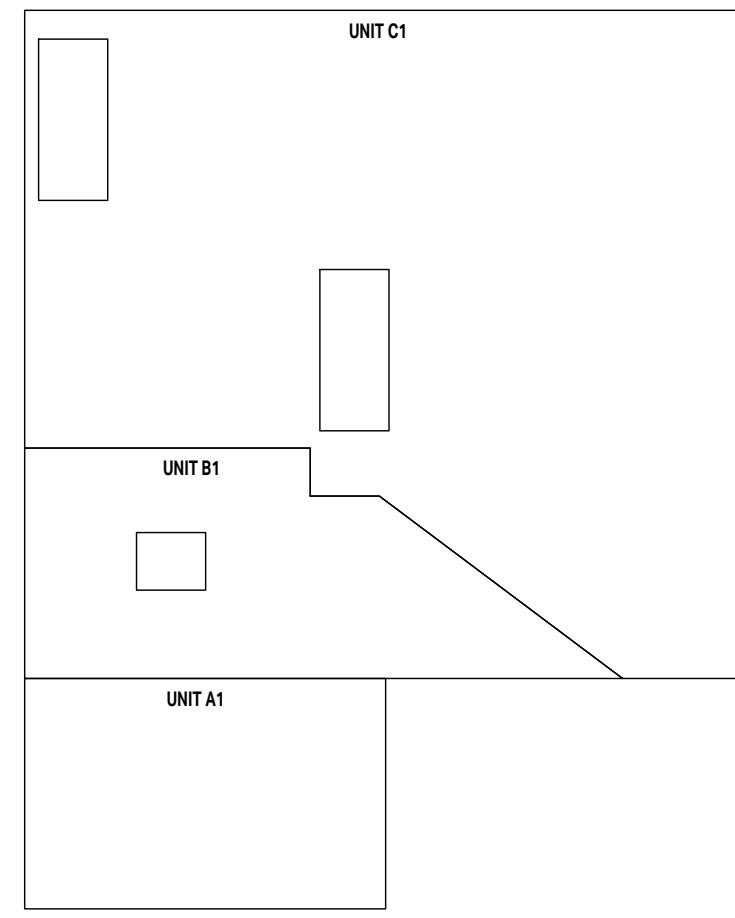
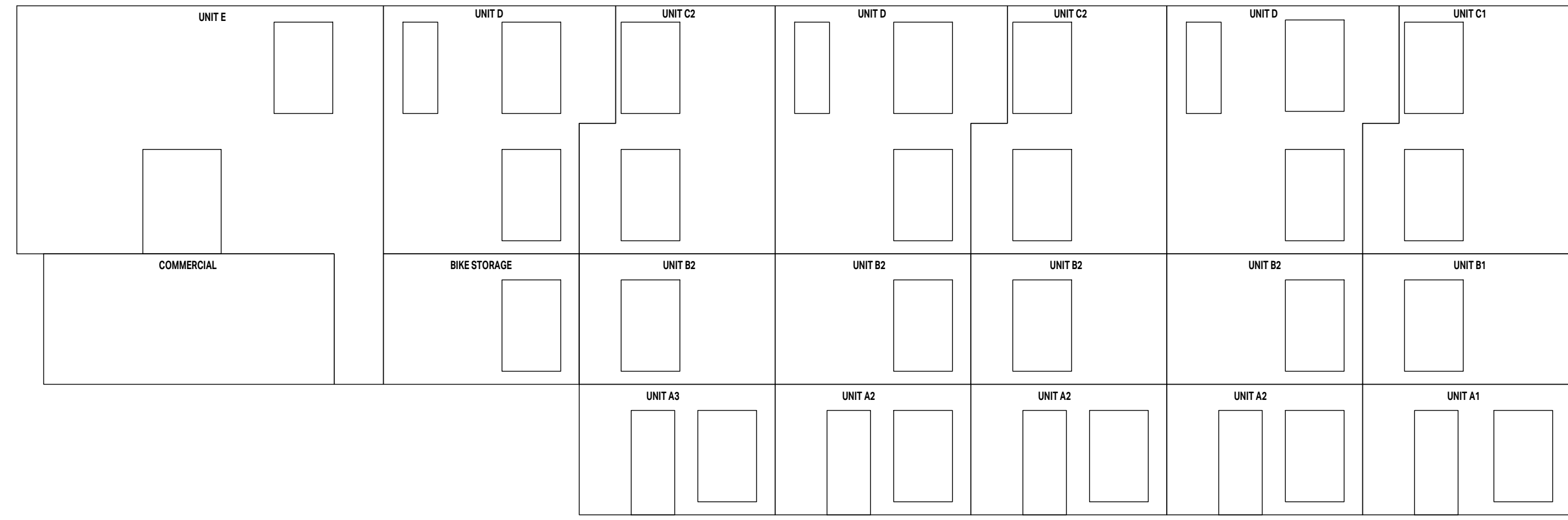
PROJECT ADDRESS:  
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DRAWING TITLE:  
**AREA CALCULATIONS**

PROJECT NO:	2303	DRAWN BY:	HG
SCALE:	1:200	REVIEW BY:	CH
DRAWING NO:		A002	



UNIT E - EAST ELEVATION SPATIAL SEPARATION CALCULATION BCC 2018 PART 3 TABLE 3.2.3.1-0	UNIT A1, A2 & A3 - EAST ELEVATION SPATIAL SEPARATION CALCULATION BCC 2018 PART 3 TABLE 3.2.3.1-0	UNIT B1 & B2 & BIKE STORAGE - EAST ELEVATION SPATIAL SEPARATION CALCULATION BCC 2018 PART 3 TABLE 3.2.3.1-0	UNIT C1 & C2 - EAST ELEVATION SPATIAL SEPARATION CALCULATION BCC 2018 PART 3 TABLE 3.2.3.1-0	UNIT D - EAST ELEVATION SPATIAL SEPARATION CALCULATION BCC 2018 PART 3 TABLE 3.2.3.1-0
AREA OF EXPOSED BUILDING FACE: 53.0m <sup>2</sup> (571.1sq ft)	AREA OF EXPOSED BUILDING FACE: 13.94m <sup>2</sup> (150.0sq ft)	AREA OF EXPOSED BUILDING FACE: 13.94m <sup>2</sup> (150.0sq ft)	AREA OF EXPOSED BUILDING FACE: 24.15m <sup>2</sup> (259.9sq ft)	AREA OF EXPOSED BUILDING FACE: 28.81m <sup>2</sup> (310.13sq ft)
LIMITING DISTANCE: 2.09m (6.87ft)	LIMITING DISTANCE: 2.09m (6.87ft)	LIMITING DISTANCE: 2.09m (6.87ft)	LIMITING DISTANCE: 2.09m (6.87ft)	LIMITING DISTANCE: 2.09m (6.87ft)
ALLOWABLE OPENINGS: 21.3% (11.3m <sup>2</sup> /127.6sq ft)	ALLOWABLE OPENINGS: 38.9% (5.4m <sup>2</sup> /58.2sq ft)	ALLOWABLE OPENINGS: 38.9% (5.4m <sup>2</sup> /58.2sq ft)	ALLOWABLE OPENINGS: 28.9% (7.0m <sup>2</sup> /75.0sq ft)	ALLOWABLE OPENINGS: 26.4% (7.6m <sup>2</sup> /81.7sq ft)
PROPOSED OPENINGS: 13.9% (7.4m <sup>2</sup> /79.5sq ft)	PROPOSED OPENINGS: 38.9% (5.4m <sup>2</sup> /58.2sq ft)	PROPOSED OPENINGS: 38.9% (5.4m <sup>2</sup> /58.2sq ft)	PROPOSED OPENINGS: 24.2% (5.85m <sup>2</sup> /63.0sq ft)	PROPOSED OPENINGS: 26.3% (7.59m <sup>2</sup> /81.67sq ft)
FIRE RESISTANCE RATING PER 3.2.3.7: 1HR	FIRE RESISTANCE RATING PER 3.2.3.7: 45MIN	FIRE RESISTANCE RATING PER 3.2.3.7: 45MIN	FIRE RESISTANCE RATING PER 3.2.3.7: 45MIN	FIRE RESISTANCE RATING PER 3.2.3.7: 45MIN
CLADDING PER 3.2.3.7: NONCOMBUSTIBLE	CLADDING PER 3.2.3.7: NONCOMBUSTIBLE	CLADDING PER 3.2.3.7: NONCOMBUSTIBLE	CLADDING PER 3.2.3.7: NONCOMBUSTIBLE	CLADDING PER 3.2.3.7: NONCOMBUSTIBLE
CONSTRUCTION PER 3.2.3.7: N/A	CONSTRUCTION PER 3.2.3.7: N/A	CONSTRUCTION PER 3.2.3.7: N/A	CONSTRUCTION PER 3.2.3.7: N/A	CONSTRUCTION PER 3.2.3.7: N/A

UNIT B1 - NORTH ELEVATION SPATIAL SEPARATION CALCULATION BCC 2018 PART 3 TABLE 3.2.3.1-0	UNIT C1 - NORTH ELEVATION SPATIAL SEPARATION CALCULATION BCC 2018 PART 3 TABLE 3.2.3.1-0	UNIT E - SOUTH ELEVATION SPATIAL SEPARATION CALCULATION BCC 2018 PART 3 TABLE 3.2.3.1-0	COMMERCIAL - SOUTH ELEVATION SPATIAL SEPARATION CALCULATION BCC 2018 PART 3 TABLE 3.2.3.1-0
AREA OF EXPOSED BUILDING FACE: 17.6m <sup>2</sup> (189.5sq ft)	AREA OF EXPOSED BUILDING FACE: 66.8m <sup>2</sup> (719.2sq ft)	AREA OF EXPOSED BUILDING FACE: 27.7m <sup>2</sup> (297.7sq ft)	AREA OF EXPOSED BUILDING FACE: 21.1m <sup>2</sup> (227.3sq ft)
LIMITING DISTANCE: 3.96m (12.99ft)	LIMITING DISTANCE: 3.96m (12.99ft)	LIMITING DISTANCE: 11.09m (36.39ft)	LIMITING DISTANCE: 9.86m (32.35ft)
ALLOWABLE OPENINGS: 88.7% (17.4m <sup>2</sup> /196.0sq ft)	ALLOWABLE OPENINGS: 46.6% (31.1m <sup>2</sup> /335.2sq ft)	ALLOWABLE OPENINGS: 100% (27.7m <sup>2</sup> /297.7sq ft)	ALLOWABLE OPENINGS: 100% (21.1m <sup>2</sup> /227.3sq ft)
PROPOSED OPENINGS: 4.0% (0.7m <sup>2</sup> /7.5sq ft)	PROPOSED OPENINGS: 5.8% (13.9m <sup>2</sup> /149.0sq ft)	PROPOSED OPENINGS: 18.8% (5.2m <sup>2</sup> /56.0sq ft)	PROPOSED OPENINGS: 60.9% (17.7m <sup>2</sup> /190.7sq ft)
FIRE RESISTANCE RATING PER 3.2.3.7: 45MIN	FIRE RESISTANCE RATING PER 3.2.3.7: 45MIN	FIRE RESISTANCE RATING PER 3.2.3.7: N/A	FIRE RESISTANCE RATING PER 3.2.3.7: N/A
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CONSTRUCTION PER 3.2.3.7: N/A	CONSTRUCTION PER 3.2.3.7: N/A	CONSTRUCTION PER 3.2.3.7: N/A	CONSTRUCTION PER 3.2.3.7: N/A

# 1 EAST ELEVATION

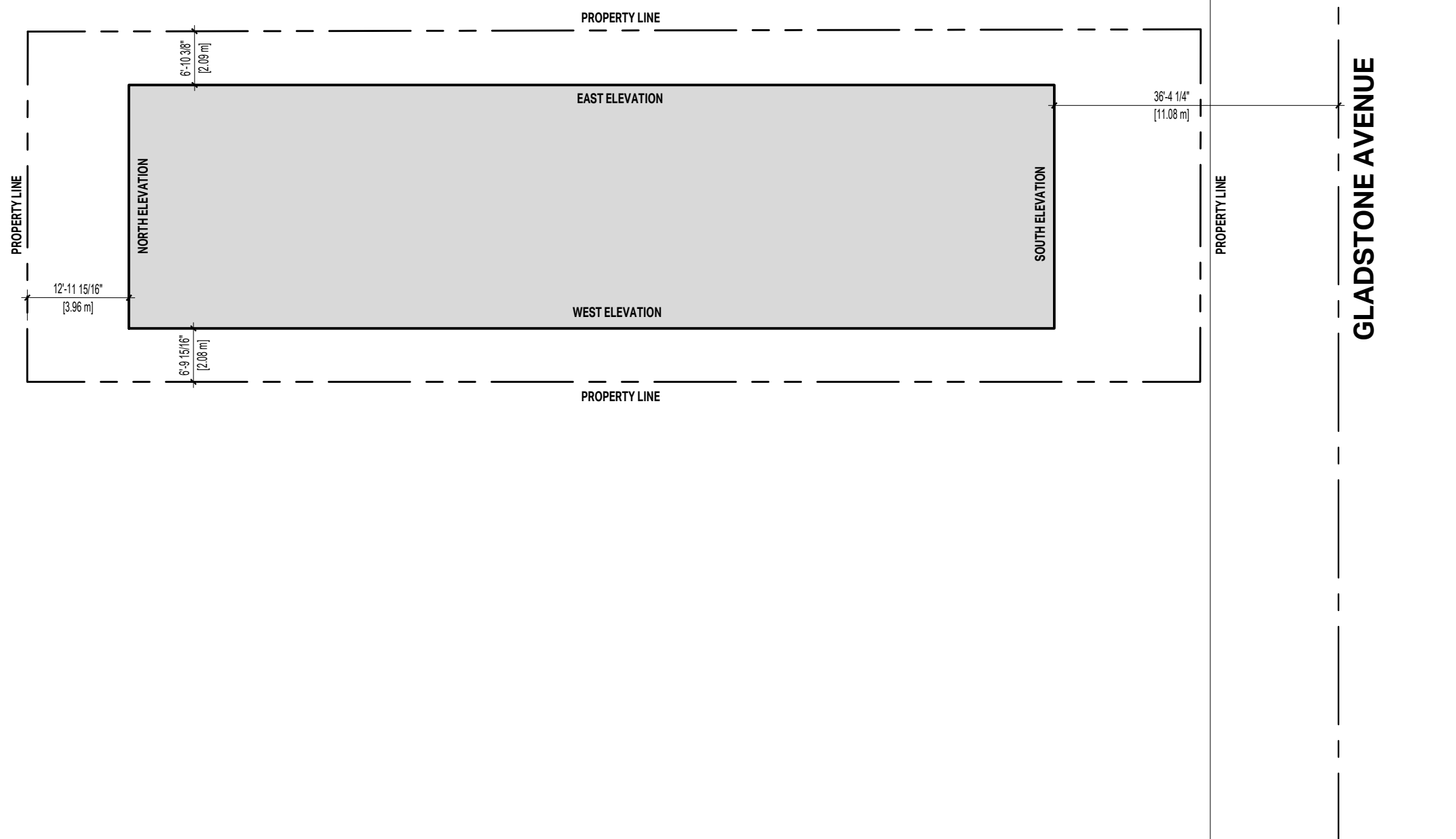
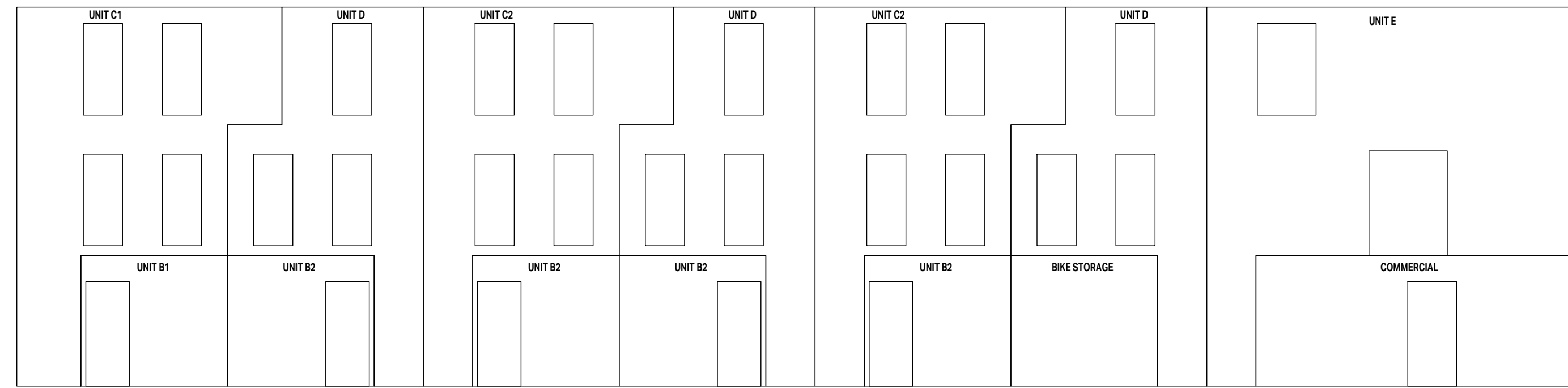
1:100

# 2 NORTH ELEVATION

1:100

# 3 SOUTH ELEVATION

1:100



UNIT B1 & B2 - WEST ELEVATION SPATIAL SEPARATION CALCULATION BCC 2018 PART 3 TABLE 3.2.3.1-0	UNIT C1 & C2 - WEST ELEVATION SPATIAL SEPARATION CALCULATION BCC 2018 PART 3 TABLE 3.2.3.1-0	UNIT D - WEST ELEVATION SPATIAL SEPARATION CALCULATION BCC 2018 PART 3 TABLE 3.2.3.1-0	UNIT E - WEST ELEVATION SPATIAL SEPARATION CALCULATION BCC 2018 PART 3 TABLE 3.2.3.1-0	COMMERCIAL - WEST ELEVATION SPATIAL SEPARATION CALCULATION BCC 2018 PART 3 TABLE 3.2.3.1-0
AREA OF EXPOSED BUILDING FACE: 10.43m <sup>2</sup> (112.3sq ft)	AREA OF EXPOSED BUILDING FACE: 33.48m <sup>2</sup> (360.2sq ft)	AREA OF EXPOSED BUILDING FACE: 26.50m <sup>2</sup> (285.2sq ft)	AREA OF EXPOSED BUILDING FACE: 53.0m <sup>2</sup> (571.1sq ft)	AREA OF EXPOSED BUILDING FACE: 22.6m <sup>2</sup> (243.0sq ft)
LIMITING DISTANCE: 2.09m (6.87ft)	LIMITING DISTANCE: 2.09m (6.87ft)	LIMITING DISTANCE: 2.09m (6.87ft)	LIMITING DISTANCE: 2.09m (6.87ft)	LIMITING DISTANCE: 2.09m (6.87ft)
ALLOWABLE OPENINGS: 45.0% (4.7m <sup>2</sup> /50.0sq ft)	ALLOWABLE OPENINGS: 24.9% (8.3m <sup>2</sup> /89.3sq ft)	ALLOWABLE OPENINGS: 27.2% (7.2m <sup>2</sup> /77.7sq ft)	ALLOWABLE OPENINGS: 21.2% (11.3m <sup>2</sup> /121.1sq ft)	ALLOWABLE OPENINGS: 29.8% (6.7m <sup>2</sup> /72.4sq ft)
PROPOSED OPENINGS: 23.8% (2.48m <sup>2</sup> /26.7sq ft)	PROPOSED OPENINGS: 23.9% (7.90m <sup>2</sup> /84.0sq ft)	PROPOSED OPENINGS: 22.1% (5.85m <sup>2</sup> /63.0sq ft)	PROPOSED OPENINGS: 13.9% (7.4m <sup>2</sup> /79.5sq ft)	PROPOSED OPENINGS: 12.9% (2.8m <sup>2</sup> /30.0sq ft)
FIRE RESISTANCE RATING PER 3.2.3.7: 45MIN	FIRE RESISTANCE RATING PER 3.2.3.7: 1HR	FIRE RESISTANCE RATING PER 3.2.3.7: 45MIN	FIRE RESISTANCE RATING PER 3.2.3.7: 1HR	FIRE RESISTANCE RATING PER 3.2.3.7: 45MIN
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# 4 WEST ELEVATION

1:100

# 5 LIMITING DISTANCE KEY PLAN

1:200

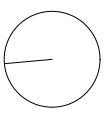
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02	ISSUED FOR REVIEW	11/03/2023
01	ISSUED FOR REZONING AND DEVELOPMENT PERMIT	09/15/2023
NO.	REVISION	MDJ

PROJECT NAME

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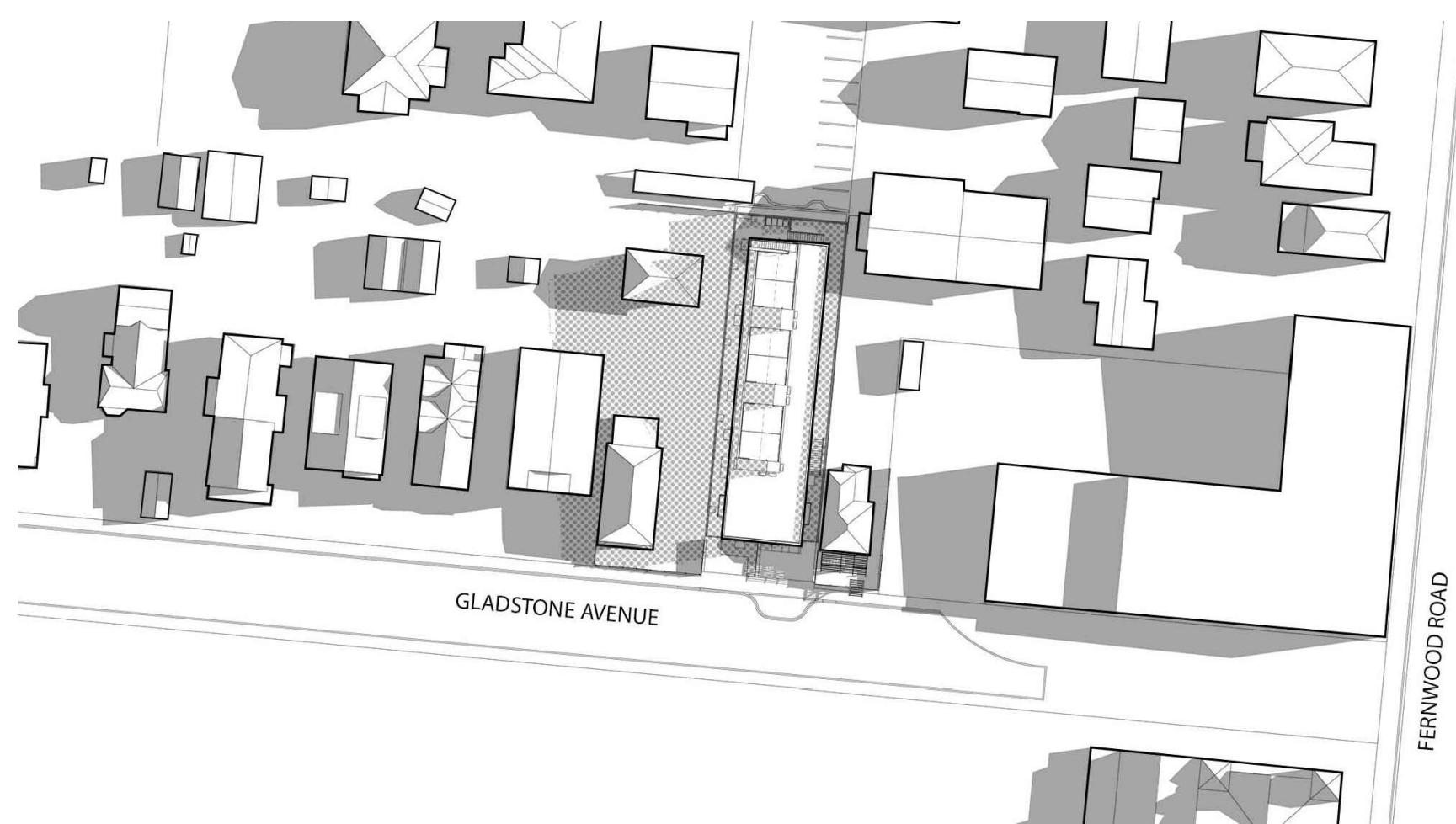
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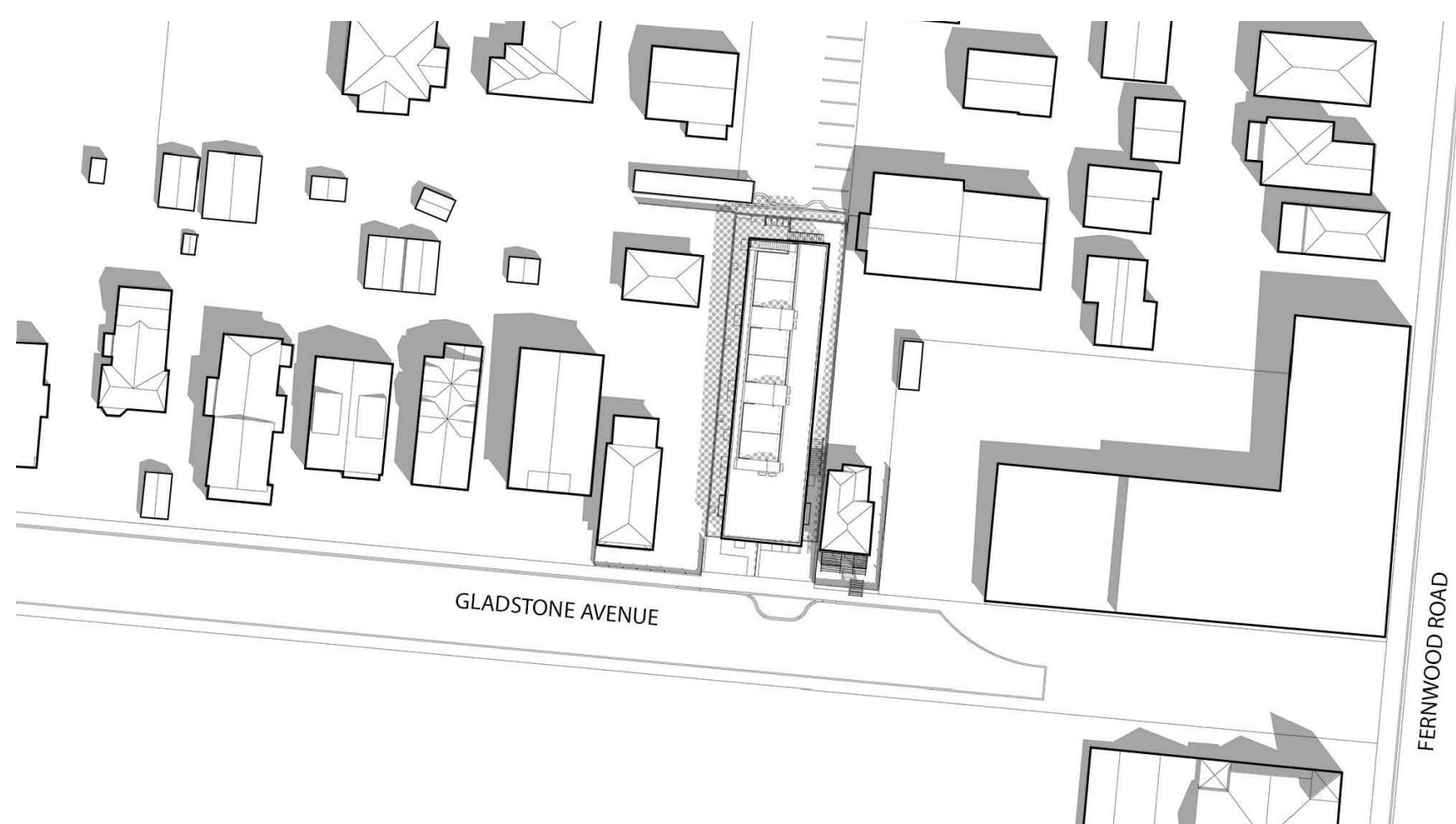
**LIMITING DISTANCE**

PROJECT NO:	2303	DRAWN BY:	KG
SCALE:	1:100	REVIEW BY:	CH

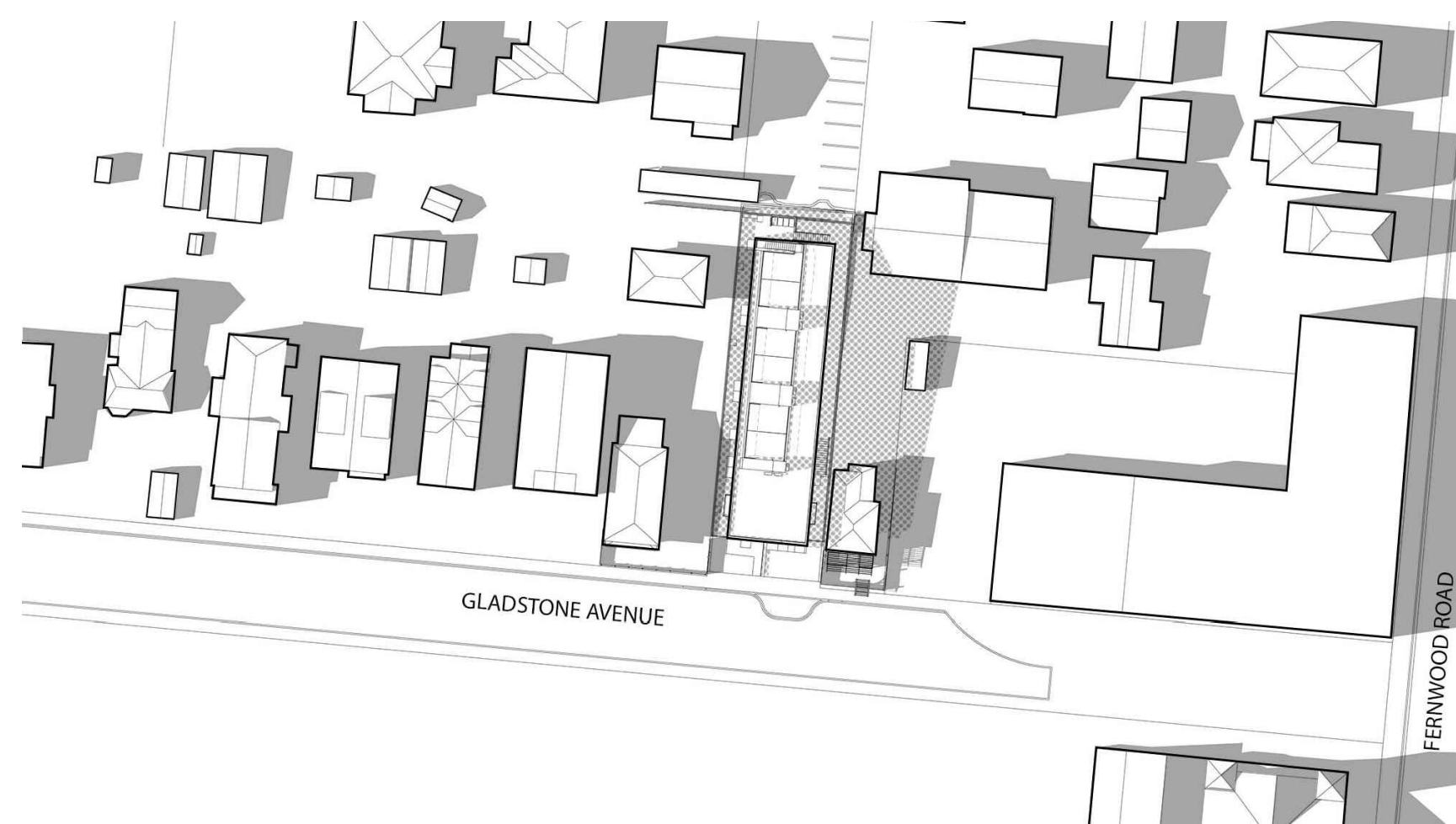
DRAWING NO: **A003**



JUNE 21 - 8:00AM



JUNE 21 - 12:00PM



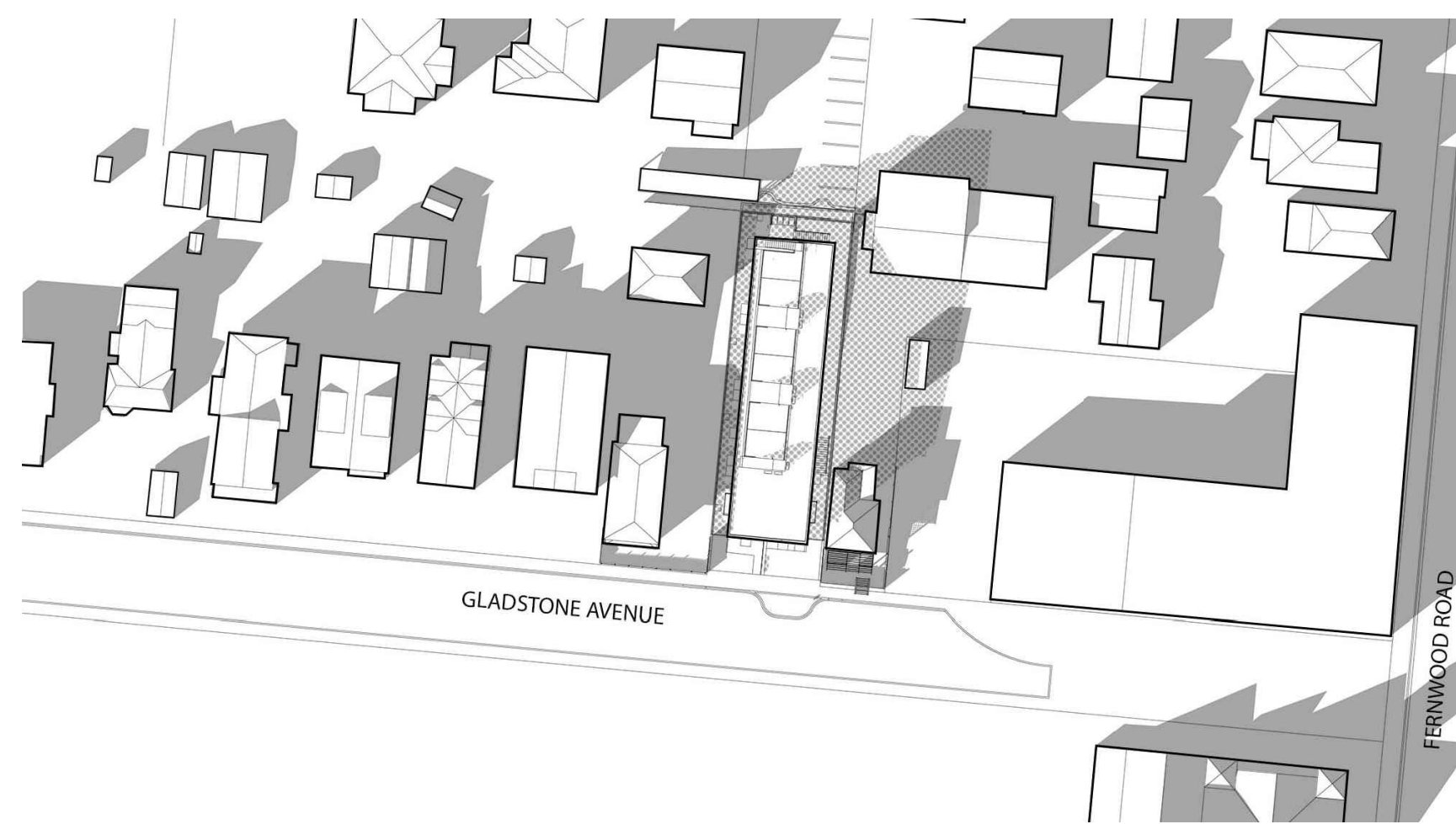
JUNE 21 - 5:00PM



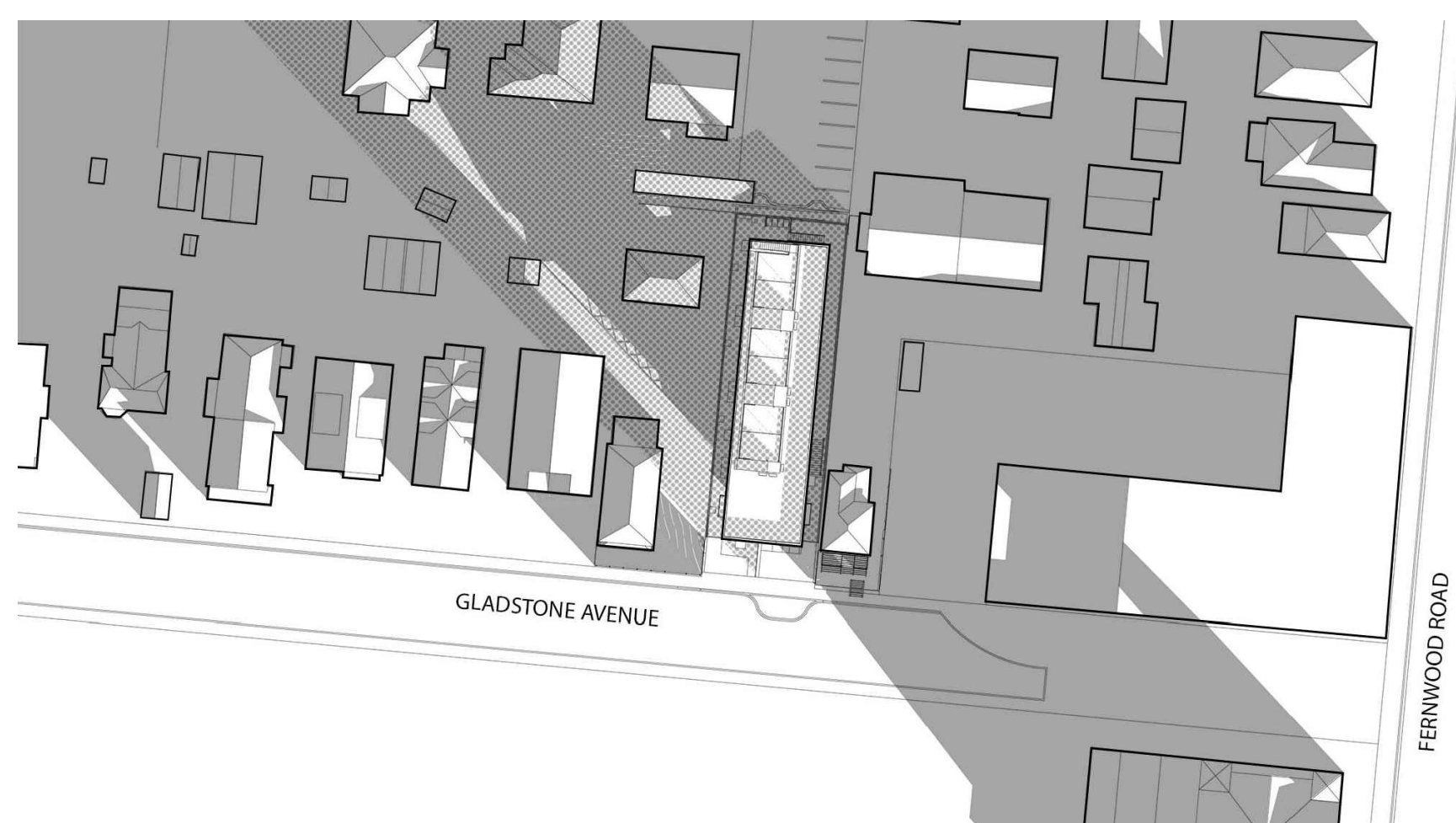
MARCH / SEPTEMBER 21 - 9:00AM



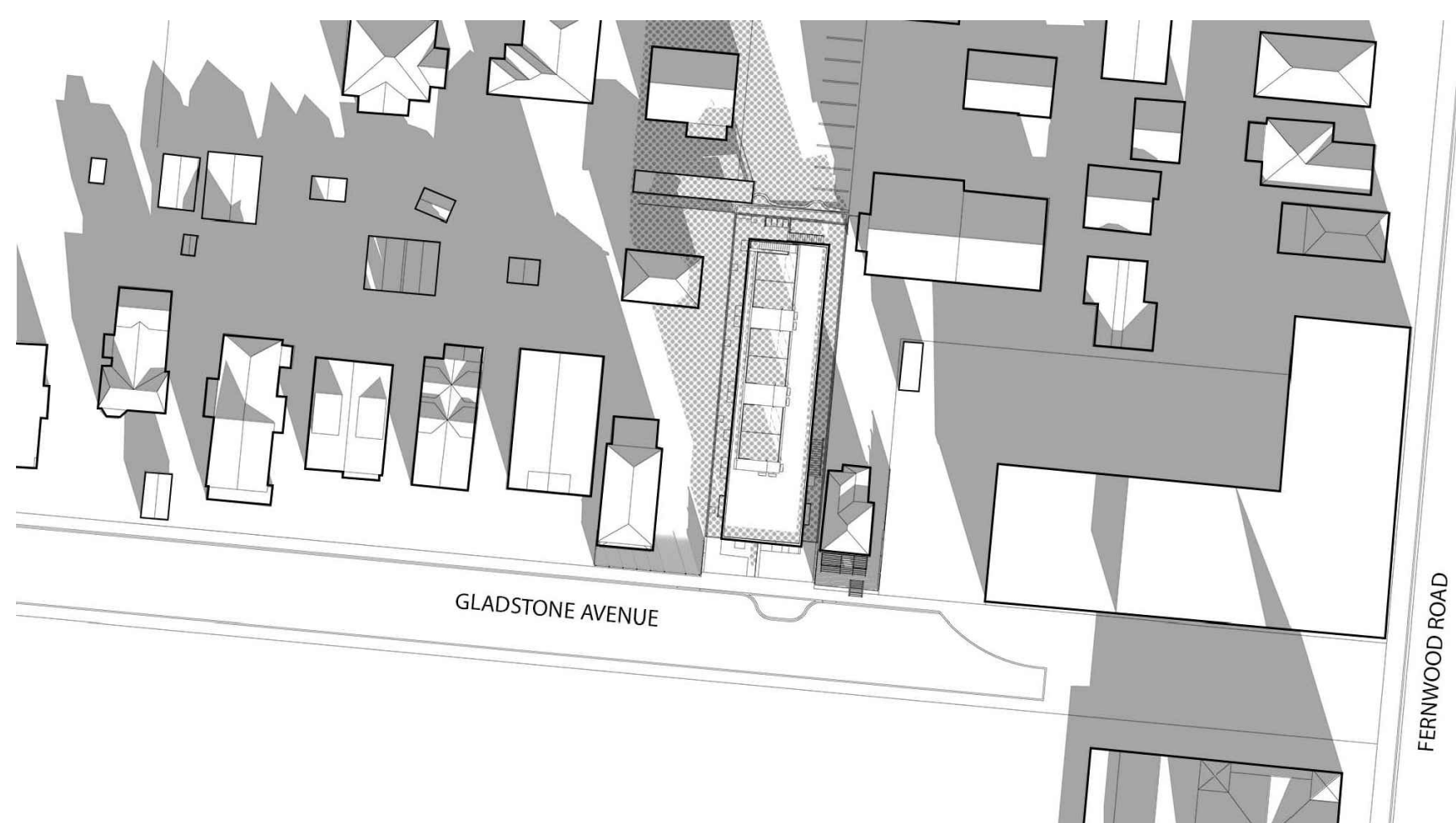
MARCH / SEPTEMBER 21 - 12:00PM



MARCH / SEPTEMBER 21 - 4:00PM



DECEMBER 21 - 10:00AM

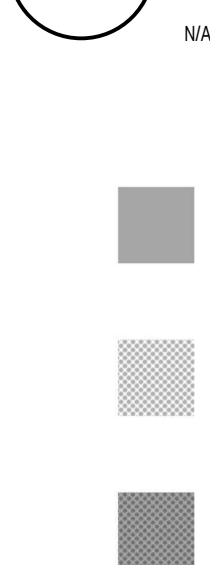


DECEMBER 21 - 12:00PM



DECEMBER 21 - 3:00PM

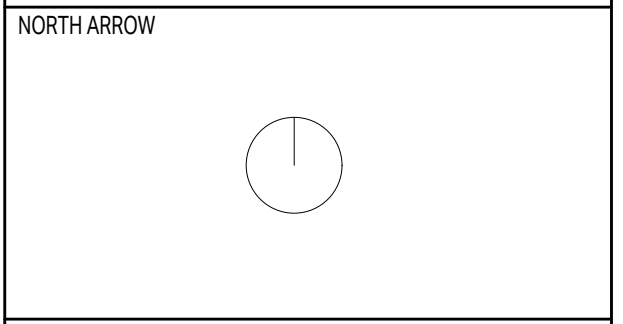
# 1 SHADOW STUDY



# 2 LEGEND

N/A

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**1276 GLADSTONE  
VICTORIA, BC**

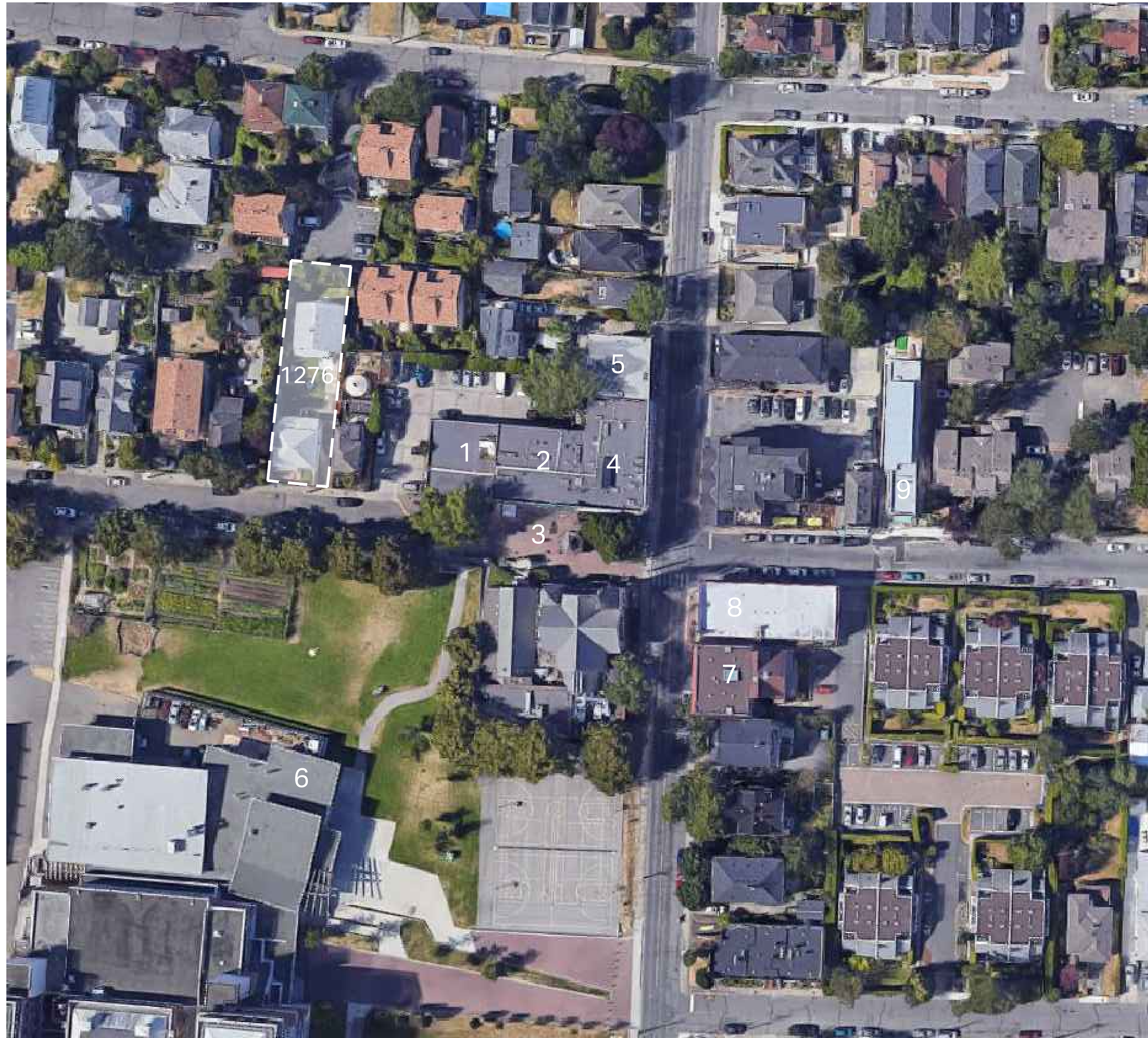
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DRAWING TITLE:  
**SHADOW STUDY**

PROJECT NO:	2303	DRAWN BY:	HG
SCALE:	N/A	REVIEW BY:	CH

DRAWING NO: **A005**



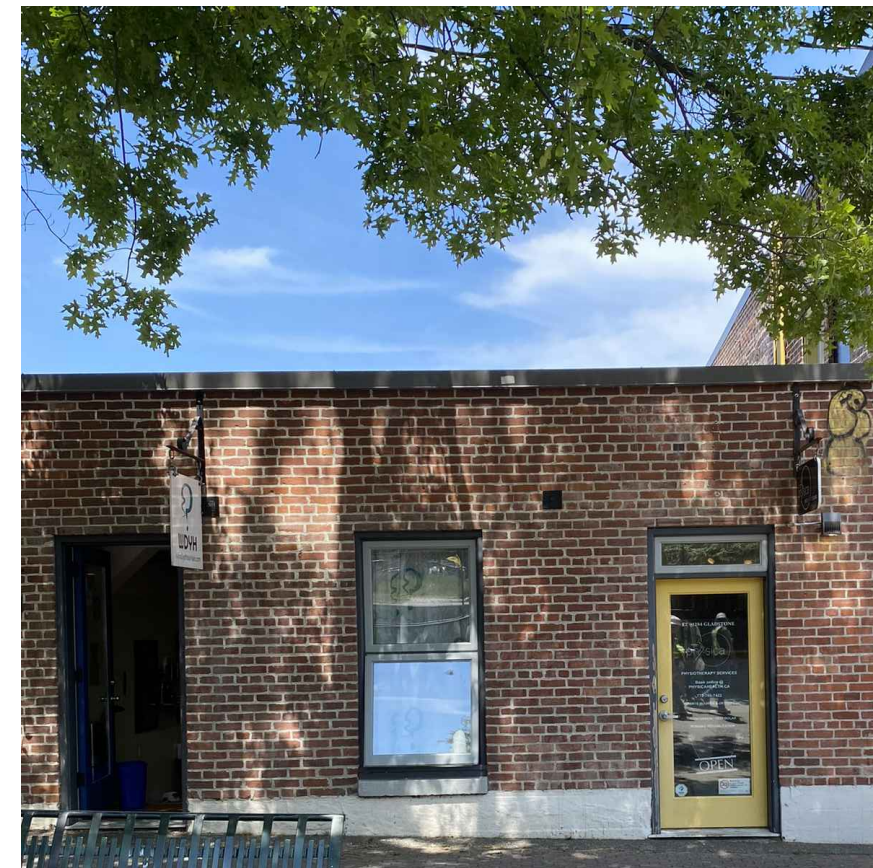
**1 CONTEXT PLAN**

N/A



**2 STREETSCAPE**

N/A



1



2



3



4



5



6



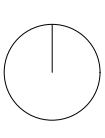
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NO.	REVISION	MDY

PROJECT NAME  
**1276 GLADSTONE  
VICTORIA, BC**

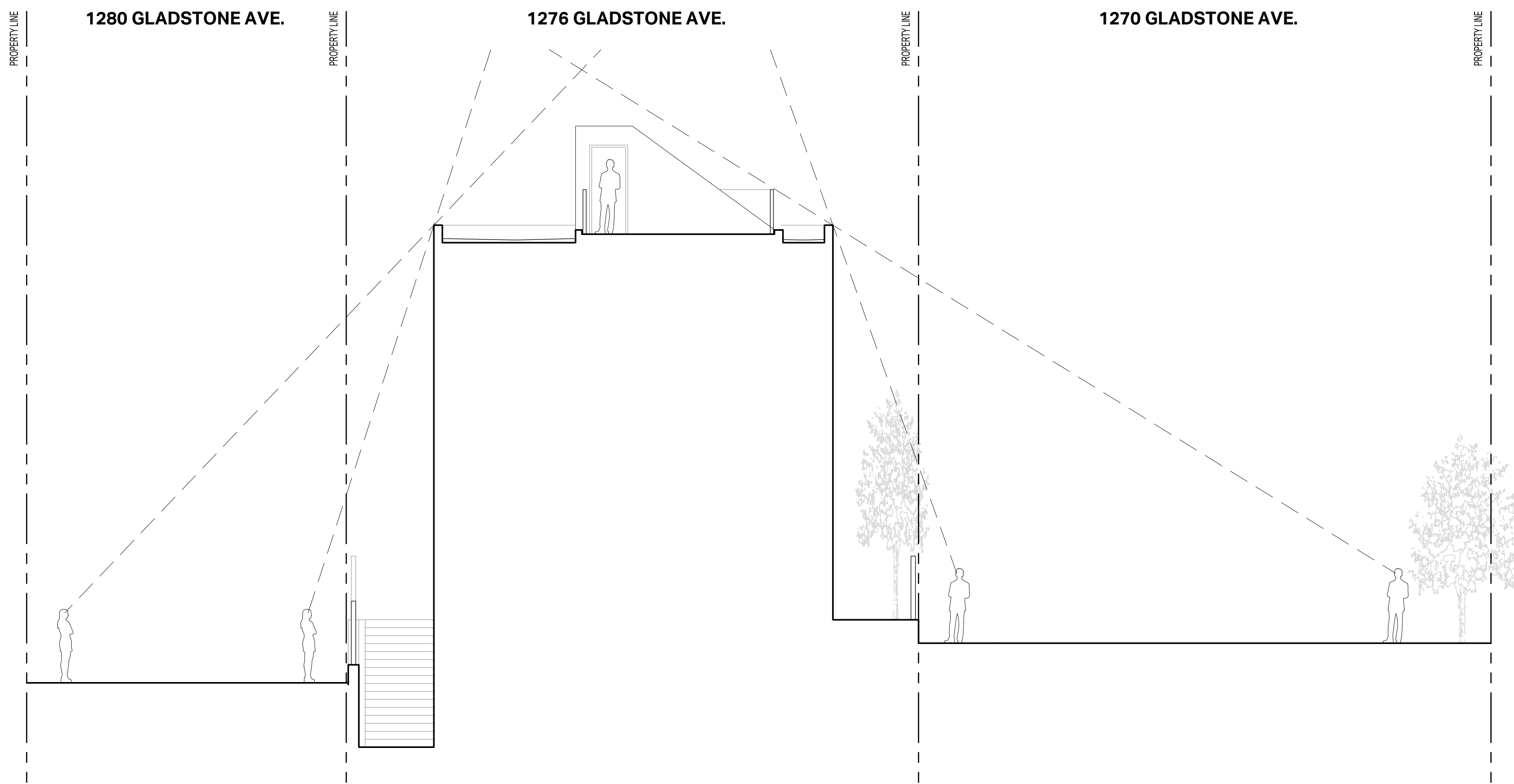
PROJECT ADDRESS:  
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VICTORIA, BC, V8T 1G6

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DRAWING TITLE:  
**CONTEXT PLAN  
& STREETSCAPE**

PROJECT NO:	2303	DRAWN BY:	HG
SCALE:	N/A	REVIEW BY:	CH

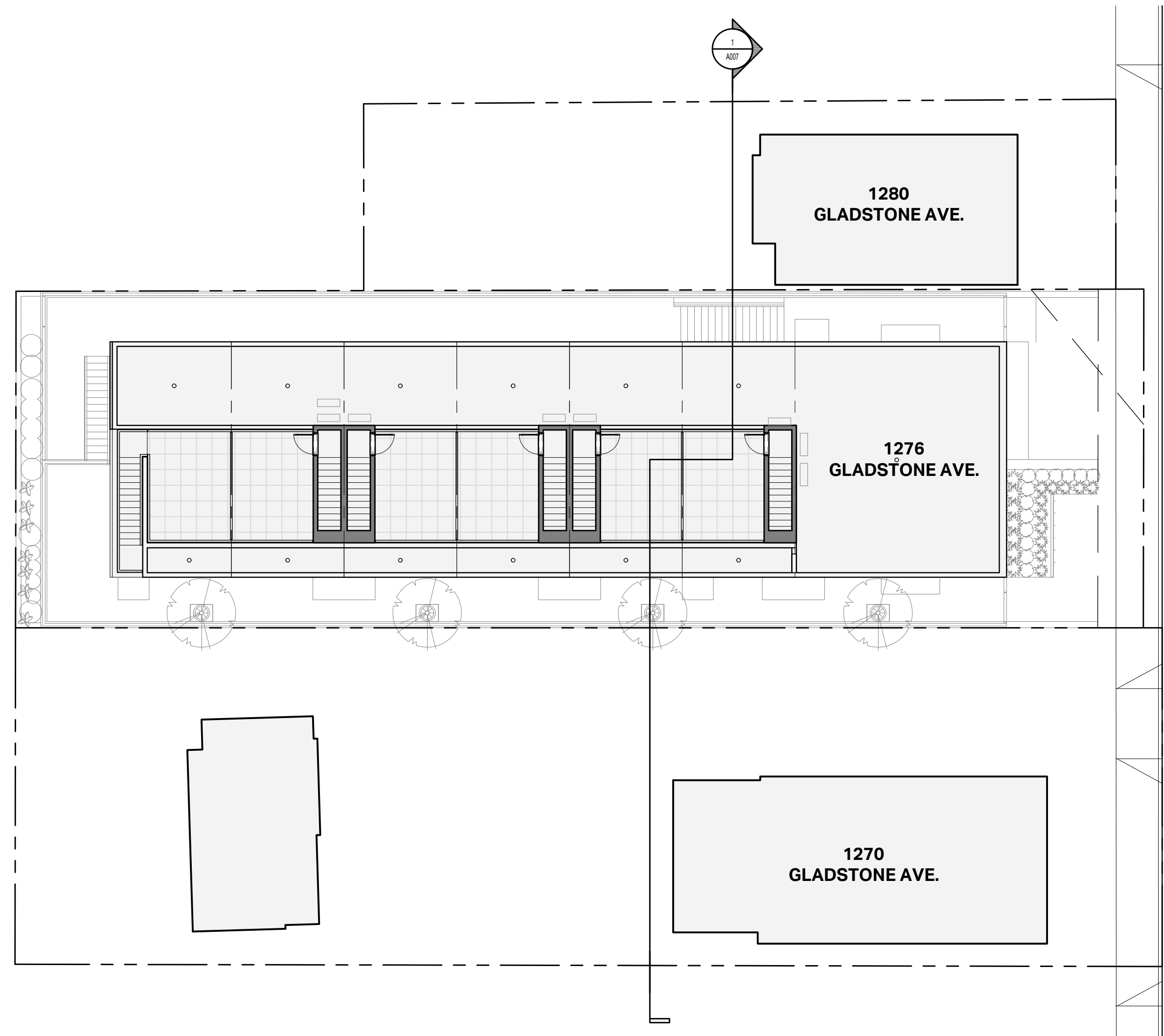
DRAWING NO: **A006**



**1 SIGHTLINE DIAGRAM**

2/A007

1:75



**2 SIGHTLINE DIAGRAM KEYPLAN**

2/A007

1:150

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02	ISSUED FOR REVIEW	11/03/2023
01	ISSUED FOR REZONING AND DEVELOPMENT PERMIT	09/15/2023

NO.	REVISION	MDY
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PROJECT NAME

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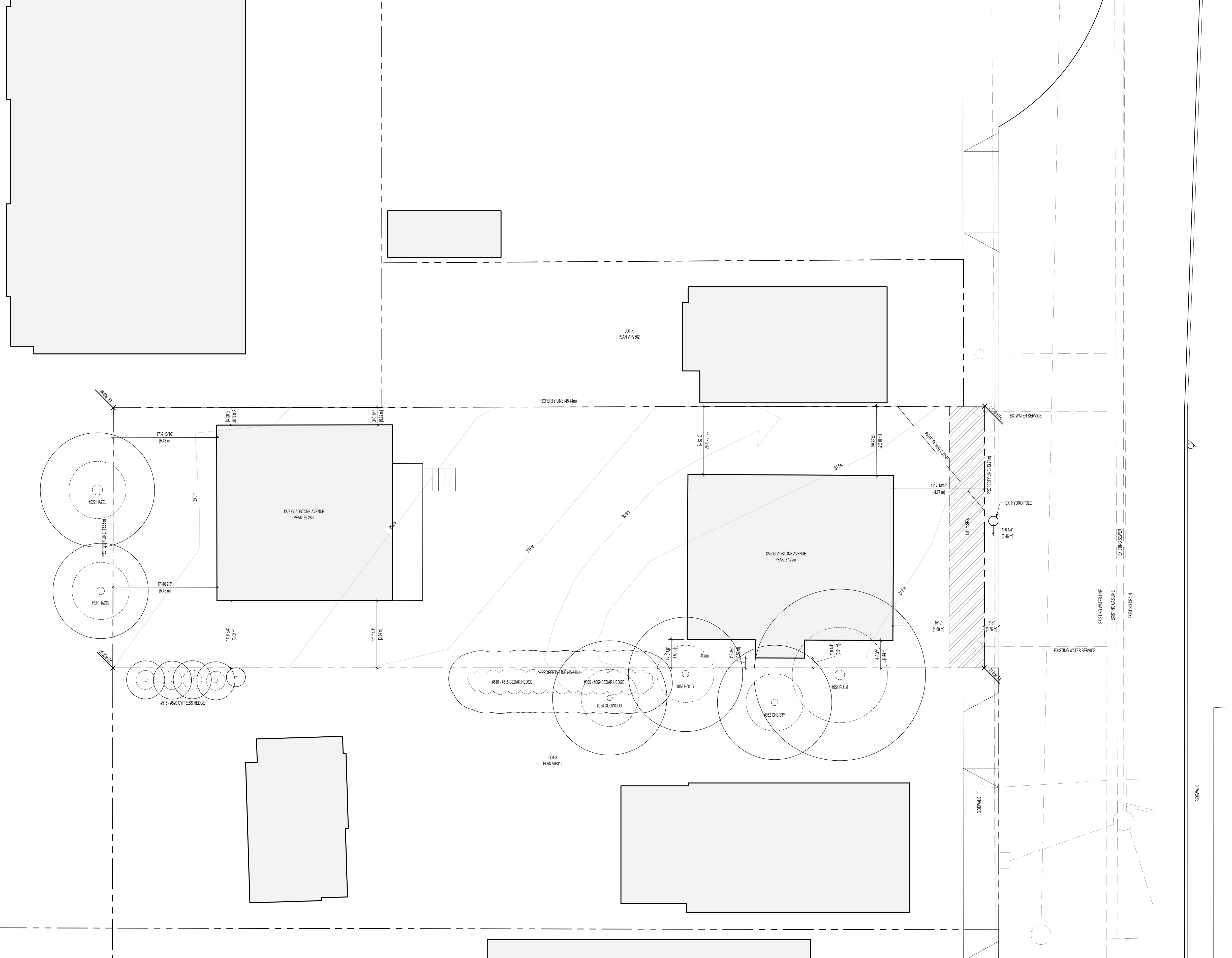
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**SIGHTLINE DIAGRAM**

PROJECT NO:	2303	DRAWN BY:	HG
SCALE:	1:75	REVIEW BY:	CH

DRAWING NO: **A007**





**1 EXISTING SITE PLAN**

1:100

**TREE LEGEND**

- EXISTING TREE TO BE RETAINED
- PROTECTED ROOT ZONE
- CANOPY SPREAD
- TREE TRUNK

NOTE: SEE ARBORIST REPORT AND LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION ON CRZ AND RETENTION MEASURES.



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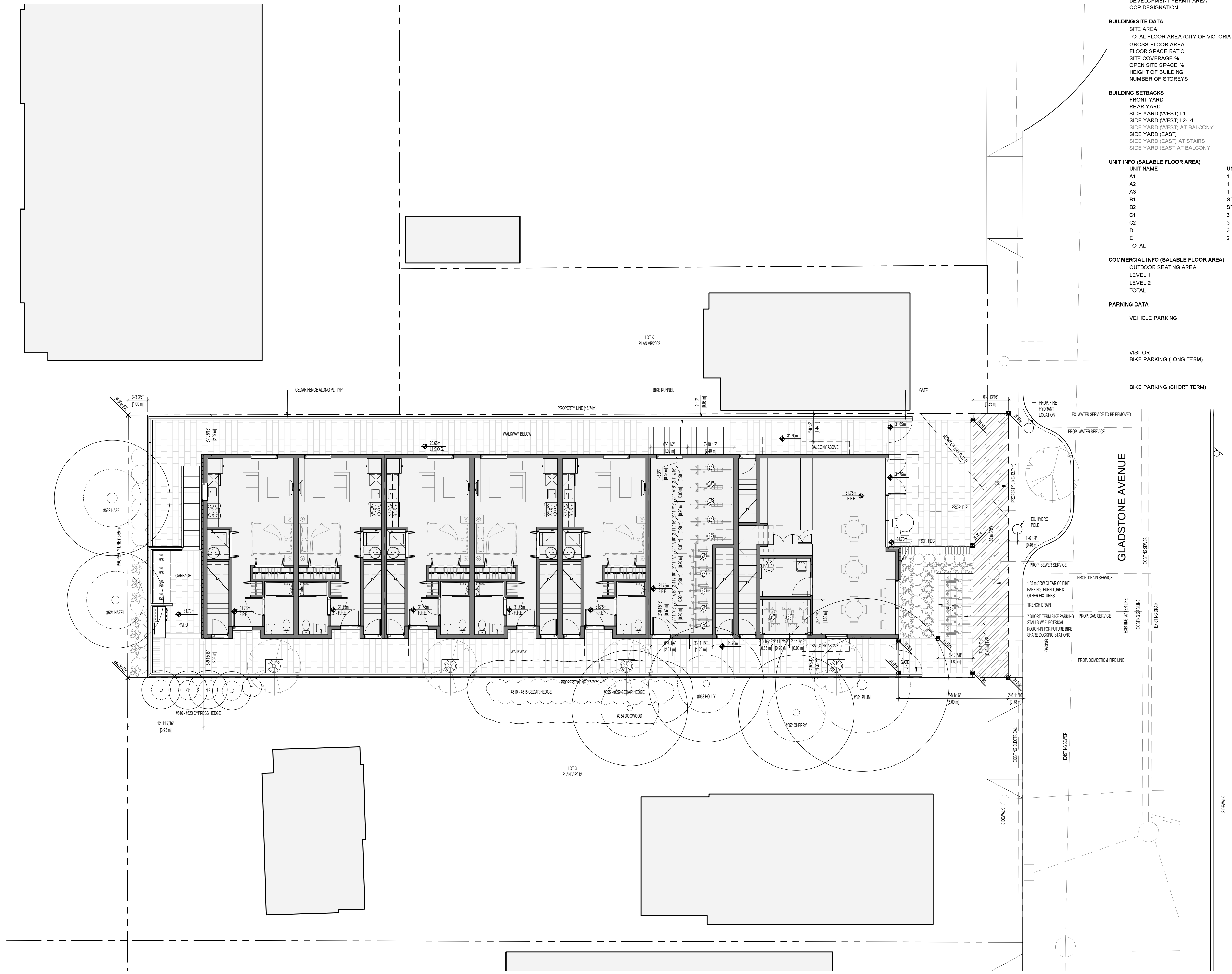
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**EXISTING SITE PLAN**

PROJECT NO:	2303	DRAWN BY:	HG
SCALE:	1:100	REVIEW BY:	CH
DRAWING NO:		A101	

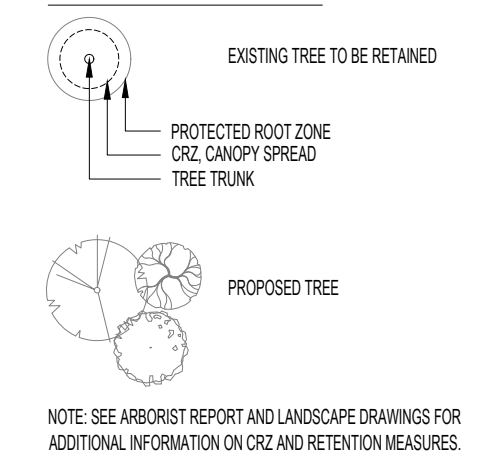


**PROJECT INFORMATION TABLE - 1276 GLADSTONE**

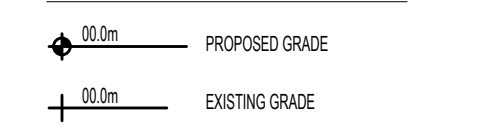
PR. # 2303  
DATE: 11-Dec-23

PROPERTY INFORMATION		1276 GLADSTONE AVE, VICTORIA BC				
PROJECT ADDRESS	1276 GLADSTONE AVE, VICTORIA BC					
LEGAL DESCRIPTION	LOT 2 PLAN VP312					
CURRENT ZONING	R-2-TWO SINGLE FAMILY DWELLINGS DISTRICT					
DEVELOPMENT PERMIT AREA	CPA 6B (ND) - SMALL URBAN VILLAGES HERITAGE					
OCP DESIGNATION	SMALL URBAN VILLAGE					
BUILDING/SITE DATA		ALLOWED/REQUIRED	PROPOSED	VARIANCE		
SITE AREA	625.4 m <sup>2</sup> (6,727.4 sq.ft)	625.4 m <sup>2</sup>	6,742 sq.ft	N/A		
TOTAL FLOOR AREA (CITY OF VICTORIA DEF.)	132 m <sup>2</sup> (1,420.8 sq.ft)	949.5 m <sup>2</sup>	10,220 sq.ft	817.5 m <sup>2</sup>		
GROSS FLOOR AREA	N/A	1414.0 m <sup>2</sup>	15,220 sq.ft	N/A		
FLOOR SPACE RATIO	0.3	1.52		1.22		
SITE COVERAGE %	40%	61%		21%		
OPEN SITE SPACE %	N/A	42%		N/A		
HEIGHT OF BUILDING	5.5 m (18.0 ft)	13.57 m (44.5 ft)		8.07 m		
NUMBER OF STOREYS	1	4		3		
BUILDING SETBACKS		ALLOWED/REQUIRED	PROPOSED	VARIANCE		
FRONT YARD	4.7 m (15.4 ft)	5.69 m (18.7 ft)		N/A		
REAR YARD	5.4 m (17.7 ft)	3.95 m (13.0 ft)		1.45 m		
SIDE YARD (WEST) L1	0.5 m (1.6 ft)	0.00 m (0.0 ft)		0.50 m		
SIDE YARD (WEST) L2-L4	0.5 m (1.6 ft)	2.06 m (6.8 ft)		N/A		
SIDE YARD (WEST) AT BALCONY	0.5 m (1.6 ft)	1.36 m (4.5 ft)		N/A		
SIDE YARD (EAST)	0.9 m (3.0 ft)	2.09 m (6.9 ft)		N/A		
SIDE YARD (EAST) AT STAIRS	0.9 m (3.0 ft)	0.06 m (0.2 ft)		0.84 m		
SIDE YARD (EAST) AT BALCONY	0.9 m (3.0 ft)	1.44 m (4.7 ft)		N/A		
UNIT INFO (SALABLE FLOOR AREA)		UNIT NAME	UNIT TYPE	AREA	COUNT	TOTAL AREA
A1	1 BDR	42.52 m <sup>2</sup> (457.7 sq.ft)	1	43 m <sup>2</sup>	457.7 sq.ft	
A2	1 BDR	42.27 m <sup>2</sup> (455.0 sq.ft)	3	127 m <sup>2</sup>	1,365.1 sq.ft	
A3	1 BDR	40.54 m <sup>2</sup> (436.3 sq.ft)	1	41 m <sup>2</sup>	436.3 sq.ft	
B1	STUDIO	40.23 m <sup>2</sup> (433.0 sq.ft)	1	40 m <sup>2</sup>	433.0 sq.ft	
B2	STUDIO	38.32 m <sup>2</sup> (412.5 sq.ft)	4	153 m <sup>2</sup>	1,650.0 sq.ft	
C1	3 BDR	93.60 m <sup>2</sup> (1,007.6 sq.ft)	1	94 m <sup>2</sup>	1,007.6 sq.ft	
C2	3 BDR	92.89 m <sup>2</sup> (999.9 sq.ft)	2	186 m <sup>2</sup>	1,999.6 sq.ft	
D	3 BDR	93.62 m <sup>2</sup> (1,007.8 sq.ft)	3	281 m <sup>2</sup>	3,023.3 sq.ft	
E	2 BDR	78.73 m <sup>2</sup> (852.2 sq.ft)	2	159 m <sup>2</sup>	1,716.3 sq.ft	
TOTAL			18	1,123 m <sup>2</sup>	12,088.9 sq.ft	
COMMERCIAL INFO (SALABLE FLOOR AREA)		10.63 m <sup>2</sup> (114.4 sq.ft)				
OUTDOOR SEATING AREA		75.45 m <sup>2</sup> (812.2 sq.ft)				
LEVEL 1		56.80 m <sup>2</sup> (611.4 sq.ft)				
LEVEL 2		132.26 m <sup>2</sup> (1,538.0 sq.ft)				
PARKING DATA		REQUIRED	PROPOSED	VARIANCE		
VEHICLE PARKING		1.3 PER UNIT > 70m <sup>2</sup> 10				
		0.9 PER UNIT > 45m <sup>2</sup> 8				
		0.75 PER UNIT < 45m <sup>2</sup> 8				
		PER 50m <sup>2</sup> COMM. 3				
		TOTAL 21	0	-21		
VISITOR		0.1 PER UNIT 2	0			
BIKE PARKING (LONG TERM)		1.25 PER UNIT > 45m <sup>2</sup> 10				
		PER UNIT < 45m <sup>2</sup> 10				
		PER 400m <sup>2</sup> COMM. 0				
		TOTAL 20	34	N/A		
BIKE PARKING (SHORT TERM)		6 PER BUILDING 6				
		1 PER 100m <sup>2</sup> COMM. 1				
		TOTAL 7	7	N/A		

**TREE LEGEND**



**GENERAL LEGEND**



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03	ISSUED FOR REVIEW	11/20/2023
02	ISSUED FOR REVIEW	11/03/2023
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PROJECT NAME

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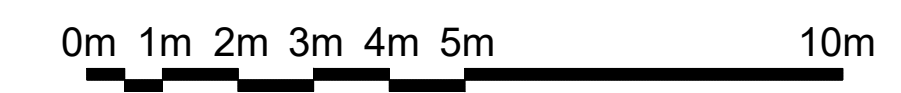
**PROPOSED SITE PLAN**

PROJECT NO:	2303	DRAWN BY:	KG
SCALE:	1:100	REVIEW BY:	CH

DRAWING NO: **A102**

**1 PROPOSED SITE PLAN**

1:100



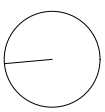
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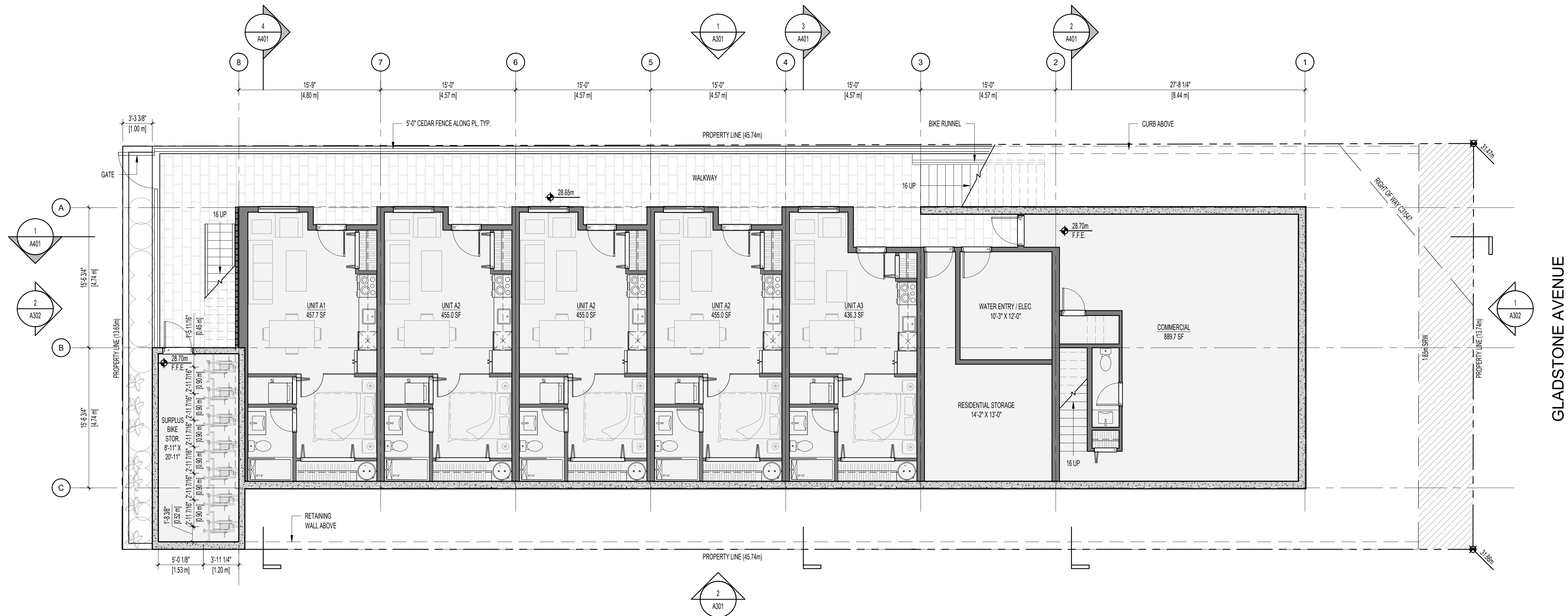
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**LEVEL 1**

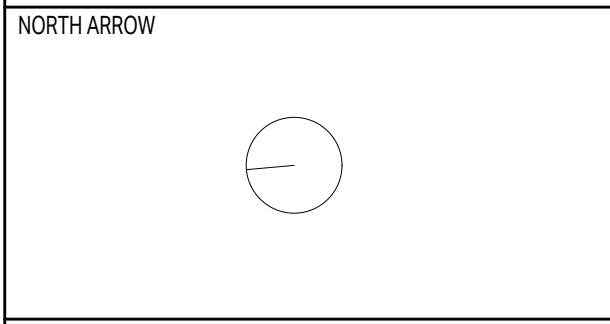
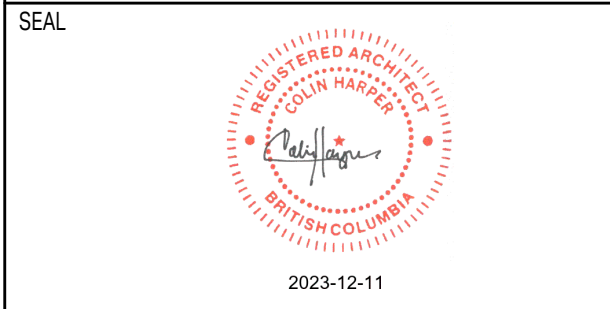
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SCALE:	1/75	REVIEW BY:	CH

DRAWING NO: **A202**



**1 LEVEL 1 PLAN**

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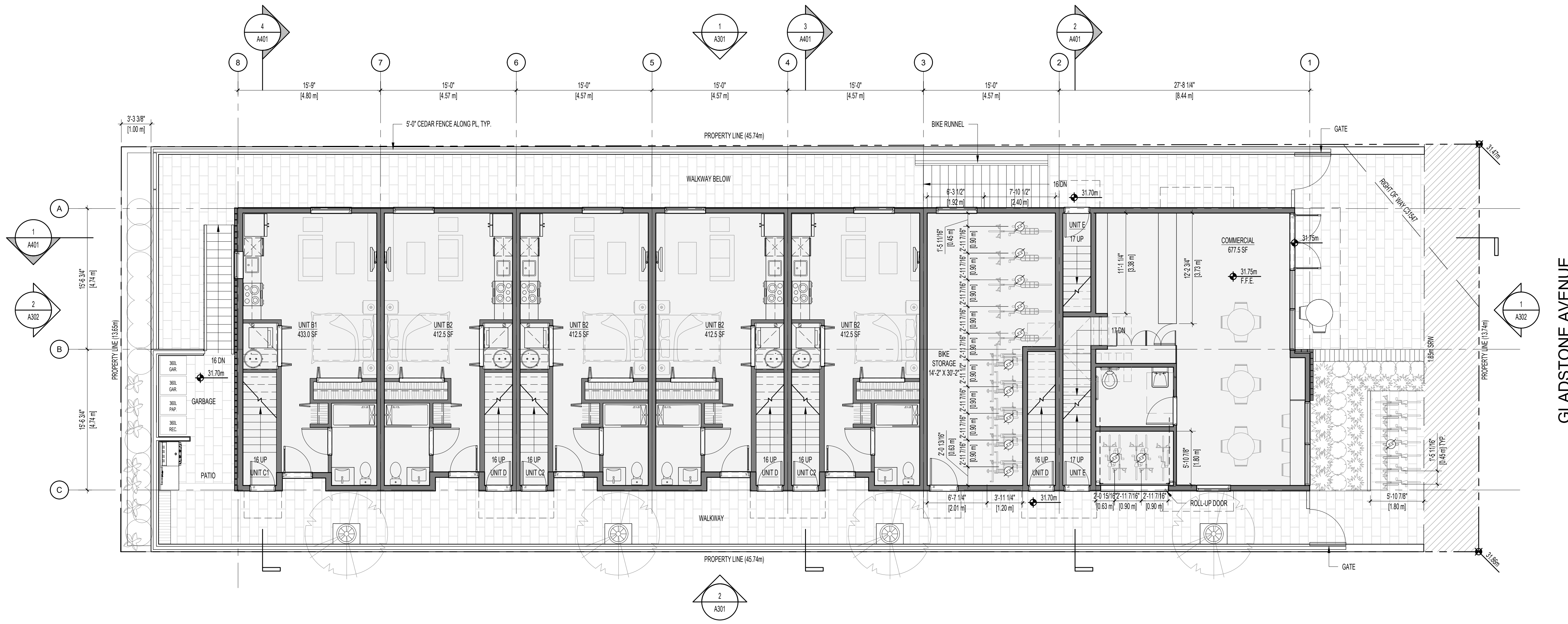
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DRAWING TITLE <b>LEVEL 2</b>	
PROJECT NO: 2303	DRAWN BY: HG
SCALE: 1/75	REVIEW BY: CH
DRAWING NO: <b>A203</b>	



**1 LEVEL 2 PLAN**

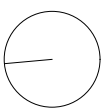
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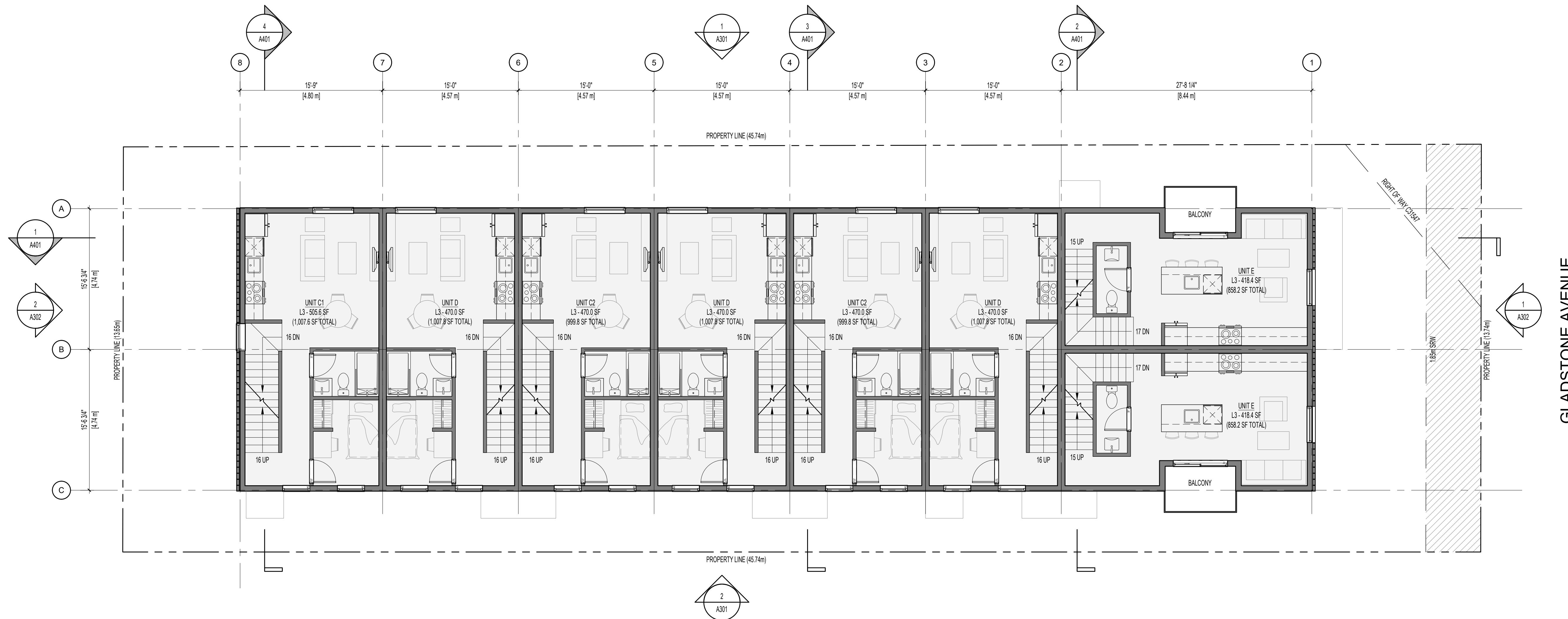
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DRAWING TITLE:

**LEVEL 3**

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SCALE:	1/75	REVIEW BY:	CH

DRAWING NO: **A204**



**1 LEVEL 3 PLAN**

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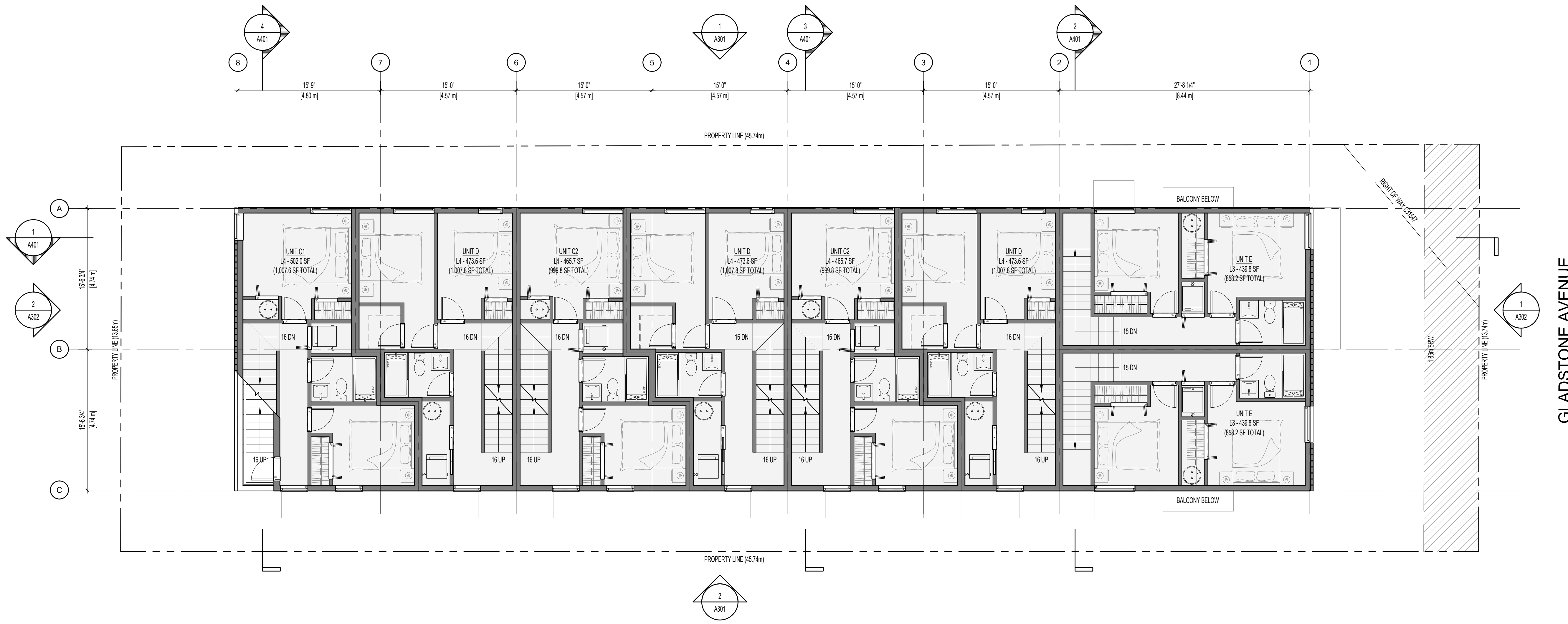
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**LEVEL 4**

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DRAWING NO: **A205**



**1 LEVEL 4 PLAN**

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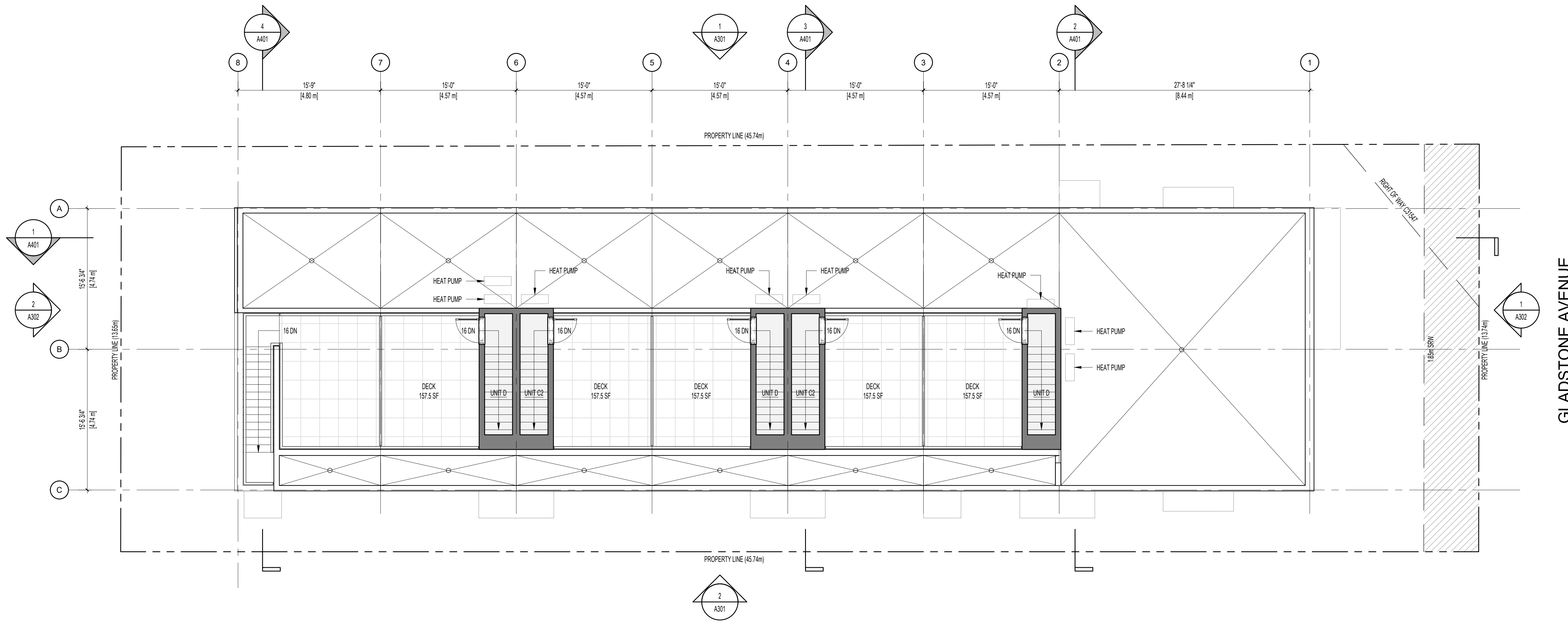
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DRAWING TITLE

**ROOF PLAN**

PROJECT NO:	2303	DRAWN BY:	HG
SCALE:	1/75	REVIEW BY:	CH
DRAWING NO:		<b>A206</b>	



GLADSTONE AVENUE

**1 ROOF PLAN**



**1 EAST ELEVATION**

1/75



**2 WEST ELEVATION**

1/75

**LEGEND**

MATERIAL	FINISH
1. RECLAIMED BRICK	NA
2. VERTICAL STACK BOND BRICK	NA
3. ARCHITECTURAL CONCRETE	CLEAR SEAL
4. FIBRE CEMENT BOARDS & BATTEN SIDING	BLACK FACTORY FINISH
5. BRONZE METAL FLASHING	BLACK FACTORY FINISH
6. STOREFRONT GLAZING	BLACK FACTORY FINISH
7. ALUMINUM FLANGE WINDOW	BLACK FACTORY FINISH
8. WALL MOUNTED SCENE LIGHTING	BLACK FACTORY FINISH
9. WOOD DOOR	BLACK FACTORY FINISH
10. YELLOW CEDAR TAG SIDING	CLEAR STAIN
11. GRADE PRIVACY SCREEN	NA
12. METAL POCKET GUARDRAIL	BLACK POWDER COAT
13. STEEL PLATE CANOPY	BLACK POWDER COAT
14. METAL SIGNAGE	BLACK POWDER COAT
15. FABRICATED METAL STAR	BLACK POWDER COAT
16. STEEL URACK	BLACK POWDER COAT
17. WOOD FENCE	BLACK PAINT
18. PAVERS	GREY
19. LANDSCAPING	PER LANDSCAPE

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- ELEVATIONS SHOWN AT BUILDING FACE.

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03	RESUBMITTED FOR REZONING AND DEVELOPMENT PERMIT	12/11/2023
02	ISSUED FOR REVIEW	11/03/2023
01	ISSUED FOR REZONING AND DEVELOPMENT PERMIT	09/15/2023

PROJECT NAME  
**1276 GLADSTONE  
VICTORIA, BC**

PROJECT ADDRESS:  
**1276 GLADSTONE AVE.  
VICTORIA, BC, V8T 1G6**



302-666 Cook Street, Victoria, BC, V8V 3Y7  
778-584-0582 | info@charch.ca | charch.ca

**ELEVATIONS**

PROJECT NO:	2303	DRAWN BY:	HG
SCALE:	1/75	REVIEW BY:	CH
DRAWING NO:		<b>A301</b>	





**1 NORTH ELEVATION**

1:75



**2 SOUTH ELEVATION**

1:75

LEGEND		FINISH
1.	RECLAIMED BRICK	NA
2.	VERTICAL STACK BOND BRICK	NA
3.	ARCHITECTURAL CONCRETE	CLEAR SEAL
4.	FIBRE CEMENT SIDING & BATTEN SIDING	BLACK FACTORY FINISH
5.	BROKE METAL FLASHING	BLACK FACTORY FINISH
6.	STOREFRONT GLAZING	BLACK FACTORY FINISH
7.	ALUMINUM FLANGE WINDOW	BLACK FACTORY FINISH
8.	WALL MOUNTED SCONCE LIGHTING	BLACK FACTORY FINISH
9.	WOOD DOOR	BLACK FACTORY FINISH
10.	YELLOW CEDAR TAG SIDING	CLEAR STAIN
11.	GRADE PRIVACY SCREEN	NA
12.	METAL POCKET GUARDRAIL	BLACK POWDER COAT
13.	STEEL PLATE CANOPY	BLACK POWDER COAT
14.	METAL SIGNAGE	BLACK POWDER COAT
15.	FABRICATED METAL STAR	BLACK POWDER COAT
16.	STEEL URNACK	BLACK POWDER COAT
17.	WOOD FENCE	BLACK PAINT
18.	PAVERS	GREY
19.	LANDSCAPING	PER LANDSCAPE

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2023-12-11

NORTH ARROW

NOTES

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- ELEVATIONS SHOWN AT BUILDING FACE.

OWNER/CLIENT: TONNY KIPTOO  
1262 GLADSTONE AVE.  
VICTORIA, BC, V8T 1G6

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PROJECT NAME  
**1276 GLADSTONE VICTORIA, BC**

PROJECT ADDRESS:  
**1276 GLADSTONE AVE.  
VICTORIA, BC, V8T 1G6**

**CHA**  
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DRAWING TITLE:  
**ELEVATIONS**

PROJECT NO:	2303	DRAWN BY:	HG
SCALE:	1:75	REVIEW BY:	CH
DRAWING NO:		<b>A302</b>	

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VICTORIA, BC, V8T 1G6

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NO.	REVISION	MDY

**1276 GLADSTONE  
VICTORIA, BC**

PROJECT ADDRESS:  
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VICTORIA, BC, V8T 1G6**



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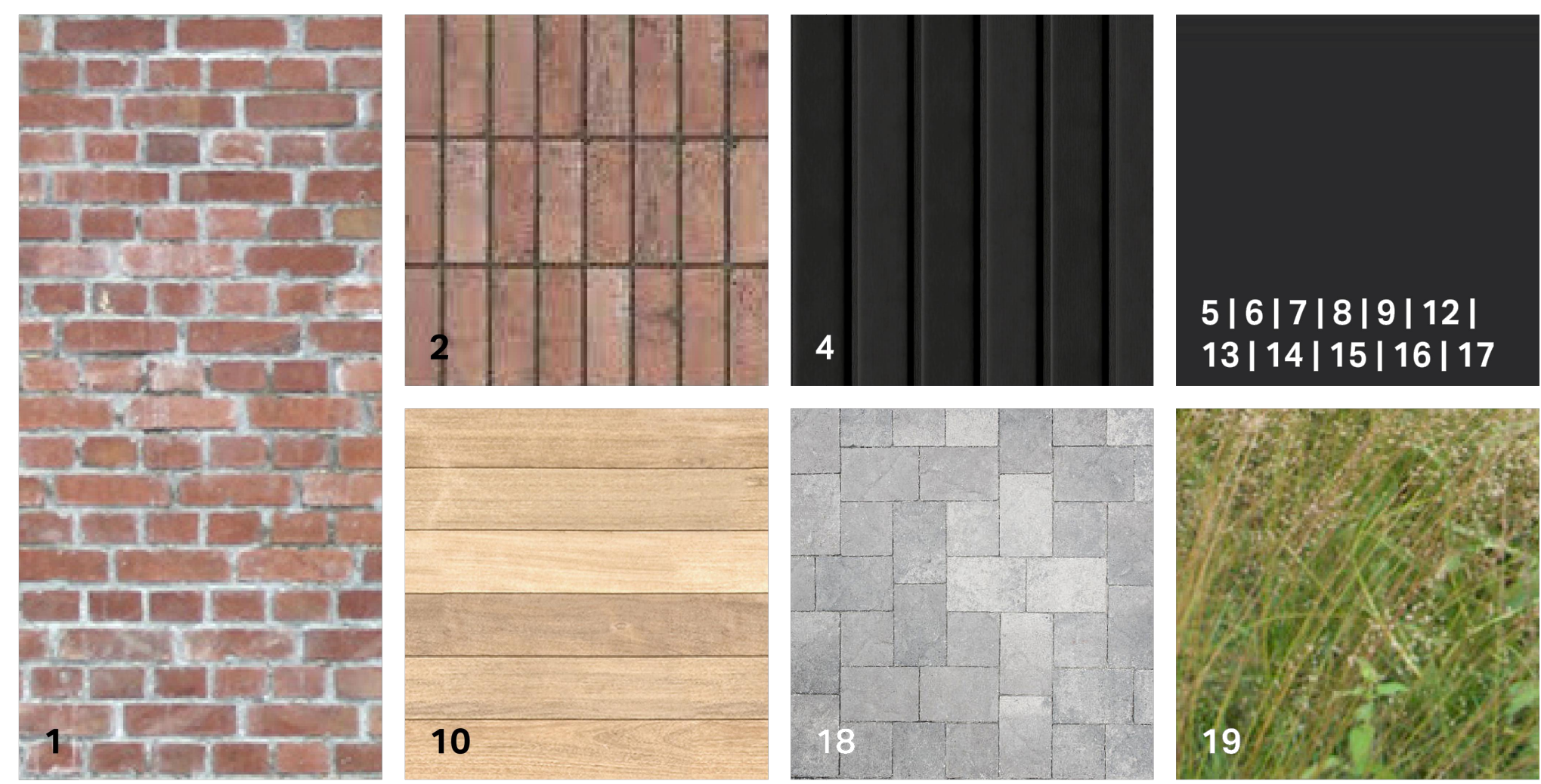
**MATERIAL BOARD**

PROJECT NO:	2303	DRAWN BY:	HG
SCALE:	N/A	REVIEW BY:	CH
DRAWING NO:		<b>A303</b>	



**1 MATERIAL KEY**

N/A



**LEGEND**

MATERIAL	FINISH
1. RECLAIMED BRICK	N/A
2. VERTICAL STACK BOND BRICK	N/A
3. ARCHITECTURAL CONCRETE	CLEAR SEAL
4. FIBRE CEMENT BOARD & BATTEN SIDING	BLACK FACTORY FINISH
5. BRAKE METAL FLASHING	BLACK FACTORY FINISH
6. STOREFRONT GLAZING	BLACK FACTORY FINISH
7. ALUMINUM FLANGE WINDOW	BLACK FACTORY FINISH
8. WALL MOUNTED SCONCE LIGHTING	BLACK FACTORY FINISH
9. WOOD DOOR	BLACK FACTORY FINISH
10. YELLOW CEDAR T&G SIDING	CLEAR STAIN
11. OPAQUE PRIVACY SCREEN	N/A
12. METAL PICKET GUARDRAIL	BLACK POWDER COAT
13. STEEL PLATE CANOPY	BLACK POWDER COAT
14. METAL SIGNAGE	BLACK POWDER COAT
15. FABRICATED METAL STAR	BLACK POWDER COAT
16. STEEL LARK	BLACK POWDER COAT
17. WOOD FENCE	BLACK PAINT
18. PAVERS	GREY
19. LANDSCAPING	PER LANDSCAPE

**2 MATERIAL BOARD**

N/A



**1** SOUTHWEST CORNER

N/A



**2** FRONT ELEVATION

N/A



**3** SOUTHEAST CORNER

N/A



**4** REAR YARD ELEVATION

N/A

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SEAL



2023-12-11

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VICTORIA, BC, V8T 1G6

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NO.	REVISION	MDY

PROJECT NAME

**1276 GLADSTONE  
VICTORIA, BC**

PROJECT ADDRESS:  
**1276 GLADSTONE AVE.  
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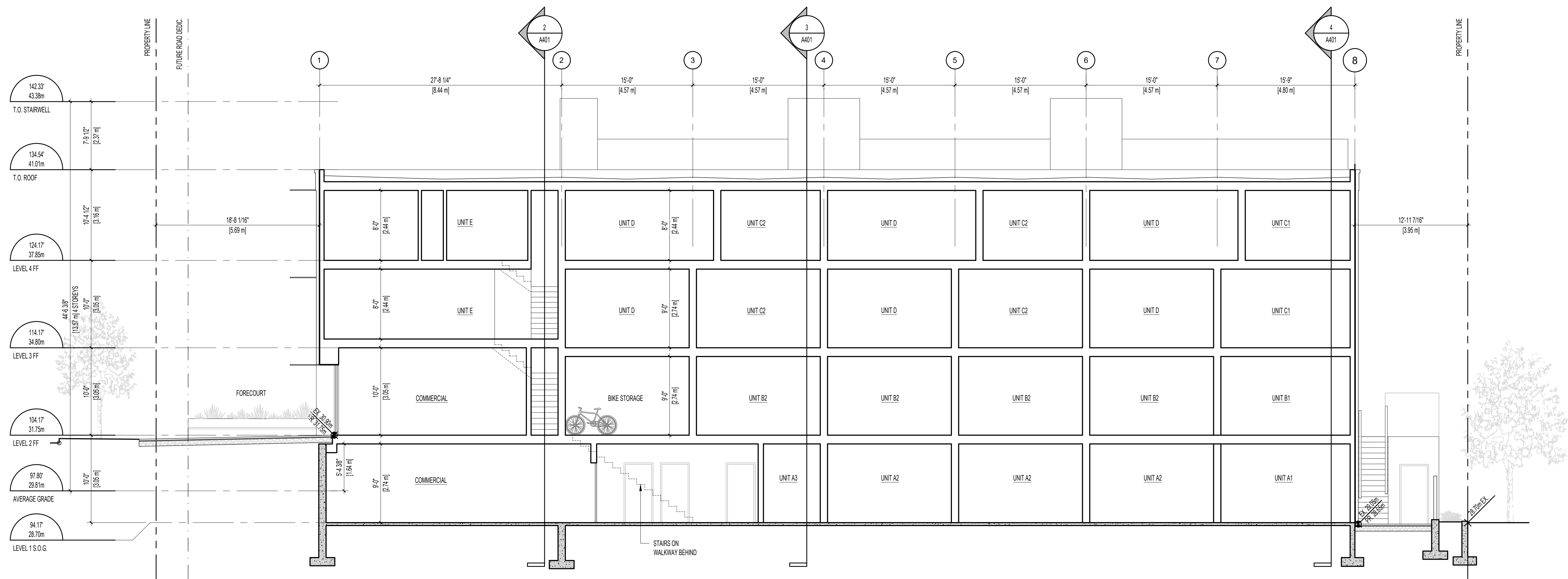
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DRAWING TITLE:

**RENDERINGS**

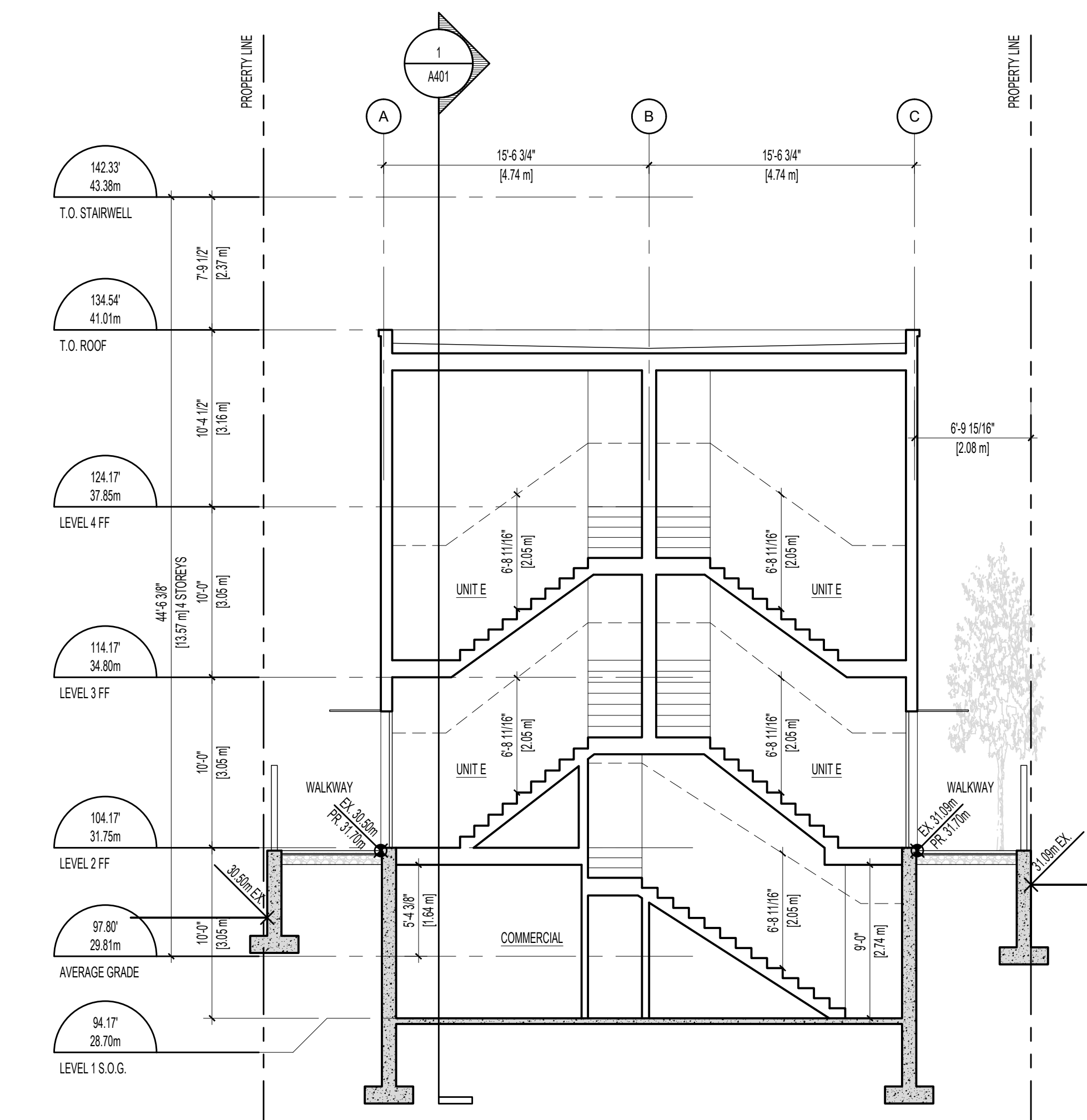
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SCALE:	N/A	REVIEW BY:	CH

DRAWING NO: **A304**



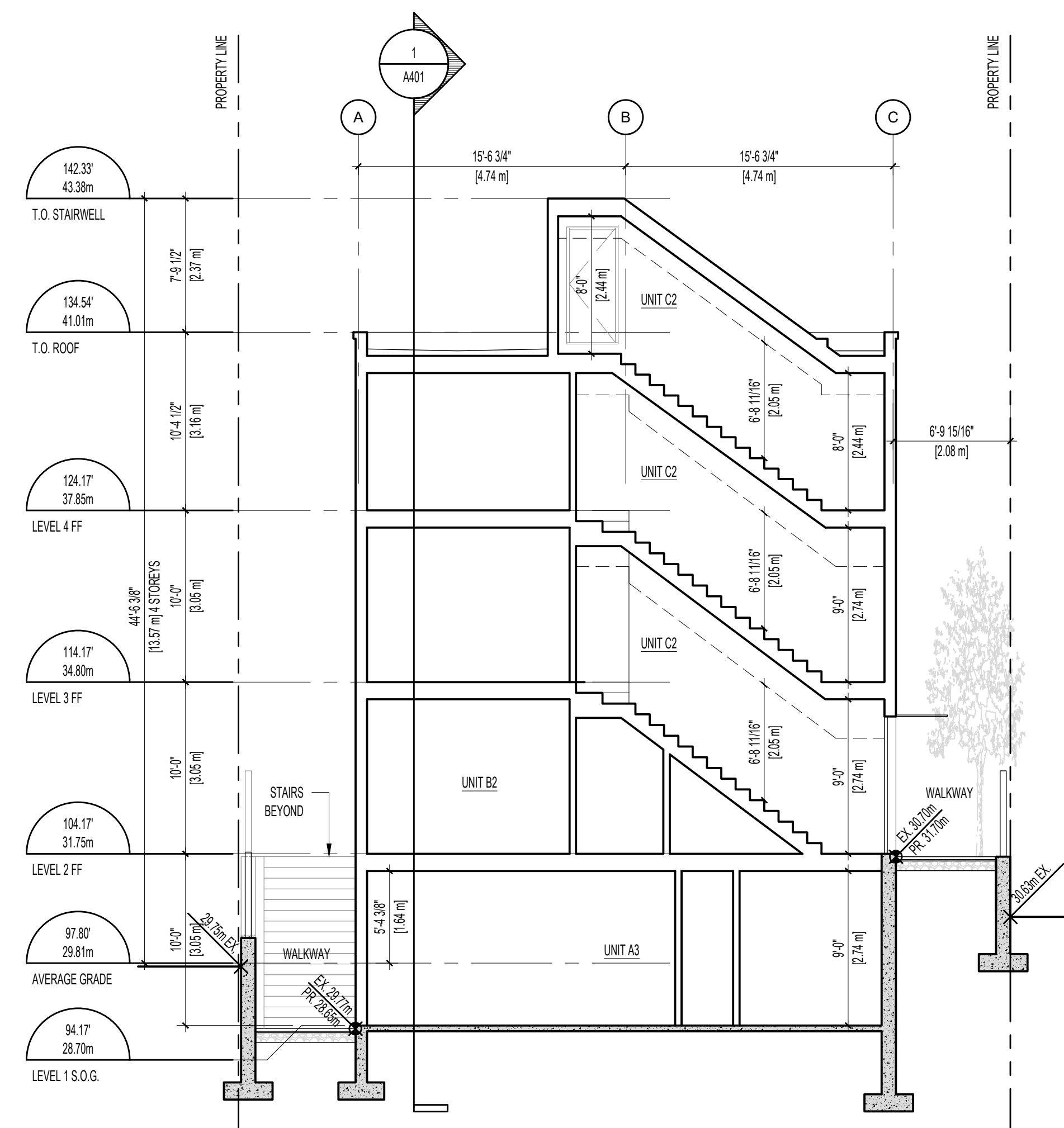
**1 SECTION A**

1/A202 1/75



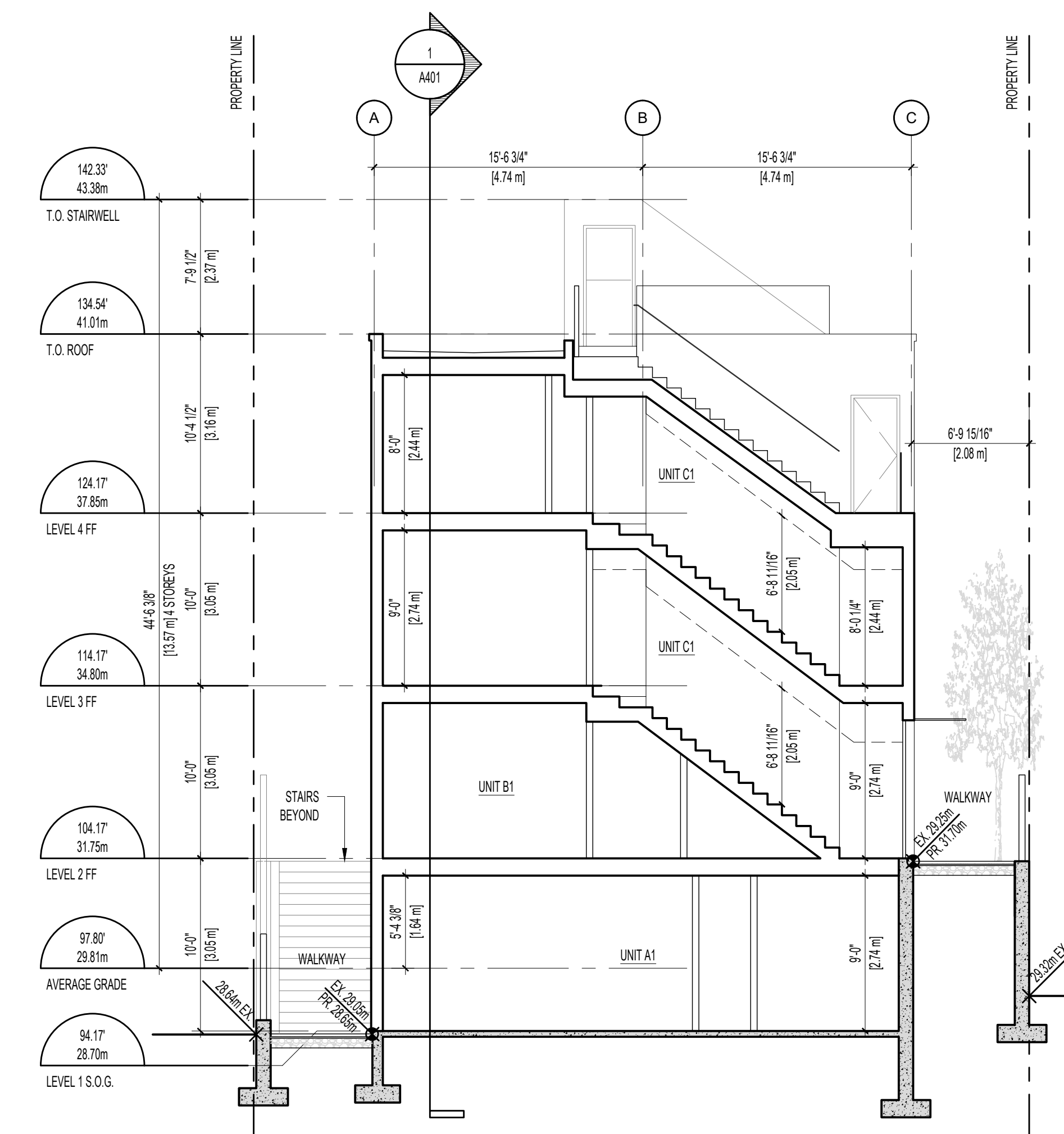
**2 SECTION B**

1/A202 1/75



**3 SECTION C**

1/A202 1/75



**4 SECTION D**

1/A202 1/75

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PROJECT NAME

**1276 GLADSTONE  
VICTORIA, BC**

PROJECT ADDRESS:

**1276 GLADSTONE AVE.  
VICTORIA, BC, V8T 1G6**

**CHA**

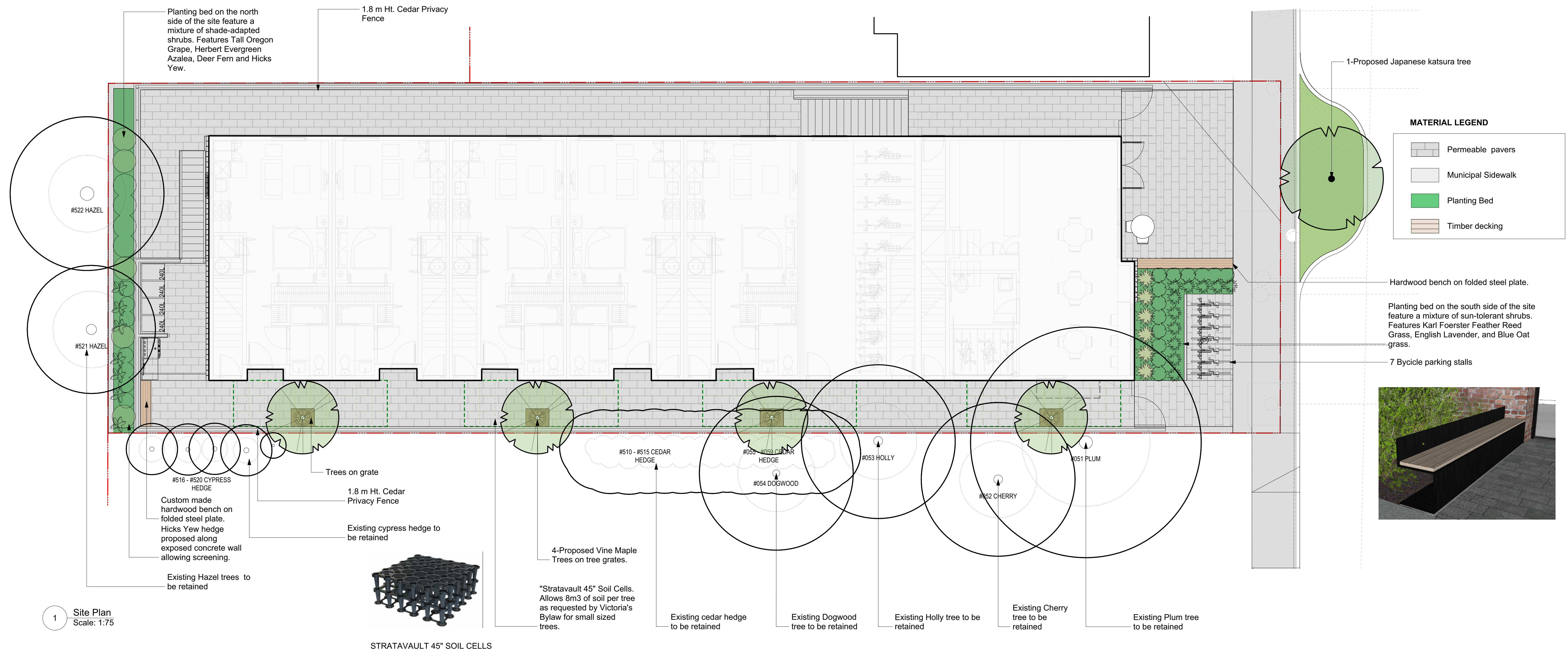
302-666 Cook Street, Victoria, BC, V8V 3Y7  
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DRAWING TITLE

**SECTIONS**

PROJECT NO:	2303	DRAWN BY:	HG
SCALE:	1/75	REVIEW BY:	CH

DRAWING NO: **A401**



**Recommended Nursery Stock**

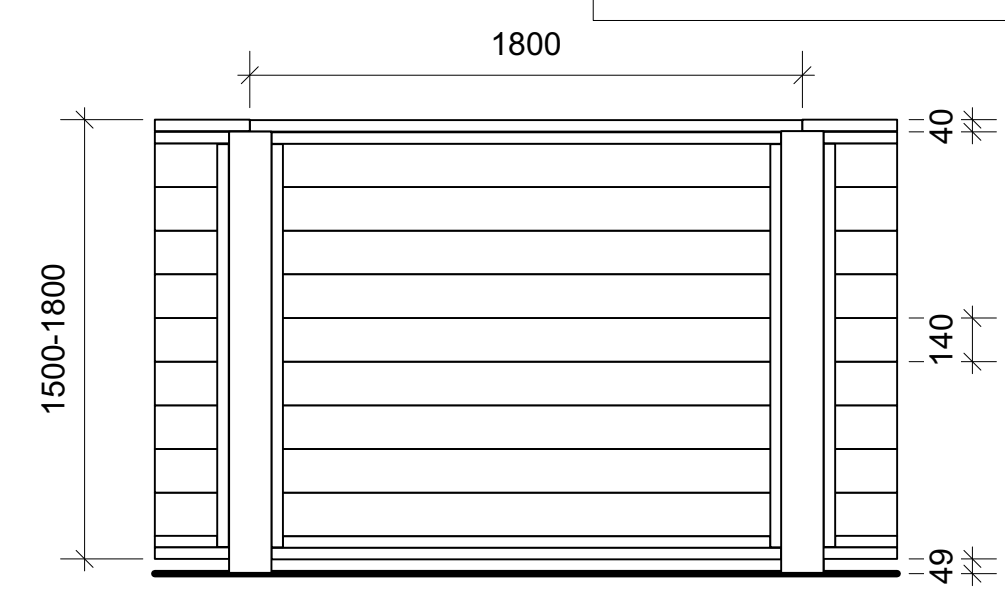
Trees	Botanical Name	Common Name	Size
Total: 5	Acer circinatum	Vine Maple	6cm cal.
	Cercidiphyllum japonicum	Katsura Tree	6 cm cal.
Large Shrubs	Botanical Name	Common Name	Size
Total: 12	Mahonia aquifolium	Tall Oregon Grape	# 5 pot
	Taxus x media "Hicksii"	Hicks Yew	#5 pot
Small Shrubs	Botanical Name	Common Name	Size
Total: 17	Azalea japonica "Herbert"	Herbert Evergreen Azalea	#5 pot
	Lavandula officinalis	English Lavender	#1 pot
Perennials, Annuals and Ferns	Botanical Name	Common Name	Size
Total: 24	Blechnum spicant	Deer Fern	#1 pot
	Calamagrostis x acutiflora "Karl Foerster"	Karl Foerster Feather Reed Grass	#1 pot
	Helictotrichon sempervirens	Blue Oat Grass	#1 pot

- Notes:**
- All work to be completed to current BC SLA Landscape Standards
  - All soft landscape to be irrigated with an automatic irrigation system

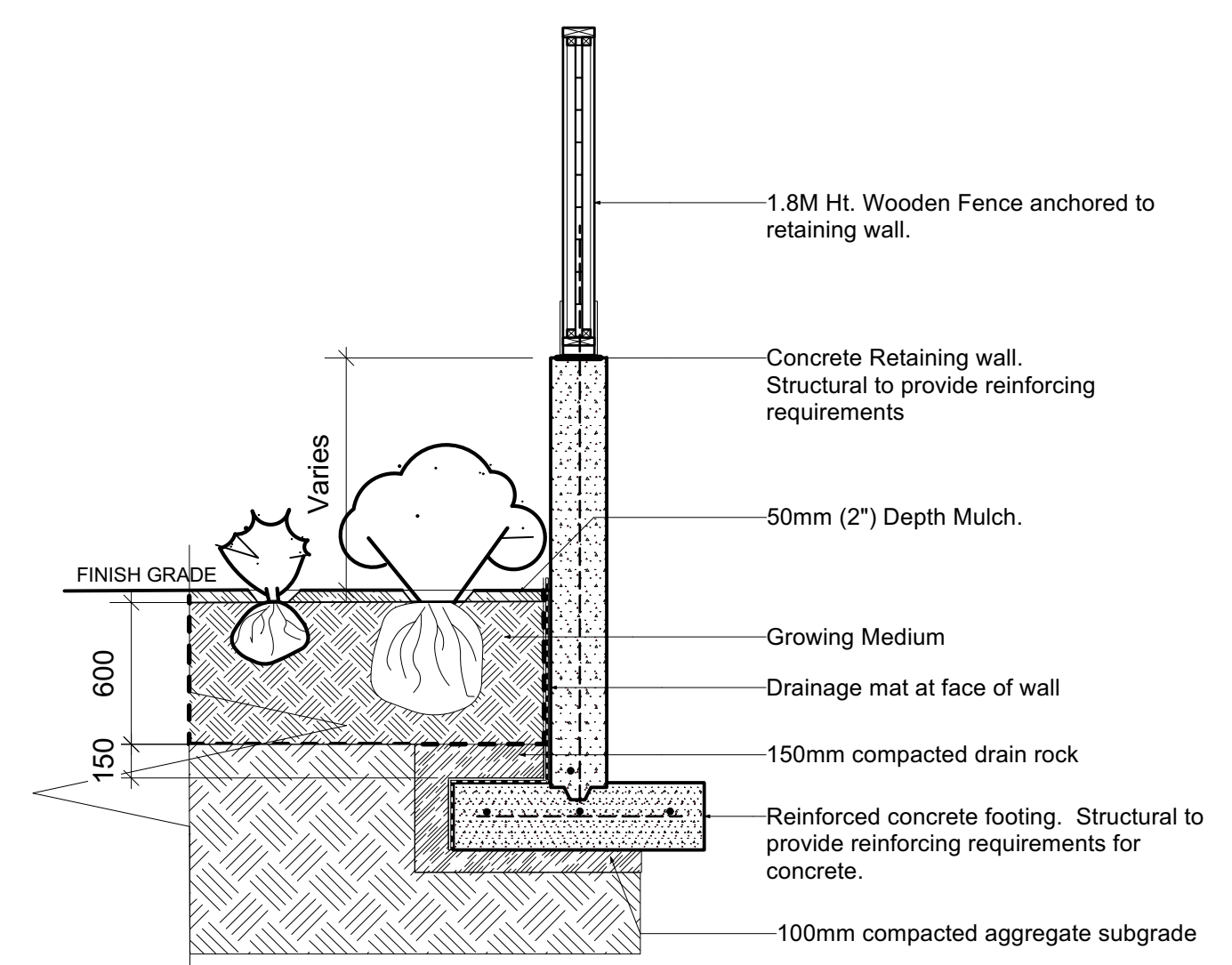


**Notes:**

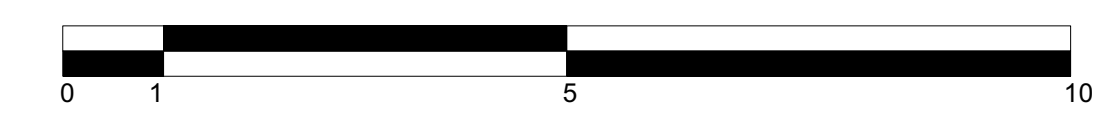
- All cedar to be S4S Cedar, #2 or better; stained black, two coats.
- All footings and connection hardware to be reviewed by structural engineer prior to installation.



**2 1.8M Ht. Wood Privacy Fence-Typical Elevation**  
Scale: 1:25

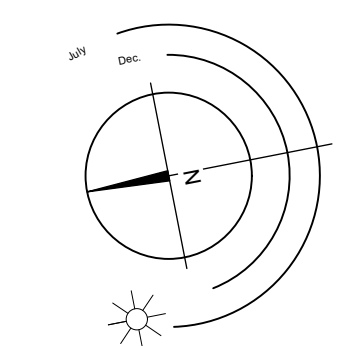


**3 Retaining Wall | 1.8 M Ht. Wooden Fence**  
Scale: 1:30

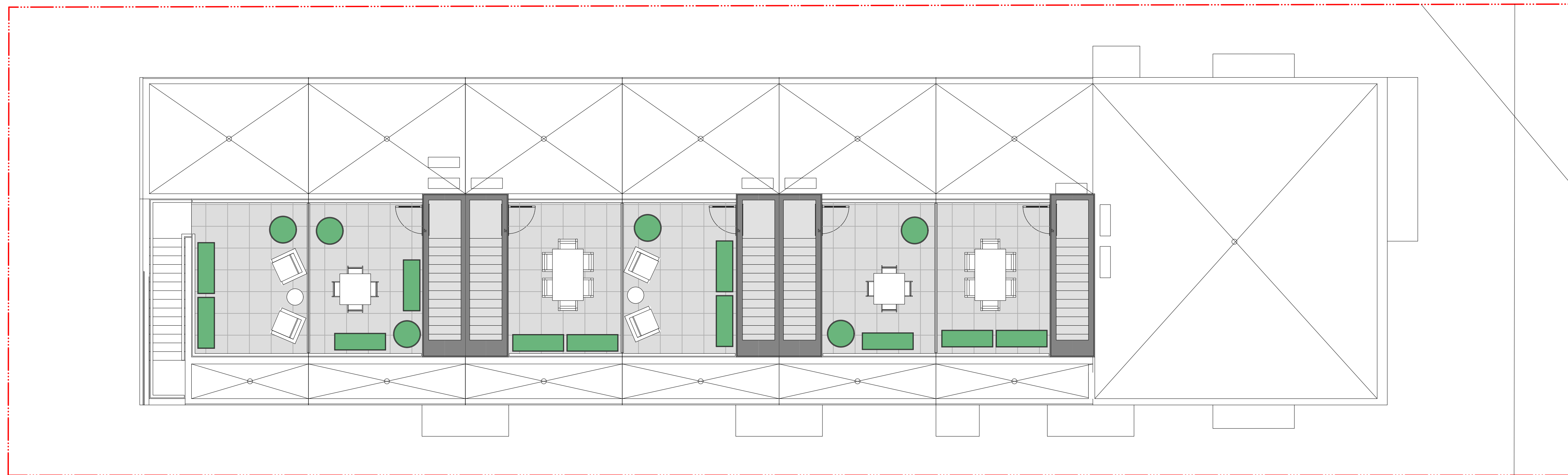


ESC 1:75

# 1276 Gladstone | Landscape Concept Plan



Project No: 2316 DEC-08-23

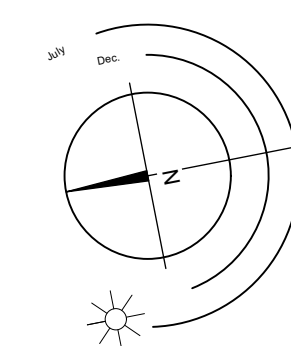
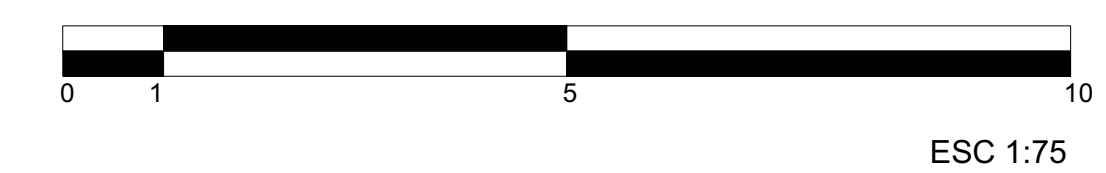


**MATERIAL LEGEND**

	Permeable pavers
	Municipal Sidewalk
	Planting Bed
	Timber decking
	24" x 24" Pedestal pavers

2 Rooftop  
Scale: 1:75

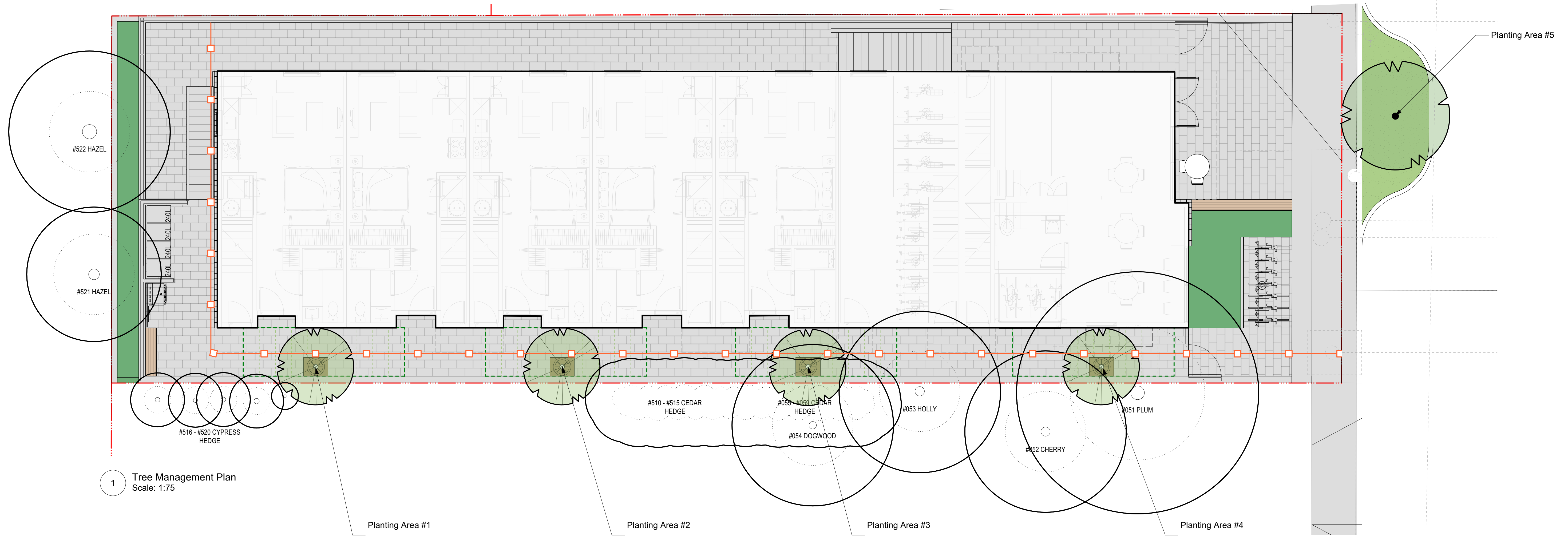
NOTES:  
-ROOFTOP LAYOUT FOR CONCEPTUAL PURPOSES.  
-OWNERS TO SUPPLY FURNITURE AND PLANTERS



Project No: 2316 DEC-08-23

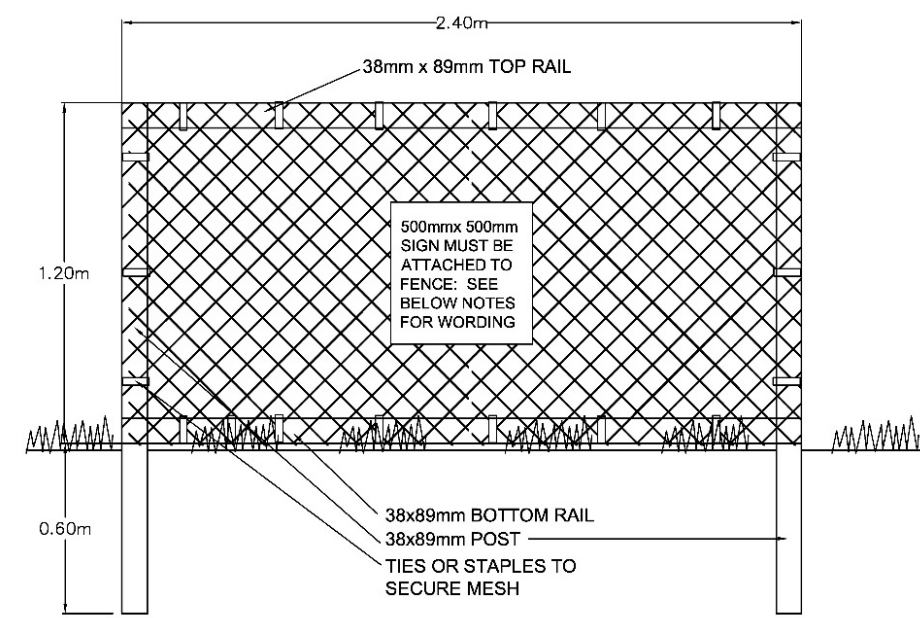
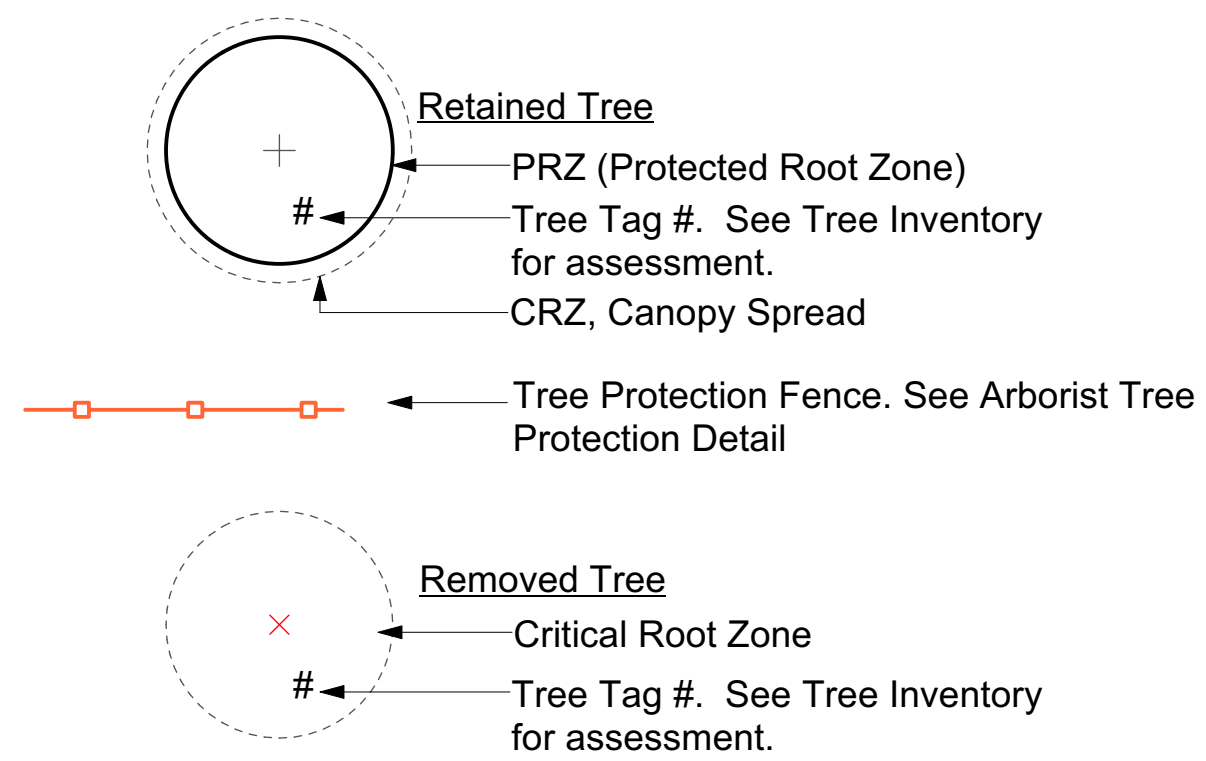
#3-864 Queens Ave. Victoria B.C. V8T 1M5  
Phone: (250) 598-0105

# 1276 Gladstone | Landscape Concept Plan



1 Tree Management Plan  
Scale: 1:75

**Existing Tree Legend:**



1 Tree Protection Fence by Victoria's Bylaw  
Scale: 1:75

Figure #1 - Tree Inventory - Proposed Impact Area

Tag #	Spec.	DBH (cm)	Ht (M)	PRZ (M)	CRZ (M)	Health P/F/G	Structure P/F/G	Impact L/M/H	Tolerance L/M/H	Bylaw Pres	Retain	Position	Comments
051	P1 Plum	50	7	9	5	F	P	L/M	M	Bylaw	X	Off site	Positioned approximately 2.5m off building setback
052	Cherry	34	8	6	3	F	P	L	M	Bylaw	X	Off site	Positioned approximately 3.25m off building setback
053	Holly	35	7	6	3	F	F	L	M	Bylaw	X	Off site	Positioned approximately 3.0 m off building setback
054	K Dogwood	28	8	6	3	F	F	L	M	Non-Bylaw	X	Off site	Positioned approximately 3.0 m off building setback
055	E cedar	8	6	1	1	F	F	L/M	L	Non-Bylaw	X	Off site	Hedge at P/L - 2m off building setback
056	E cedar	14	6	2	1	F	F	L/M	L	Non-Bylaw	X	Off site	Hedge at P/L - 2m off building setback
057	E cedar	10	6	1	1	F	F	L/M	L	Non-Bylaw	X	Off site	Hedge at P/L - 2m off building setback
058	E cedar	7	6	1	1	F	F	L/M	L	Non-Bylaw	X	Off site	Hedge at P/L - 2m off building setback
059	E cedar	15	6	2	1	F	F	L/M	L	Non-Bylaw	X	Off site	Hedge at P/L - 2m off building setback
0510	E cedar	10	6	1	1	F	F	L/M	L	Non-Bylaw	X	Off site	Hedge at P/L - 2m off building setback
0511	E cedar	10	4	1	1	F	F	L/M	L	Non-Bylaw	X	Off site	Hedge at P/L - 2m off building setback
0512	E cedar	12	6	1	1	F	F	L/M	L	Non-Bylaw	X	Off site	Hedge at P/L - 2m off building setback
0513	E cedar	20	6	2	1	F	F	L/M	L	Non-Bylaw	X	Off site	Hedge at P/L - 2m off building setback
0514	E cedar	10	5	1	1	F	F	L/M	L	Non-Bylaw	X	Off site	Hedge at P/L - 2m off building setback
0515	E cedar	10	6	1	1	F	F	L/M	L	Non-Bylaw	X	Off site	Hedge at P/L - 2m off building setback
0516	cypress	10	7	1	1	F	P	L/M	M	Non-Bylaw	X	Off site	Hedge formation
0517	cypress	20	7	2	1	F	P	L/M	M	Non-Bylaw	X	Off site	Hedge formation
0518	cypress	18	7	2	1	F	P	L/M	M	Non-Bylaw	X	Off site	Hedge formation
0519	cypress	16	7	2	1	F	P	L/M	M	Non-Bylaw	X	Off site	Hedge formation
0520	cypress	19	7	2	1	F	P	L/M	M	Non-Bylaw	X	Off site	Hedge formation
0521	Hazel	40	6	5	3	F	P	L/M	M	Bylaw	X	Off site	5 x stem, 13,15,13,12 & 12cm
0522	Hazel	53	6	6	3	F	P	L/M	M	Bylaw	X	Off site	4 x stem, 20,14,17 & 16cm

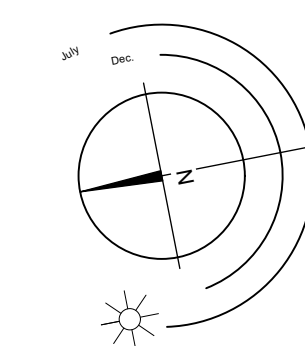
Figure #6 - Tree Planting Area Soil Volume Chart

Planting Area	Area (m2)	Soil Volume Multiplier	A. Est. Soil Volume	Replacement Trees Proposed					Soil Volume Required			Total
				B. # Small	C. #Medium	D. # Large	E. small	F. Medium	G. Large			
ONSITE												
Planting Area 1	8	1	9						9			9
Planting Area 2	8	1	9						9			9
Planting area 3	8	1	9						9			9
Planting area 4	8	1	9						9			9
Planting Area 5 BLVD	56	.25	14						14			14
OFF-SITE												
Planting Area OSA x												
Calculations												
									If B=1, B>1, Bx6	If C=1, CX20 if C>1, Cx15	If D=1, Dx35 If D=1, Dx30	E+F+G



ESC 1:75

# 1276 Gladstone | Tree Management Plan



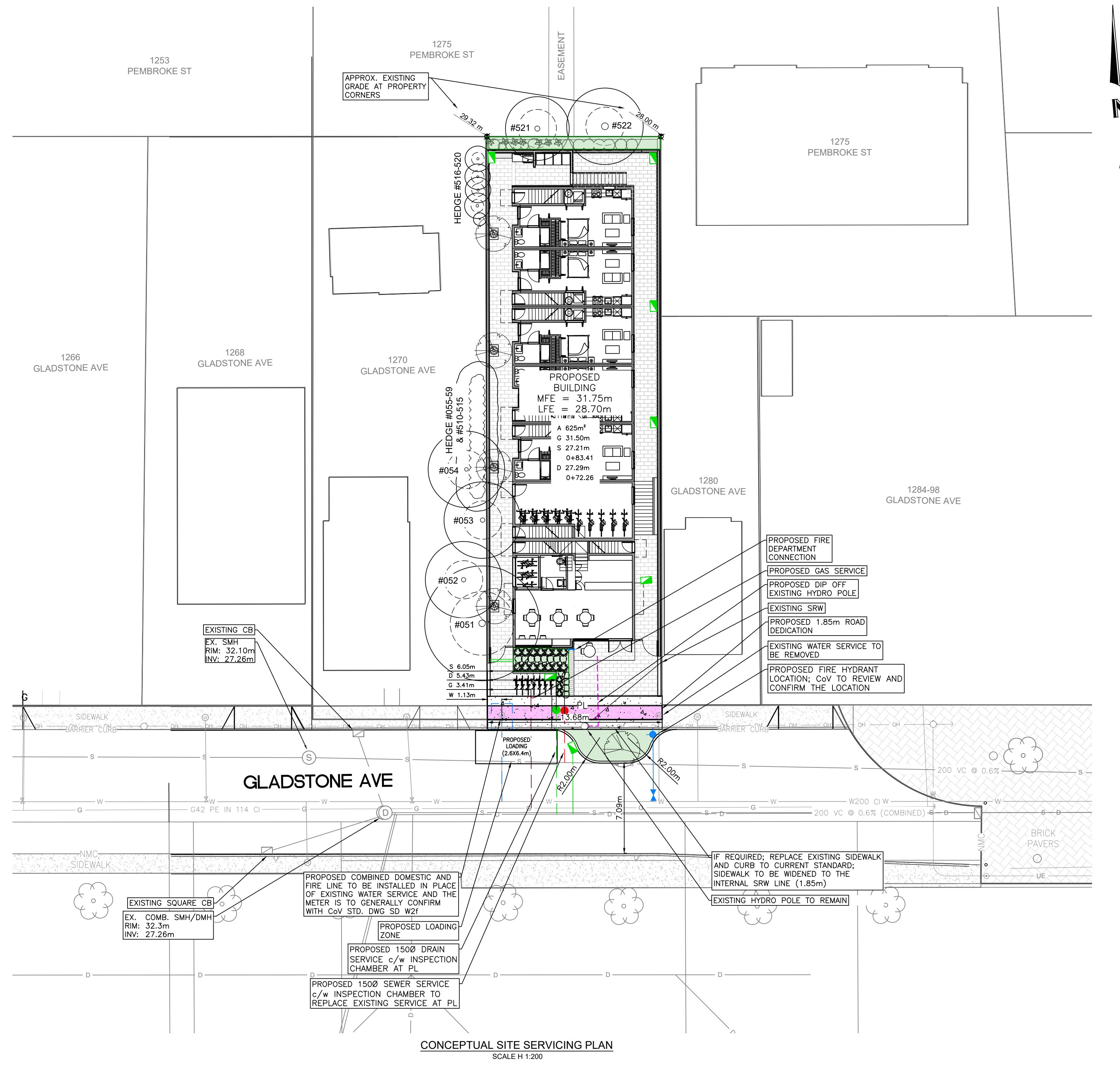
# 1276 GLADESTONE MULTI FAMILY DEVELOPMENT

## SERVICING NOTES

1. PROPOSED 50mm DOMESTIC WATER LINE AND 100mm FIRE LINE TO BE INSTALLED GENERALLY CONFIGURED AS PER CITY OF VICTORIA (CoV) STD DRAWING SD W21 BY CITY FORCES AT DEVELOPER'S EXPENSE
2. CoV FORCES TO INSTALL NEW 150# PVC SEWER SERVICE AT MIN. 2.0% TO PL c/w INSPECTION CHAMBER INSIDE APPROVED CONC. BOX AT DEVELOPER'S EXPENSE
3. CoV FORCES TO INSTALL NEW 150# PVC DRAIN SERVICE AT MIN. 2.0% TO PL c/w INSPECTION CHAMBER INSIDE APPROVED CONC. BOC AT DEVELOPER'S EXPENSE
4. INSTALLED GAS SERVICE LOCATION AS PER FORTIS BC (3.41m E OF W PL)

## LEGEND

- A XXX.Xm<sup>2</sup> - LOT AREA  
 G XXX.Xm - APPROX. GROUND ELEVATION OF SERVICES AT PL  
 S XXX.XXX - SEWER SERVICE INVERT AT E  
 X+XXX.X - DISTANCE FROM DOWNSTREAM SEWER MANHOLE  
 D XXX.XXX - DRAIN SERVICE INVERT AT E  
 X+XXX.X - DISTANCE FROM DOWNSTREAM DRAIN MANHOLE
- CONCRETE SURFACE



## SERVICE SIZING SUMMARY

1276 GLADESTONE AVENUE SITE AREA = 625m <sup>2</sup> IMPERVIOUS AREA = 610.7m <sup>2</sup>		
SANITARY	PROPOSED LOAD	SERVICE SIZE
SERVICE	280FU 150mm SERVICE	840FU MAXIMUM LOAD FOR 150mm @ 2.0% (PLUMBING CODE)
DRAIN	SERVICE	AREA X 15min RAINFALL (PLUMBING CODE) 8.34 L/s
AWWA	542 FIXTURE VALUE 38mm METER c/w 50mm SERVICE	38mm METER NORMAL OPERATING RANGE 0.5 GPM to 200 GPM

NOTE: ALL FIXTURE VALUES TO BE CONFIRMED BY THE PROJECT MECHANICAL ENGINEER AT THE BUILDING PERMIT STAGE

## UNDERGROUND SERVICES INFORMATION

INFORMATION IS AT PROPERTY LINE	STORM DRAIN	SANITARY SEWER
PROPOSED DEPTH (m)	4.21m	4.29m
PROPOSED INVERT ELEVATION (m)	27.29m	27.21m
MAXIMUM DEPTH REQUESTED	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO

## WORKS AND SERVICES CHECK TABLE

PLAN CHECKER	AUTHORIZED REPRESENTATIVE		
	NAME	SIGNATURE	DATE
UTILITY	HYDRO		
	TELUS		
	FORTIS BC		
	SHAW		
MUNICIPAL	UNDERGROUND SERVICES		
	STREETS		
	TRANSPORTATION		
	LAND DEVELOPMENT		

NOTE: NEW FIRE HYDRANT REQUIRED, CITY OF VICTORIA TO REVIEW PROPOSED LOCATION



GENERAL LOCATION PLAN  
SCALE H 1:5,000

LEGAL: LOT 2, SECTION 61, SPRING RIDGE, VICTORIA CITY PLAN 312  
CIVIC: 1276 GLADESTONE AVENUE

DECEMBER 8, 2023  
**SUBMITTED FOR REZONING /  
 DEVELOPMENT PERMIT  
 APPLICATION**

**ISLANDER**  
 ENGINEERING  
 623 DISCOVERY STREET  
 VICTORIA, B.C. V8T5G4  
 PHONE 250.590.1200  
 www.islanderingineering.com

## CITY OF VICTORIA

1276 GLADESTONE AVENUE

### CONCEPTUAL SITE SERVICING PLAN

B.M.:	-	Elev.:	-
Design:	AF	Checked:	JRCE
Scale:	Hor: 1:200	Vertical:	-
Date:	2023-12-08		

ISLANDER FILE #

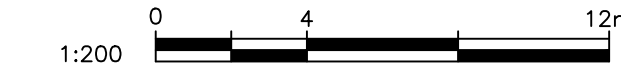
2842

MUNICIPAL DESIGN #

REV. #

DRAWING #

1 OF 2



**BC**  
**1**  
 CALL  
 1-800-474-6886

THE CONTRACTOR IS TO CALL B.C. ONE CALL, AND HAVE EXISTING U/G SERVICES STAKED PRIOR TO ANY CONSTRUCTION.

## CONFIRM UNDERGROUND LOCATIONS WITH UTILITY COMPANIES

THE LOCATION AND ELEVATION OF THE EXISTING UNDERGROUND INFRASTRUCTURE SHOWN ON THIS DRAWING MAY NOT BE ACCURATE OR COMPLETE. THE ACTUAL HORIZONTAL AND VERTICAL LOCATIONS MUST BE CONFIRMED PRIOR TO THE START OF ANY EXCAVATION.

LEGEND	
Existing Municipal Infrastructure	Drain - D -
Proposed Municipal Infrastructure	Ditch - D -
Existing External U/G Utilities	Sewer - S -
Proposed External U/G Utilities	Water - W -
Street Lighting Pole Mount	Traffic Sign
Post Top	Pedestrian Signal
Curb	Manhole
Sidewalk	Cleanout
Concrete Box	Silt Trap
Wood Box	Cap / Plug
Flush Valve	Air Valve
Hydrant	Water Meter
Reducer	
Valve	
Ctrl Monument	
Traverse Hub	

## REVISIONS

NO.	DATE	DESCRIPTION
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## REVISIONS APPROVED

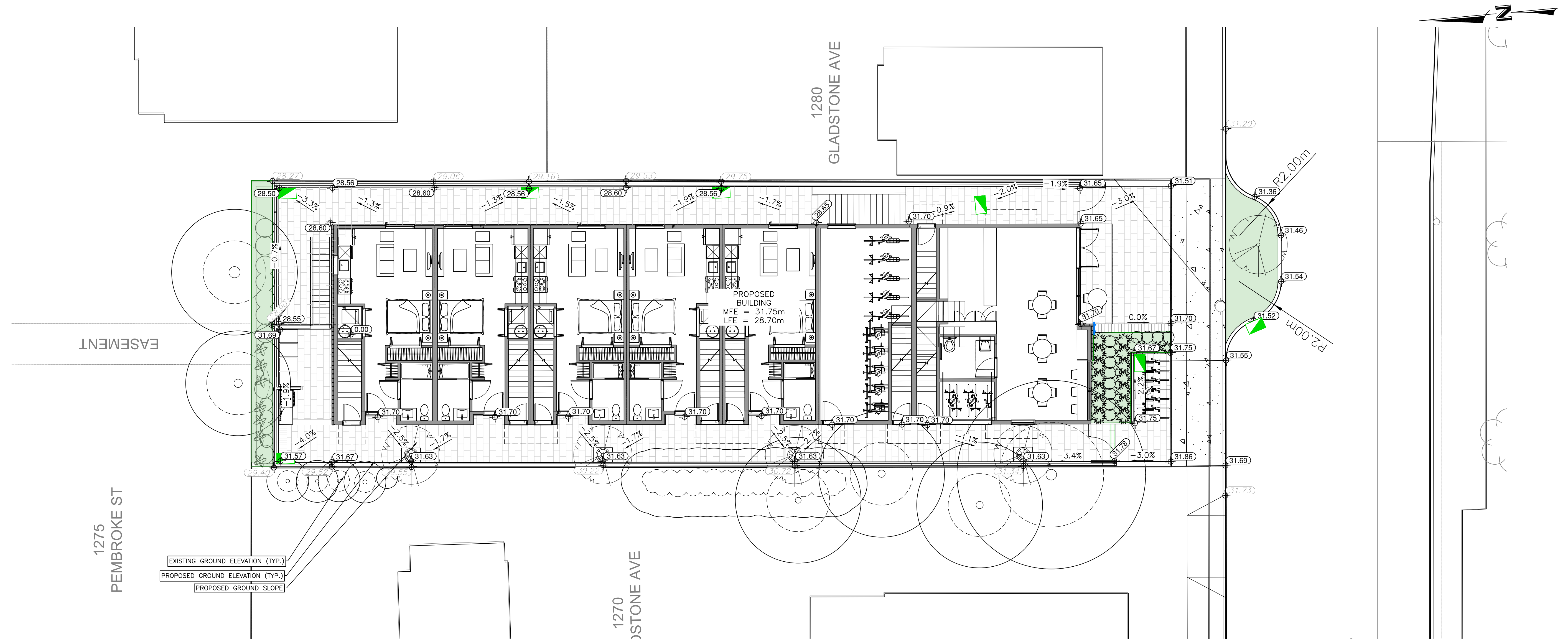
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Approved	Date	Signed	Approved	Date	Signed	Approved	Date	Signed
Design Engineer			Design Engineer			Design Engineer		
Manager of Development			Manager of Development			Manager of Development		
Development Coordinator			Development Coordinator			Development Coordinator		

## DESIGN APPROVED

Design Engineer	Date	Signed
Manager of Development		
Development Coordinator		



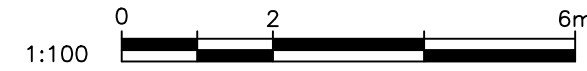
# 1276 GLADSTONE MULTI FAMILY DEVELOPMENT



ISLANDER ENGINEERING: December 8, 2023 / G:\shortcut-targets-by-id\0897d9f5\10\khd456\1emc\Civil\01\Projects\2842 - 1276 Gladstone Ave\3 Drawings\2023-12-07 - 2842 - Gladstone\_Ave\_Design\_Base.dwg

**BC**  
**1**  
CALL  
1-800-474-6886

THE CONTRACTOR IS TO CALL B.C. ONE CALL, AND HAVE EXISTING U/G SERVICES STAKED PRIOR TO ANY CONSTRUCTION.



DECEMBER 8, 2023  
**SUBMITTED FOR REZONING /  
DEVELOPMENT PERMIT  
APPLICATION**

**ISLANDER ENGINEERING**  
623 DISCOVERY STREET  
VICTORIA, B.C. V8T5G4  
PHONE 250.580.1200  
www.islanderengineering.com

<p><b>CONFIRM UNDERGROUND LOCATIONS WITH UTILITY COMPANIES</b></p> <p>THE LOCATION AND ELEVATION OF THE EXISTING UNDERGROUND INFRASTRUCTURE SHOWN ON THIS DRAWING MAY NOT BE ACCURATE OR COMPLETE. THE ACTUAL HORIZONTAL AND VERTICAL LOCATIONS MUST BE CONFIRMED PRIOR TO THE START OF ANY EXCAVATION.</p>		<p><b>LEGEND</b></p> <table border="1"> <tr> <td>Existing Municipal Infrastructure</td> <td>Drain</td> <td>—D—</td> <td>Curb</td> <td>—C—</td> <td>Concrete Box</td> <td>☒</td> <td>Valve</td> <td>⊗</td> <td>6</td> </tr> <tr> <td>Proposed Municipal Infrastructure</td> <td>Ditch</td> <td>—D—</td> <td>Sidewalk</td> <td>—S/W—</td> <td>Wood Box</td> <td>☒</td> <td>Flush Valve</td> <td>⊗</td> <td>5</td> </tr> <tr> <td>Existing External U/G Utilities</td> <td>Sewer</td> <td>—S—</td> <td>Manhole</td> <td>○</td> <td>Catch Basin</td> <td>☒</td> <td>Hydrant</td> <td>⊗</td> <td>4</td> </tr> <tr> <td>Proposed External U/G Utilities</td> <td>Water</td> <td>—W—</td> <td>Cleanout</td> <td>□</td> <td>Reducer</td> <td>—R—</td> <td>Reducer</td> <td>—R—</td> <td>3</td> </tr> <tr> <td>Street Lighting</td> <td>Pole Mount</td> <td>⊗</td> <td>Standard Mount</td> <td>⊗</td> <td>Traffic Sign</td> <td>⊗</td> <td>Silt Trap</td> <td>—S/T—</td> <td>2</td> </tr> <tr> <td>Post Top</td> <td>Pedestrian Signal</td> <td>⊗</td> <td>Traffic Signal</td> <td>⊗</td> <td>Ctrl Monument</td> <td>⊗</td> <td>Traverse Hub</td> <td>⊗</td> <td>1</td> </tr> </table>	Existing Municipal Infrastructure	Drain	—D—	Curb	—C—	Concrete Box	☒	Valve	⊗	6	Proposed Municipal Infrastructure	Ditch	—D—	Sidewalk	—S/W—	Wood Box	☒	Flush Valve	⊗	5	Existing External U/G Utilities	Sewer	—S—	Manhole	○	Catch Basin	☒	Hydrant	⊗	4	Proposed External U/G Utilities	Water	—W—	Cleanout	□	Reducer	—R—	Reducer	—R—	3	Street Lighting	Pole Mount	⊗	Standard Mount	⊗	Traffic Sign	⊗	Silt Trap	—S/T—	2	Post Top	Pedestrian Signal	⊗	Traffic Signal	⊗	Ctrl Monument	⊗	Traverse Hub	⊗	1	<p><b>REVISIONS</b></p> <table border="1"> <tr> <td>6</td> <td>5</td> <td>4</td> <td>3</td> <td>2</td> <td>1</td> </tr> </table>	6	5	4	3	2	1	<p><b>REVISIONS APPROVED</b></p> <table border="1"> <tr> <th colspan="3">REVISION # 1</th> <th colspan="3">REVISION # 2</th> <th colspan="3">REVISION # 3</th> </tr> <tr> <td>Approved</td> <td>Date</td> <td>Signed</td> <td>Approved</td> <td>Date</td> <td>Signed</td> <td>Approved</td> <td>Date</td> <td>Signed</td> </tr> <tr> <td>Design Engineer</td> <td></td> <td></td> <td>Design Engineer</td> <td></td> <td></td> <td>Design Engineer</td> <td></td> <td></td> </tr> <tr> <td>Manager of Development</td> <td></td> <td></td> <td>Manager of Development</td> <td></td> <td></td> <td>Manager of Development</td> <td></td> <td></td> </tr> <tr> <td>Development Coordinator</td> <td></td> <td></td> <td>Development Coordinator</td> <td></td> <td></td> <td>Development Coordinator</td> <td></td> <td></td> </tr> </table>	REVISION # 1			REVISION # 2			REVISION # 3			Approved	Date	Signed	Approved	Date	Signed	Approved	Date	Signed	Design Engineer			Design Engineer			Design Engineer			Manager of Development			Manager of Development			Manager of Development			Development Coordinator			Development Coordinator			Development Coordinator			<p><b>DESIGN APPROVED</b></p> <table border="1"> <tr> <th>Approved By</th> <th>Date</th> <th>Signed</th> </tr> <tr> <td>Design Engineer</td> <td></td> <td></td> </tr> <tr> <td>Manager of Development</td> <td></td> <td></td> </tr> <tr> <td>Development Coordinator</td> <td></td> <td></td> </tr> </table>	Approved By	Date	Signed	Design Engineer			Manager of Development			Development Coordinator			<p><b>CITY OF VICTORIA</b></p> <p>1276 GLADSTONE AVENUE</p> <p>CONCEPTUAL GRADING PLAN</p> <table border="1"> <tr> <td>B.M. :</td> <td>—</td> <td>Elev. :</td> <td>—</td> </tr> <tr> <td>Design: AF</td> <td>Drawn: AF</td> <td>Checked: JRCE</td> <td>Date: 2023-12-08</td> </tr> <tr> <td>Scale: Hor: 1:200</td> <td>Vertical: —</td> <td></td> <td></td> </tr> </table>	B.M. :	—	Elev. :	—	Design: AF	Drawn: AF	Checked: JRCE	Date: 2023-12-08	Scale: Hor: 1:200	Vertical: —			<p><b>ISLANDER ENGINEERING</b></p> <p>FILE # 2842</p> <p>MUNICIPAL DESIGN # —</p> <p>REV. # —</p> <p>DRAWING # C02</p> <p>SHEET # 2 OF 2</p>
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## Colin Harper Architect

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Phone: 778-584-0582  
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web: [charch.ca](http://charch.ca)

11 December 2023

Mayor and Council  
City of Victoria,  
1 Centennial Square,  
Victoria, BC  
V8W 1P6

### Letter to Mayor and Council

Re: Rezoning and Development Permit Application, 1276 Gladstone Street

Dear Mayor and Councilors,

On behalf of the applicant, Ashley and Tonny Kiptoo, residents and active members of the Fernwood community, we submit this application for a site-specific rezoning and Development Permit for a mixed-use multi-family development at 1276 Gladstone Street.

### Project Summary

Situated right in the heart of Fernwood, adjacent to the Village Square, the subject site is in a “walkers paradise” with a 94% walking score, very bikeable with excellent access to transit. The proposed development is for a dynamic car-free, four-storey mixed-use building containing ground-oriented commercial space and rental housing. The proposed residential unit-mix is comprised of 5 studio units, 5 one-bedroom units, 2 two-bedroom units and 6 three-bedroom family units, with private outdoor roof top spaces. Other common residential amenity spaces include a common patio/BBQ area, three bike storage rooms and a secure residential storage room. The applicants envision a bakery or similar hospitality type retailer for the commercial space with indoor and outdoor patio seating for public use.

### Project Benefits:

The project will add to Victoria’s Missing Middle housing stock, which accounts for just five per cent of new home construction, with apartments, condos and detached houses making up the other 95 per cent. This project will create 16 net new housing units on the site, with 45% of the new homes being 2 & 3 bedroom, family sized housing options, and 5 of the accessible ground level units are also designed as adaptable dwellings. The added density/housing proposed on the site provides additional housing options for those wishing to remain in the City, thereby supporting the local economy and sustainability initiatives. The housing tenure will be rental in perpetuity and will hopefully add stock to the shortage of rental housing and the Cities corresponding initiatives. Additional to the community car share benefits, sidewalk and boulevard improvements listed below, the project will contribute approximately \$25,000 in additional property taxes per year.





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### Design and development permit guidelines

The proposal adheres to the Fernwood Village Design Guidelines and Multi-Unit Residential, Commercial Guidelines. The building is designed with sensitivity to context, and builds upon without replication or mimicry, the character of Fernwood village through a contemporary application of brick and storefront glazing. Further, the proposed ground-oriented commercial space with residential use above is in character with the rest of Fernwood Square.

Details of the design addressing the Fernwood Village Design Guidelines and Multi-Unit Residential, Commercial Guidelines include but are not limited to the following:

- Highly transparent storefront and articulated ground floor with recessed entry emphasize and punctuate the commercial area.
- Use of high-quality and/or textured materials including brick, brick accents and metal canopies at street façade. The project proposes to repurpose reclaimed brick from local “unbuilding” companies on the street and rear facades, true to Fernwood’s sustainable recycle culture and environmental consciousness.
- Brick banding as a form of contemporary ornamentation and detailing.
- Vertically proportioned punched residential window openings.
- Back-of-house features have been located at the lower floor level to maintain the integrity of the street frontage. Water entry and electrical room are located below the building, and adjacent to street to provide convenient access for BC Hydro and efficient tie-in to municipal services.
- Ground floor units are designed as adaptable dwelling units.
- Private rooftop patios for the family units provide the opportunity for urban farming, private family outdoor space. The rooftops are set back with simple forms and minimal detailing and articulation.
- The proposal intends to meet the City’s tree Bylaws for onsite trees and provide for one on-street tree on the boulevard.
- Native landscaping complements and balances the building’s material palette. Onsite pavers mark a transition from the public sidewalk to the property. Trees and planting along the west and rear side yard and a fence along the side and rear yards provide a buffer and privacy to neighbouring sites. A qualified arborist will be onsite to monitor any potential damage to offsite neighboring protected trees.

### Government Policies:

The Land Use Designation of the site per the OCP is Small Urban Village. The proposed form of development is congruent with the Small Urban Village-Urban Place Guidelines which allows multi-unit residential up to 4-storeys with ground-oriented commercial use. The proposed development supports the Fernwood Neighbourhood Plans goals to “enhance Fernwood Village with additional local-servicing businesses, housing options and refreshed public spaces”.





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### **Neighbourhood and Impact:**

The proposed building presents as a three-storey building on the Gladstone Avenue frontage with ground oriented commercial space and rental housing above (and behind), which is typical of the adjacent Fernwood square and provide a harmonious and appropriate extension to Fernwood Village.

### **Transportation and Infrastructure:**

The proposal is positioned for a car-free lifestyle due to its central location and the application seeks a variance for all required on-site vehicle parking. The proposed rental homes will be within 1 minute walking distance to Vic High School, 7 minutes to George Jay Elementary School and 15 mins to Central Middle School. The location is central to various Fernwood amenities such as neighborhood parks & green spaces, employment centers, Fernwood Village, Fernwood Community Center, the Belfry Theater, Stadacona Park, Jubilee hospital, several walk-in clinics, grocery stores and the Downtown Core. The site is within 100m of 2 Modo car share vehicles and is easily serviced by transit bus routes #10, #22, #24, #25 all within 400m.

To further support residents to live car-free, the Transportation Demand Management measures include a BC Transit EcoPass for each household valued at \$18,000, a Modo membership for each household valued at \$9,000, a cash contribution of up to \$55,000 toward the purchase of a fully electric shared vehicle and an additional contribution of \$18,000 for the installation of a dual head on-street level 2 charger on Gladstone Avenue, for a total TDM package valued at \$100,000. Additionally, the project meets the required short-term and long-term bike parking requirements, providing more than the minimum required larger cargo style bicycle parking spaces, with all bike parking spaces having easy access to a 110v plug for charging. The proposal also provides for 75% additional long term secured secondary bike parking on the lower level.

Due to the infill nature of the proposal within an established neighborhood, it is anticipated that there will be easier access to adequate public infrastructure to meet the proposal, including sewer, water, and roads, further enhancing the city's greater objectives of sustainable infill development. The proposal respects a contemplated SRW, availing a portion of the property for a road dedication as part of the rezoning which is anticipated to provide for an expanded sidewalk and improved pedestrian experience along the front lot line. A site servicing plan and Sanitary Impact Assessment prepared will be provided as part of the Rezoning/Development Permit application.

### **Safety and Security**

CPTED is addressed by avoiding blank, windowless walls, activity generators, clear site-lines, and lighting.





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### CALUC

*The following revisions have been made in response to feedback received during the CALUC preliminary and pre-application meetings.*

- To address concerns over building height and shade impact, the rooftop access stair closest to the rear yard has been removed and replaced with an exterior stair at L4, resulting in a stepped massing and reduced shade impact on neighbouring properties to the north.
- Hicks Yew hedges have been added to the rear yard landscape area to act as screening in front of the exposed concrete wall.
- To address privacy and overlook concerns, the extents of the rooftop patios have been pulled back from the western roof edge. A sightline diagram has been provided as part of the Rezoning/DP application, taken at the highest points of the neighbouring sights where overlook would be most likely. The diagram demonstrates that rooftop access stairs and guards are not visible from either neighbouring property and that there is no potential for overlook, unless a person was standing directly at the west property line on 1270 Gladstone, which is unrealistic as there is landscaping in this location.
- To address environmental concerns over management of storm water drainage, site coverage has been reduced from 69% to 61% and permeable pavers have been added.
- Downcast sconce lighting has been proposed to minimize light pollution to neighbouring properties.
- To address concerns of a “monolithic” appearance at the rear yard elevation, brick banding has been added to match the street-facing elevation, additional windows have been provided and the façade has been broken up with the introduction of an exterior stair.

*The following items offer clarification pertaining to feedback received during the CALUC pre-application meetings.*

- Although the building is four storeys tall, the street-oriented south façade is only three storeys tall and is in keeping with the character of the nearby Fernwood Square.
- An arborist report has been provided as part of the Rezoning/DP application to address concerns over impact to existing trees on the western and northern borders of the site.
- A site servicing plan and Sanitary Impact Assessment prepared by Island Engineering has been provided as part of the Rezoning/DP application.
- The frequency of waste management pickups will be adjusted based on the needs of the development to ensure that the proposed garbage area is kept tidy and well-maintained.

### TRG Application Review Summary

*The following revisions have been made in response to feedback received from the TRG Application Review Summary.*

- To address comments about providing a more distinct roof line to the building, we have increased the depth of the parapet flashing by 1.5” and extruded it out 1.5” to make the parapet more pronounced and add a shadow line.





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- To address concern over providing windows of a scale and proportion similar to the historic architectural pattern, we have updated the upper windows on the front façade to double-hung operables, matching the predominant type of the neighbouring historic buildings.
- The uppermost soldier course band on the brick facades have been bumped out by 1” to create shadows and emphasize the three-dimensional quality of the elevations as suggested by the City.
- To address concerns over the black standing seam metal siding, the cladding on the east and west facades have been changed to a wood style board and batten, with variation in the spacing of the boards on each level to differentiate the storeys and further break up the facade.
- The shadow study has been updated to include potential impacts during the summer and winter solstice, in addition to the potential impacts during the equinox already provided.
- The outdoor patio area on Gladstone Avenue was previously included for illustrative purposes and has been removed from the drawings as requested.
- The sidewalk has been widened to the internal SRW boundary and a boulevard and street tree have been proposed based on collaborative feedback received from the Transportation, Parks, Urban Design, and Planning departments.
- Based on feedback received from the Transportation and Planning departments, the bike rooms on level 2 with direct access from the street have been redesigned to provide all required long-term bicycle parking, including 5 cargo-style bicycle stalls. The bike room on the lower level has been redesigned to provide an additional 4 long term bicycle parking stalls, representing 70% above the minimum requirement.

GREEN INDICATORS	
CATEGORY	GREEN ITEMS
Rating System	BC Energy Step Code 3
Site Selection and Design	<ul style="list-style-type: none"> <li>• Thermally efficient building form and orientation</li> <li>• High performance windows</li> <li>• Appropriately sized windows for passive heating</li> <li>• Passive ventilation for summer months</li> <li>• Exterior Roof Insulation</li> <li>• Low window to wall ratio.</li> <li>• Canopies to reduce solar gain in summer month</li> </ul>
Innovation and design	Solar Panel Ready, including: <ul style="list-style-type: none"> <li>• Conduit to roof</li> <li>• Additional electrical panel size and space</li> </ul>
Building Reuse	Use of salvaged brick
Transportation	<ul style="list-style-type: none"> <li>• Omission of parking will reduce Green House gas emissions.</li> <li>• Dedicated bike parking room.</li> <li>• Walkable and biking distance to employment centers and amenities</li> <li>• Provision of car-share memberships and transit passes</li> </ul>
Energy Efficiency	<ul style="list-style-type: none"> <li>• Energy modeling and on-site testing to meet requirements of BCBC Step Code 3</li> </ul>





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Water	Water conservation initiatives, including: <ul style="list-style-type: none"> <li>• Faucets with flow rate of 8L/min or less</li> <li>• Showerheads with flow rate of 8L/min or less</li> <li>• Dual flush toilets with ultra-low flow (4.5L per flush or less)</li> </ul>
Landscaping and Urban Forest	<ul style="list-style-type: none"> <li>• Only native and adapted vegetation</li> <li>• Drought tolerant vegetation.</li> </ul>

In summary, our application embodies a thoughtful and comprehensive approach to sustainable urban infill development, aligning with city policies, community aspirations, and environmental goals. We appreciate your careful consideration of this proposal.

Sincerely,

Colin Harper



2023-12-11

