



## Advisory Design Panel Report For the Meeting of October 26, 2022

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**To:** Advisory Design Panel **Date:** October 19, 2022  
**From:** Leanne Taylor, Senior Planner  
**Subject:** **Development Permit with Variances Application No. 00201 for 2300, 2310 and 2312 Douglas Street**

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### EXECUTIVE SUMMARY

The Advisory Design Panel (ADP) is requested to review a Development Permit with Variances Application for 2300, 2310 and 2312 Douglas Street and provide advice to Council.

The proposal is for a four-storey, mixed-use self-storage building consisting of light manufacturing uses on the ground floor and self-storage above. The variances are related to parking and setbacks.

The subject properties are designated Core Employment in the *Official Community Plan (OCP, 2012)*, which supports five-storey buildings consisting of light industrial uses on the ground floor and commercial or light industrial uses above and envisions a density of up to 3:1 floor space ratio (FSR). The *Burnside Gorge Neighbourhood Plan* designates the subject properties General Employment, which supports commercial or light industrial uses, and retail uses on the ground floor along arterial roads and areas with high pedestrian activity. A density up to approximately 3:1 FSR and heights up to five storeys are supportable. The subject properties are also within the Rock Bay District (RBD) of the *Downtown Core Area Plan (DCAP, 2012)*. Attracting and maintaining a range of commercial and light industrial businesses within the RBD, in order to provide a more diversified and resilient employment base, is strongly encouraged in the Plan.

Staff are looking for commentary from the Advisory Design Panel, with regard to:

- building mass and composition
- building to street interface
- selection and application of exterior finishes
- north elevation
- landscaping
- any other aspects of the proposal on which the ADP chooses to comment.

The Options section of this report provides guidance on possible recommendations that the Panel may make, or use as a basis to modify, in providing advice on this application.

### BACKGROUND

**Applicant:** Mr. Chris Bradley  
BG Douglas Ventures Inc.

**Architect:** Ms. Helen Besharat, Architect AIBC  
BFA studio architects

**Development Permit Area:** Development Permit Area 10A: Rock Bay

**Heritage Status:** N/A

### Description of Proposal

The proposal is for a four-storey, mixed-use self-storage building consisting of light manufacturing uses on the ground floor and self-storage above. There are three levels plus two basement levels of self-storage. The proposed density is 2.90:1 FSR. The variances are associated with parking and setbacks.

The proposal includes the following major design components:

- a low-rise building form inspired by stacked shipping containers and consists of a flat roofline and storefront glazing along both frontages
- flexible ground floor light industrial space
- exterior materials include concrete, metal and spandrel glass
- multiple storefront entrances for light industrial uses along Douglas Street
- main entrance to self-storage on Queens Avenue
- soft landscaping along street frontages
- vehicle access to enclosed parking and loading area on Queens Avenue
- 18 vehicle parking spaces and one loading space.

The following data table compares the proposal with the existing M-1 Zone, Limited Light Industrial District. An asterisk is used to identify where the proposal does not meet the requirements of the existing Zone.

Zoning Criteria	Proposal	Zone Standard M-1 Zone
Site area (m <sup>2</sup> ) – minimum	1500.30	n/a
Density (Floor Space Ratio) – maximum	2.90:1	3:1
Gross Floor Area (m <sup>2</sup> )	6873.50	n/a
Total floor area (m <sup>2</sup> ) – maximum	4341.50	n/a
Height (m) – maximum	<b>15*</b> (height of parapet currently exceeds 0.6m – applicant to adjust)	15
Storeys – maximum	4	n/a

<b>Zoning Criteria</b>	<b>Proposal</b>	<b>Zone Standard M-1 Zone</b>
Site coverage (%) – maximum	n/a	n/a
Open site space (%) – minimum	n/a	n/a
<b>Setbacks (m) – minimum</b>		
Setback for corner lots (m)	3	3
Setback from residential uses on adjacent lots (west)	n/a	3
Setback Douglas Street	1	n/a
Setback (rear) – West	<b>0.3*</b>	0 or 3
Setback (side) – North	<b>0.1 to 0.46*</b>	0 or 3
Setback – Queens Avenue	2.17	n/a
<b>Vehicle Parking</b>		
Vehicle Parking Spaces - minimum	<b>18*</b>	68
EV ready parking spaces – minimum	12	4
Landscape strip on Douglas Street (m) - minimum	n/a	1.50 high/0.60m wide
Drive aisle slope (m) – maximum	0	8
Driveway slope (m) - maximum	5	15
Driveway/parking material	concrete	concrete/asphalt
Driveway view lines	Yes	45° within 3m of an exist to a street
<b>Loading Space</b>		
Width (m) – minimum	4	4
Length (m) – minimum	10	9
Height (m) – minimum	4.50	4.30
Setback from street (m) – minimum	n/a	3
Access from street (m) - minimum	8	5
<b>Bicycle parking stalls</b>		

Zoning Criteria	Proposal	Zone Standard M-1 Zone
Long-term – minimum	6	6
Short-term - minimum	6	6

**Sustainability Features**

- site remediation due to environmental contamination from past industrial uses
- high-efficiency heating and ventilation system
- heat pump for hot water and ultra-low plumbing fixtures
- LED lighting fixtures
- solar shades
- EV charging stations
- bicycle parking and end-of-trip facilities.

**Consistency with Policies and Design Guidelines**

Official Community Plan

The OCP, 2012 identifies these properties within Development Permit Area (DPA) 10A: Rock Bay. DPA 10A encourages light industrial and commercial development on underutilized industrial and commercial lands in the Core Employment area. Moreover, the DPA envisions the enhancement of the neighbourhood through a high-quality architecture, landscape and urban design that reflects the area’s function as an employment district in scale, massing and character and that also responds to the industrial setting of Rock Bay.

Burnside Gorge Neighbourhood Plan

The *Burnside Gorge Neighbourhood Plan, 2017* supports retail uses on the ground floor along arterial roads, such as Douglas Street, and commercial or light industrial buildings where the ground level is built up to the street, with parking generally located to the rear or underground.

Downtown Core Area Plan

The subject properties are located within the Rock Bay District of the DCAP, 2012. The DCAP supports a transformation of the Rock Bay District into an attractive employment centre with a high-quality built form, landscaping and human scale public realm amenities.

Design Guidelines for Development Permit Area 10A: Rock Bay

- *Appendix 1: Public Outward View Guidelines, Appendix 3; Sidewalk Width Guidelines and Appendix 4: Building Design Guidelines in the Downtown Core Area Plan (2011) – revised 2021*
- *Advisory Design Guidelines for Buildings, Signs and Awnings (2006)*
- *Guidelines for Fences, Gates and Shutters (2010)*
- *Design Guidelines for Multi-Use Residential, Commercial and Industrial Development (2012), revised 2019.*

## ISSUES AND ANALYSIS

The following sections identify and provide a brief analysis of the areas where the Panel is requested to provide commentary. The Panel's commentary on any other aspects of the proposal is also welcome.

### Building Mass and Composition

The design guidelines strongly encourage a distinctive massing, building articulation and architectural treatments for buildings located on corner sites. The design guidelines also state that perceived building mass should be mitigated through the use of architectural elements, visually interesting rooflines, stepping back of upper floors, and detailing that creates rhythm and visual interest. Staff invite the ADP's input on the proposed building mass and composition.

### Building to Street Interface

The DCAP contain building to street interface design guidelines to support street vitality and safety. The following design guidelines are to be considered when evaluating the building to street interface:

- *emphasize the importance to have building entrances with lighting, architectural detail or other design strategies to ensure they are clearly visible and have direct access from public streets and sidewalks*
- *recess building entrances slightly from the main building face to enhance the building address and provide punctuation along the street*
- *incorporate a high proportion of transparent glazing at the street level to enhance the visual presence of the ground floor uses*
- *incorporate generous floor heights from ground floor commercial space with a minimum height of 4.5m to allow for access to natural light, spaciousness and greater flexibility for future changes of use.*

Staff invite the ADP's input on the proposed building to street interface with consideration of the above design guidelines.

### Selection and application of exterior finishes

The design guidelines recommend the use of high-quality, durable materials to maintain the condition of facades, a variety of textures and details in the exterior cladding materials and the use of durable natural materials for building features and accents to achieve visual interest. The proposed exterior materials include concrete, metal and spandrel glass. Staff invite the ADP's input on the selection and application of exterior finishes.

### North Elevation

The design guidelines discourage large, blank windowless and featureless walls that are visible from the public realm. The proposed building is located close to the north property line and therefore, windows are not permitted on the north elevation. The property to the north will likely redevelop in the future. The applicant is introducing colour to break up the blank wall and add some visual interest. Staff invite the ADP's input of the design of the north elevation.

## Landscaping

The design guidelines state that the scale and location of planting material should complement and be consistent with the scale and massing of buildings. Consider tree species in landscape areas that contribute to the City's urban forest is strongly encouraged in the DCAP. The proposed building occupies the entire site and there is limited space for landscaping. The application introduces soft landscaping along the building frontages to soften the visual appearance at the street level. Staff invite the ADP's input on the proposed soft landscaping and tree planting and

## **OPTIONS**

The following are three potential options that the Panel may consider using or modifying in formulating a recommendation to Council:

### **Option One**

That the Advisory Design Panel recommend to Council that Development Permit with Variances Application No. 00201 for 2300, 2310 and 2312 Douglas Street be approved as presented.

### **Option Two**

That the Advisory Design Panel recommend to Council that Development Permit with Variances Application No. 00201 for 2300, 2310 and 2312 Douglas Street be approved with the following changes:

- as listed by the ADP.

### **Option Three**

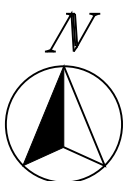
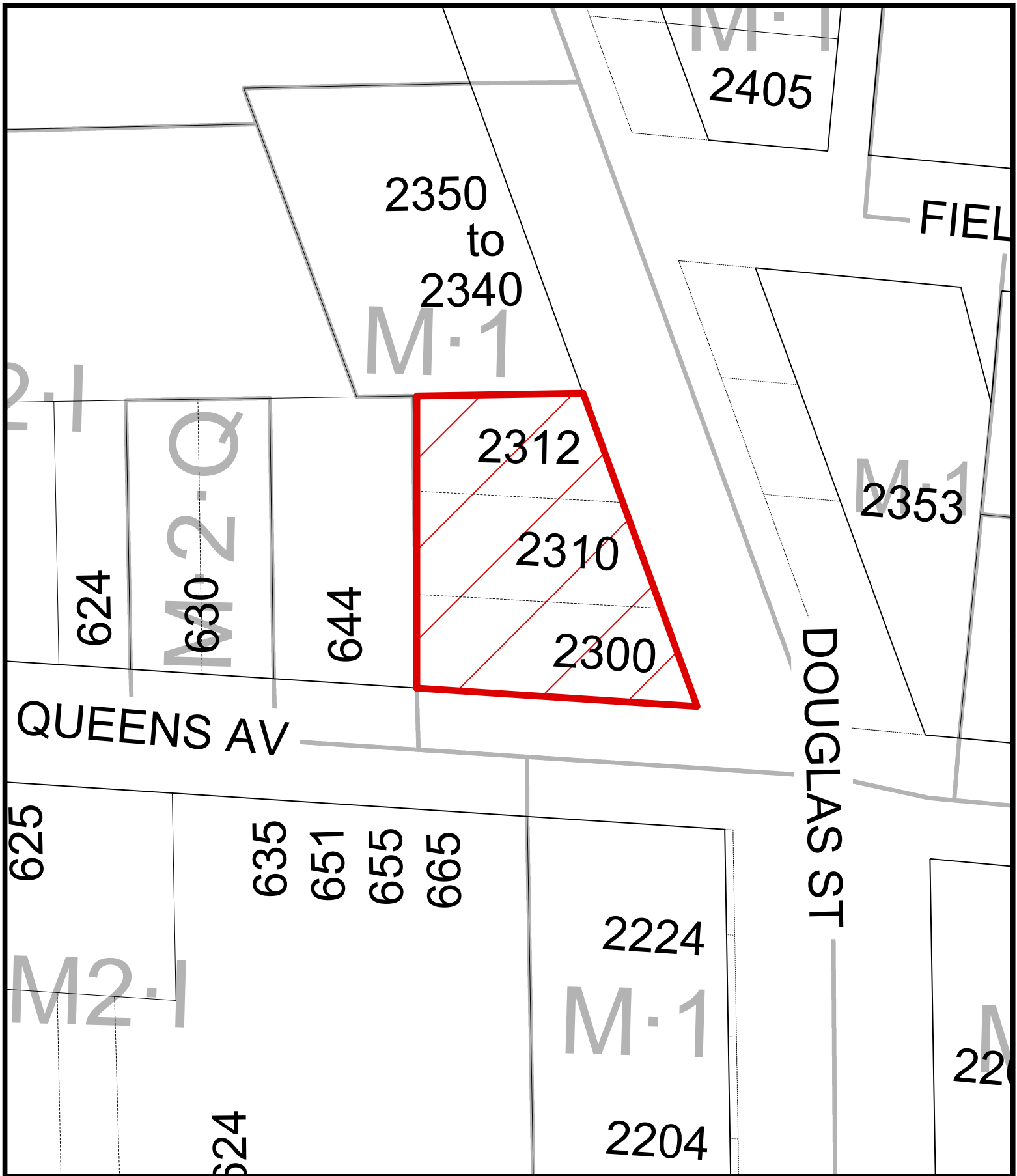
That the Advisory Design Panel recommend to Council that Development Permit with Variances Application No. 00201 for 2300, 2310 and 2312 Douglas Street does not sufficiently meet the applicable design guidelines and polices and should be declined (and that the key areas that should be revised include:)

- as listed by the ADP, if there is further advice on how the application could be improved.

## **ATTACHMENTS**

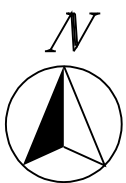
- Subject Map
- Aerial Map
- Plans date stamped June 22, 2022
- Landscape plans date stamped June 22, 2022
- Applicant's letter dated June 5, 2022.

cc: BG Douglas Ventures Inc., Applicant; BFA studio Architects, Architect.



2300 to 2312 Douglas Street  
 Development Permit with Variance No.00201





2300 to 2312 Douglas Street  
Development Permit with Variance No.00201





# Commercial and Self-Storage Development

2300, 2310 & 2312 Douglas Street, Victoria, BC

BG DOUGLAS VENTURES INC.

**bfa** studio  
architects

ECO-REGIONAL ARCHITECTURE + INTERIOR DESIGN

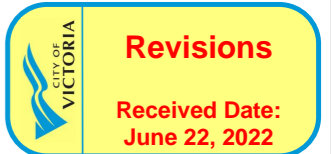
(formerly Besharat Friars Architects)

600 - 355 Burrard Street  
Vancouver, BC V6C 2G8



## ARCHITECTURAL DRAWING INDEX

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REISSUED FOR  
DEVELOPMENT PERMIT  
16 JUNE 2022

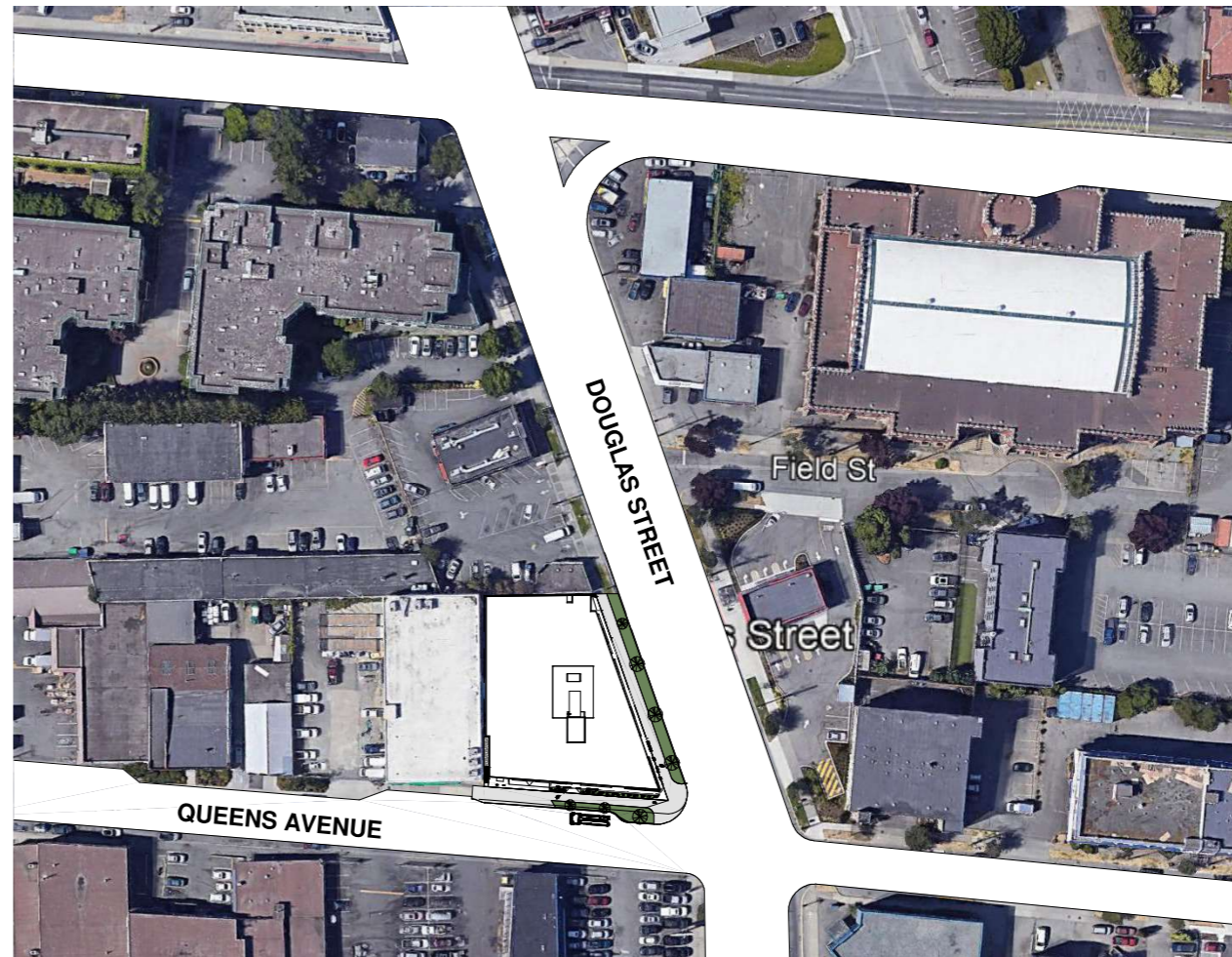
## ABBREVIATIONS LEGEND

ABB.	DESCRIPTION	ABB.	DESCRIPTION	ABB.	DESCRIPTION	ABB.	DESCRIPTION
A.F.F.	ABOVE FINISHED FLOOR	MTL.	METAL	ENCL.	ENCLOSURE	SM	SQUARE METERS
A.B.	AIR BARRIER	N/A.	NOT APPLICABLE	EQ.	EQUAL	S.S.	STAINLESS STEEL
ALUM.	ALUMINUM	N.I.C.	NOT IN CONTRACT	EXT.	EXTERIOR	STR.	STAIR
B.S.	BASEMENT	N.T.S.	NOT TO SCALE	F.D.	FLOOR DRAIN	STD.	STANDARD
BD.	BOARD	O.C.	ON CENTRE	FN.	FOUNDATION	T.O.	TOP OF
B.O.S.	BOTTOM OF SLAB	OF.	OPENING	FIN.	FINISH	T.O.C.	TOP OF CURB
B.O.W.	BOTTOM OF WALL	F-4-S	PEEL & STICK	FLR.	FLOOR	T.O.F.	TOP OF FLOOR
B.L.D.G.	BUILDING	PLYM.	PLYWOOD	FTG.	FOOTING	T.O.F.	TOP OF PARAPET
C.B.	CATCH BASIN	PREFIN.	PRE-FINISHED	GA.	GAUGE	T.O.W.	TOP OF WALL
C.I.P.	CAST-IN-PLACE	P.T.	PRESSURE TREATED	GL.	GLASS	T.	TREAD
CLG.	CALLING	PL.	PROPERTY LINE	GR.	GRADE	TYP.	TYPICAL
CL.	CEILING	R.	RADIUS	GWB	GYPSUM WALLBOARD	UG	UNDERGROUND
CL	CENTRE LINE	R.	RISER	H/C	HANDICAPPED	US	UNDERSIDE
CW	COMPLETE WITH	R.W.L.	RAIN WATER LEADER	HT.	HEIGHT	UNO	UNLESS NOTED OTHERWISE
CONC.	CONCRETE	REQD.	REQUIRED	HORIZ.	HORIZONTAL	UP	UPPER FLOOR
CONT.	CONTINUOUS	REV.	REVISION	H.B.	HOSE BIB	V.B.	VAPOUR BARRIER
CJ	CONTROL JOINT	R 4 5	ROD & SHELF	HR.	HOUR	VERT.	VERTICAL
CORR.	CORRIDOR	RM.	ROOM	HWH	HOT WATER HEATER	W.C.	WATER CLOSET (TOILET)
DIA.	DIAMETER	R.D.	ROOF DRAIN	LIN.	LINEN	WD	WASHER DRYER
DN	DOWN	R.O.	ROUGH OPENING	MAX.	MAXIMUM	WD.	WOOD
DWGS	DRAWINGS	STL.	STEEL	M.ECH.	MECHANICAL	W.I.C.	WALK-IN CLOSET
DW	DISHWASHER	STRUCT.	STRUCTURAL	MEZZ.	MEZZANINE	W	WITH
ELECT.	ELECTRICAL	SPEC.	SPECIFICATION	M.N.	MINIMUM	W.P.	WATERPROOF
ELEV.	ELEVATION	SF	SQUARE FEET	MISC.	MISCELLANEOUS	WR	WASHROOM

## PROJECT / CONSULTANT TEAM

OWNER	ARCHITECT / INTERIOR DESIGNER	STRUCTURAL ENGINEERING	MECHANICAL ENGINEERING	ELECTRICAL ENGINEERING	ENVIRONMENTAL CONSULTANT	LANDSCAPE ARCHITECT	CIVIL ENGINEERING	GEOTECHNICAL ENGINEER	
<b>BG Douglas Venures Inc.</b>  TEL: 604.319.4350 - 778.389.5444	<b>BFA Studio Architects</b> #600 - 355 Burrard St. Vancouver, BC  TEL: 604.662.8544	<b>Glotman Simpson</b> 1661 West 5th Avenue, Vancouver, BC V6J 1N5  TEL: 250.900.4915	<b>Building Enrgy Solutions Ltd.</b> 722 - 550 West Broadway, Vancouver BC  TEL: 778.371.3459	<b>Building Enrgy Solutions Ltd.</b> 722 - 550 West Broadway, Vancouver BC  TEL: 778.371.3459	<b>Active Earth</b> 105 - 4343 TYNDALL AVENUE, Victoria BC  TEL: 604-314-5477	<b>LADR Landscape Architects</b> 3 - 864 QUEENS AVENUE, Victoria BC  TEL: 250-598-0105	<b>Big Fish Endeavours</b> 824 LESLIE DRIVE, Victoria BC  TEL: 250.888.0385	<b>GEOPACIFIC</b> 3351 Douglas Street, Victoria BC  TEL: 250.686.7344	
<b>BUNT ENGINEERING Ltd.</b> Suite 530, 645 Fort Street Victoria, BC V8W 1G2  TEL: 778.885.0259	<b>UNDERHILL GEOMATICS</b> 8337 Eastlake Dr #301, Burnaby, BC V5A 4W2  TEL: 250.813.2609	<b>KNIGHT SIGNS</b> 7462 Progress Way, Delta, BC, V4G 1E1  TEL: 604.952.9020	<b>PONTEM GROUP</b> Suite 309 - 63 W 6th Ave, Vancouver, BC V5Y 1K2  TEL: 604.202.8248						

PROJECT INFORMATION TABLE					NOTES
ZONE (EXISTING)	M-1				
SITE AREA	1,500.3	SM	16,149.1	SF	
TOTAL FLOOR AREA	4,341.5	SM	46,731.0	SF	
COMMERCIAL FLOOR AREA	243.2	SM	2,618.0	SF	
FLOOR SPACE RATIO	3.00		2.89		
SITE COVERAGE %	1,325.6	SM	14,269.0	SF	88.3%
OPEN SITE SPACE %	154.0	SM	1,657.6	SF	10.0%
HEIGHT OF BUILDING	15	M	49.2	FT	
NUMBER OF STOREYS	4				
PARKING STALLS (NUMBER) ON SITE	19				INCLUDING 1 LOADING
BICYCLE PARKING NUMBER (STORAGE & RACK)	12				
<b>BUILDING SETBACKS</b>					
FRONT YARD/DOUGLAS/EAST	1.00	M	9.84	FT	
QUEENS AVENUE/SOUTH	2.17	M	7.12	FT	
SIDE YARD/NORTH	0.10	M	0.33	FT	
SIDE YARD/WEST	0.30	M	0.98	FT	
COMBINED SIDE YARDS	NA	M	NA	FT	
<b>RESIDENTIAL USE DETAILS</b>					
TOTAL NUMBER OF UNITS					NA
UNIT TYPE					NA
GROUND-ORIENTATED UNITS					NA
MINIMUM UNIT FLOOR AREA (M2)					NA
TOTAL RESIDENTIAL FLOOR AREA (M2)					NA



CONTEXT PLAN



OCP PLAN



ZONING MAP

REVISIONS		
NO.	DESCRIPTION	DATE
1-	ISSUED FOR DP	2022-03-25
2-	REISSUED FOR DP	2022-06-16

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CLIENT

BG DOUGLAS VENTURES INC.

PROJECT NO. 21500

PROJECT  
Commercial and Self-Storage  
Development  
2300, 2310 & 2312 Douglas  
Street, Victoria, BC

DRAWING TITLE

CONTEXT PLAN

SEAL



DRAWING NO. I REVISION

**A001**

DATE 06/16/22 DRAWN Author  
SCALE N/A CHECKED  
N/A CHECKER

NO.	DESCRIPTION	DATE
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ZONING STATISTICS										
<b>PROJECT DESCRIPTION</b>		TO DEVELOP THE SITE FOR A FOUR STOREY INDUSTRIAL BUILDING COMPRISING OF TWO LEVELS OF BASEMENT, STREET/LEVEL ONE LIGHT MANUFACTURING, PARKING & SELF-STORAGE CUSTOMER LOUNGE/RETAIL, AND 3 STOREYS OF SELF-STORAGE BUILDING ABOVE.								
<b>LEGAL DESCRIPTION</b>		LOT 24, 25 AND 26 ALL ON SECTION 3, VICTORIA, PLAN 936								
<b>PID</b>		008-170-037; 008-170-045; 008-170-053								
<b>CIVIC ADDRESS PRESENT</b>		2300, 2310 & 2312 DOUGLAS STREET								
<b>CIVIC ADDRESS FUTURE</b>		TBD								
<b>BUILDING CODE</b>		BCBC 2018 - GROUP F2, F3, E AND POTENTIAL A2 - BCBC 2018								
<b>HERITAGE BUILDINGS</b>		NA								
<b>LOT AREA</b>		16,150	SF	1,500.3	SM	PROVIDED BY SURVEYOR				
<b>LOT SIZE</b>				FT	M					
		NORTH		82.77	25.23					
		EAST / DOUGLAS ST		162.82	49.63					
		SOUTH / QUEENS AVE		137.28	41.84					
		WEST		141.96	43.27					
<b>OCP AND NEIGHBOURHOOD DESIGNATION</b>		CORE EMPLOYMENT AND BURNSIDE GORGE NEIGHBOURHOOD PLAN								
<b>ZONING PRESENT</b>		M-1 ZONE, LIMITED LIGHT INDUSTRIAL DISTRICT								
<b>REZONING</b>		NOT APPLICABLE								
		<b>REQUIRED / PERMITTED</b>				<b>PROPOSED</b>				<b>NOTES</b>
<b>SITE AREA</b>		16,150	SF	1,500.3	SM					
<b>DENSITY / FLOOR SPACE RATIO / FSR - 3.0</b>		48450	SF	4,501.0	SM	46731	SF	4,341	SM	MAXIMUM DENSITY ALLOWED: 3.00 - PROPOSED FSR: 2.81
<b>SITE COVERAGE</b>		NA	SF	NA	SM	14314	SF	1,330	SM	PROPOSED 88.30%
<b>OPEN SITE COVERAGE</b>		NA	SF	NA	SM	1658	SF	154	SM	PROPOSED 10.30%
<b>MAXIMUM HEIGHT (OUTRIGHT)</b>		49.2	FT	15.00	M	49.2	FT	15.00	M	
<b>NUMBER OF STOREY</b>		4				4				
<b>SITING / SETBACK</b>		<b>REQUIRED / PERMITTED</b>				<b>PROPOSED</b>				
		FT	M			FT	M			
<b>CORNER LOT DIAGONAL</b>				3		9.84	3.00			
<b>NORTH</b>		0.00	0.0			0.33	0.10			PROPOSED VARIANCE - STRUCTURAL REQUIREMENT FOR SEISMIC DRIFT
<b>EAST/DOUGLAS STREET</b>		3.28	1.0			3.28	1.00			
<b>SOUTH/QUEENS AVENUE</b>		9.84	3.0			7.12	2.17			PROPOSED VARIANCE - 2.2 M PROVIDED TO MEET 3.34 M HYDRO LINE SETBACK
<b>WEST</b>		0.00	0.0			0.98	0.30			PROPOSED VARIANCE - STAIR 2 PORTION SETBACK INCREASED TO ALIGN WITH BASEMENT SETBACK
<b>VEHICLE OFF STREET PARKING SPACES</b>		<b>REQUIRED / PERMITTED</b>				<b>PROPOSED</b>				
<b>INDUSTRIAL AND LIGHT MANUFACTURING</b>		140	SM	2			2			
<b>WAREHOUSE</b>		100	SM	41			17			
<b>TOTAL EXCLUDING BASEMENTS</b>				43			19			PROPOSED VARIANCE - REFER TO BUNT PARKING/TRANSPORTATION REPORT
<b>LOADING SPACES</b>		<b>REQUIRED / PERMITTED</b>				<b>PROPOSED</b>				
							3			1 LOADING AND 2 VAN SPACES ARE INCLUDED IN VEHICLE RATIO
<b>BICYCLE PARKING SPACES</b>		<b>REQUIRED / PERMITTED</b>				<b>PROPOSED</b>				
<b>LONG TERM</b>		1,200	SM	3			6			
<b>SHORT TERM</b>		6 SPACES		6			6			
<b>ELECTRIC VEHICLE CHARGING</b>										
<b>GREATER OF 2 ENERGIZED STALLS OR 5% OF TOTAL NUMBER</b>										PROVIDED 3 ADDITIONAL LONG TERM STALLS
<b>NOTES:</b>										
1. ALL AREAS AND CALCULATIONS ARE APPROXIMATE, & WILL BE ADJUSTED DURING LATER PHASES OF PROJECT										
2. VALUES LISTED IN ABOVE AREA CALCULATIONS ARE DETERMINED IN GENERAL ACCORDANCE WITH THE METHODOLOGY REQUIRED IN CITY OF VICTORIA BYLAWS										
3. VALUES LISTED IN BUILDING CODE DATA SHEET ARE DETERMINED IN ACCORDANCE WITH THE METHODOLOGY REQUIRED IN BCBC 2018										
4. WALL THICKNESS EXCLUSION AREAS ARE APPROXIMATE AND WILL BE ADJUSTED BASED ON FINAL WALL ASSEMBLIES & REQUIRED ENERGY ANALYSIS										

CLIENT

BG DOUGLAS VENTURES INC.

PROJECT NO.

21500

PROJECT

Commercial and Self-Storage  
Development  
2300, 2310 & 2312 Douglas  
Street, Victoria, BC

DRAWING TITLE

ZONING DATA

SEAL



DRAWING NO.

REVISION

**A001A**

DATE

06/16/22

SCALE

N/A

DRAWN

Author

CHECKED

Checker

**REVISIONS**

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1-	ISSUED FOR DP	2022-03-25
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**WEST STREETSCAPE ALONG DOUGLAS STREET**



**EAST STREETSCAPE ALONG DOUGLAS STREET**



**CORNER OF DOUGLAS STREET & QUEENS AVENUE**



**QUEENS AVENUE STREETSCAPE**

CLIENT

BG DOUGLAS VENTURES INC.

PROJECT NO.

21500

PROJECT

Commercial and Self-Storage  
Development  
2300, 2310 & 2312 Douglas  
Street, Victoria, BC

DRAWING TITLE

STREETSCAPES

SEAL



DRAWING NO.

REVISION

**A001B**

DATE

06/16/22

SCALE

N/A

DRAWN

Author

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PROJECT NO.

21500

PROJECT

Commercial and Self-Storage  
Development  
2300, 2310 & 2312 Douglas  
Street, Victoria, BC

DRAWING TITLE

BASE SITE PLAN

SEAL



DRAWING NO. REVISION

**A002**

DATE

06/16/22

DRAWN

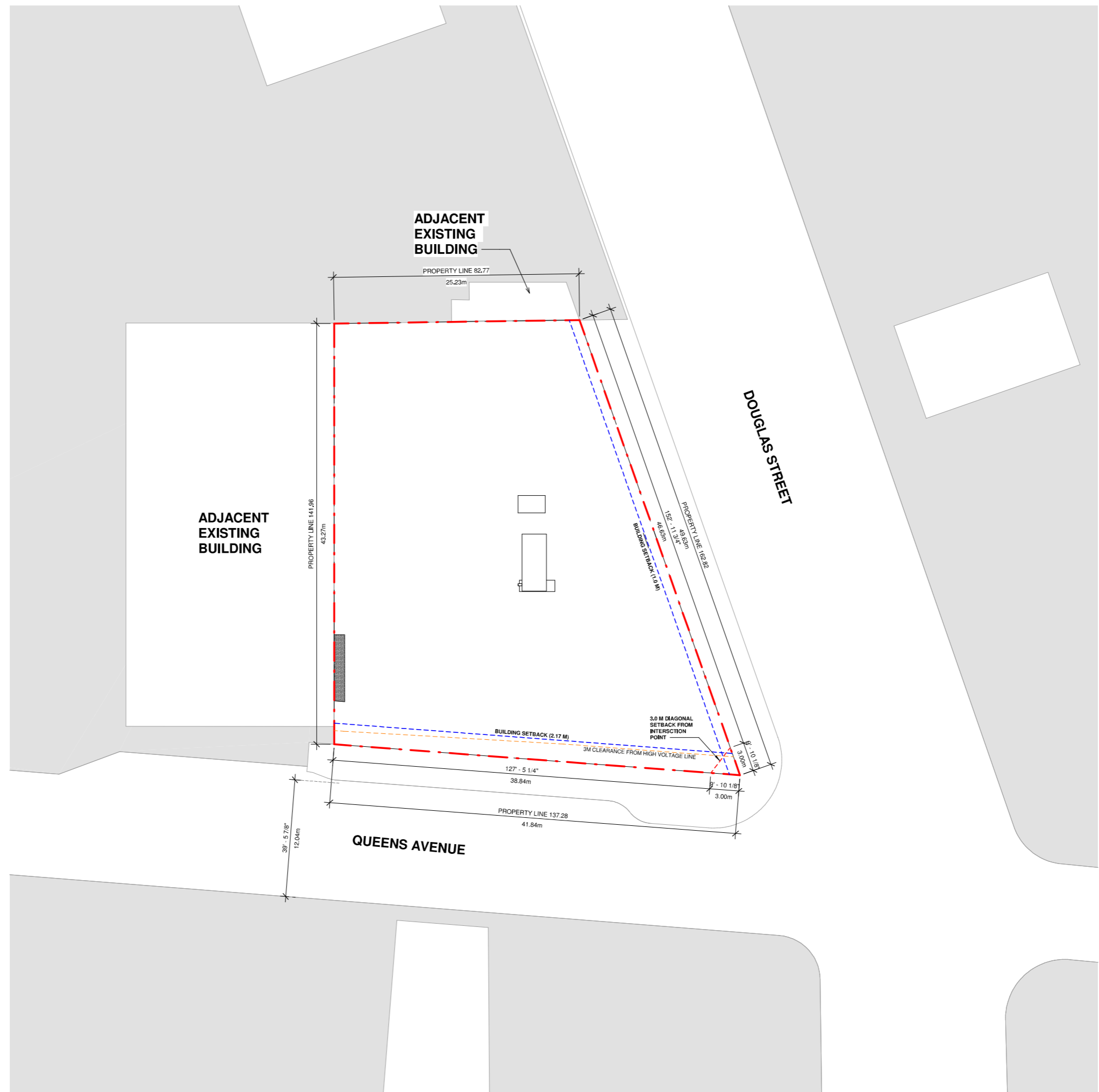
Author

SCALE

1/16" = 1'-0"

CHECKED

Checker



LEGEND	
	PROPERTY LINE
	BUILDING SETBACK LINE
	3M CLEARANCE FROM HIGH VOLTAGE LINE

SITE AREA	
SF	16,150
SM	1,500

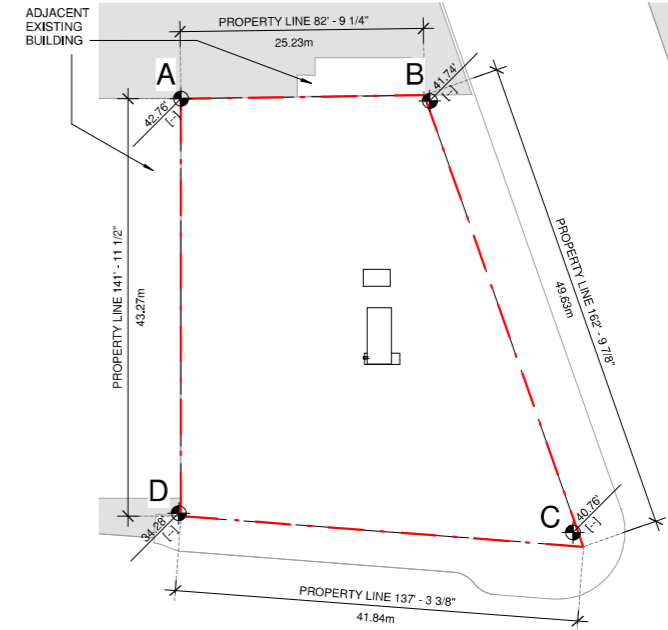
**BASE SITE PLAN**

REVISIONS		
NO.	DESCRIPTION	DATE
1-	ISSUED FOR DP	2022-03-25
2-	REISSUED FOR DP	2022-06-16

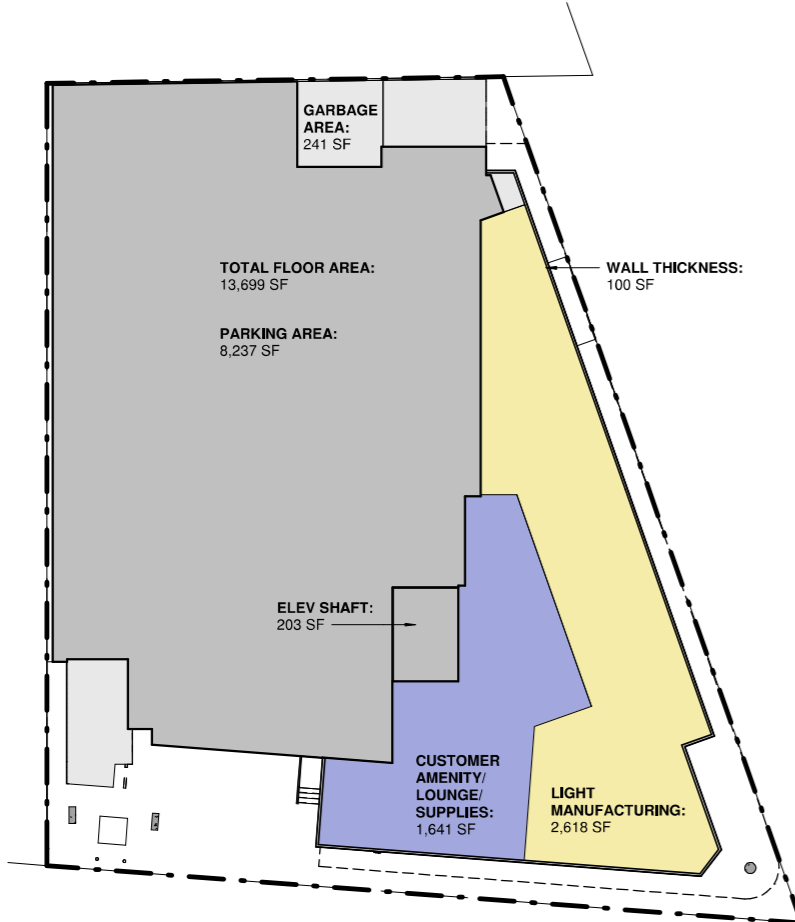
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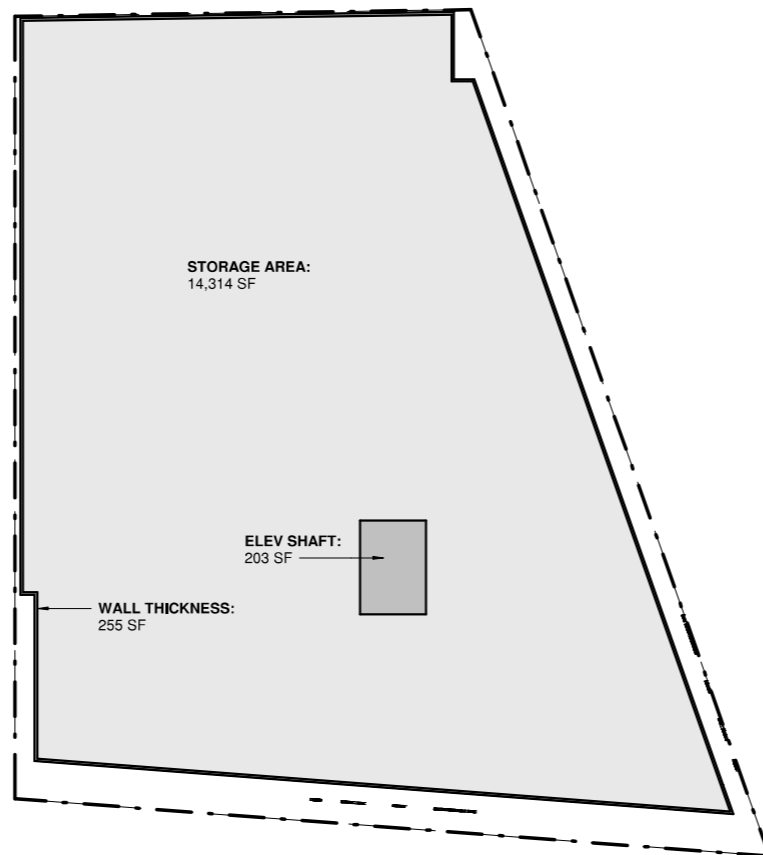
**AVERAGE GRADE CALCULATION:**



Point	Elev. (ft)	Point	Elev. (ft)	Segment	Average Elevation (ft)	Length (ft)	Elevation x Length = Z
A	42.76	B	41.74	AB	42.25	82.77	3497.03
B	41.74	C	40.76	BC	41.25	162.82	6716.33
C	40.76	D	34.28	CD	37.52	137.28	5150.75
D	34.28	A	42.76	DA	38.52	141.96	5468.30
					<b>TOTAL</b>	<b>TOTAL LENGTH</b>	<b>Total 'Z'</b>
					159.5	524.83	20832.40
					<b>AVERAGE GRADE</b>		<b>39.69</b>
					<b>MAXIMUM HEIGHT = A.N.E.G. + 49.21'</b>		<b>88.90</b>



**LEVEL 1 AREA**



**LEVEL 2 TO 4 AREA**

AREA CALCULATIONS SUMMARY																		
	A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	P=I+O	Q	
												EXCLUSION						
LEVEL	NUMBER OF FLOORS	CIRCULATION (SF)	LOCKERS (SF)	LIGHT MANUFACTURING (SF)	CUSTOMER AMENITY/ LOUNGE/ SUPPLIES	WASHROOM AREA (SF)	GARBAGE & RECYCLING RM (SF)	TOTAL GROSS (SF)	TOTAL GROSS (SM)	PARKING / LOADING (SF)	WALL THICKNESS (SF)	ELEVATOR SHAFTS (SF)	BICYCLE STORAGE (SF)	TOTAL EXCLUSIONS (SF)	TOTAL FSR (SF)	TOTAL FSR (SM)		
LEVEL 1/ STREET	1	0	0	2,618	1,641	67	241	13,699	1,273	8,237	98	203	0	8,538	5,161	479		
LEVEL 2	1	0	0	0	0	109	0	14,314	1,330	0	255	203	0	458	13,857	1,287		
LEVEL 3	1	0	0	0	0	109	0	14,314	1,330	0	255	203	0	458	13,857	1,287		
LEVEL 4	1	0	0	0	0	109	0	14,314	1,330	0	255	203	0	458	13,857	1,287		
SUBTOTAL	4	0	0	2,618	1,641	395	241	56,642	5,262	8,237	864	810	0	9,911	46,731	4,341		
				243														
BASEMENT LEVEL 1 (EXCLUDED)			0	0	0	111	0	13,626	1,266									
BASEMENT LEVEL 2 (EXCLUDED)			0	0	0	111	0	13,626	1,266									
TOTAL:								83,895	7,794									
SITE AREA:		16,150		SF														
TOTAL FSR:		46,731		SF	2.89													
MAX ALLOWED FSR:		48,450		SF	3.00													
ADDITIONAL FSR ALLOWED:		1,719		SF														
PARKING	RATIO (SM/SPACE)		FLOOR AREA (SM)	REQUIRED	PROVIDED													
MAIN AND UPPER	140 (MAIN), 100 (2,3,4)	MAIN, 2, 3, 4	4,341	43														
SUB-TOTAL				43	19													

CLIENT

BG DOUGLAS VENTURES INC.

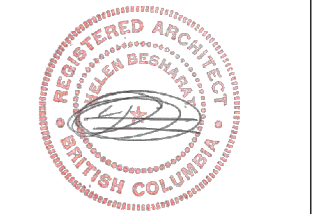
PROJECT NO. 21500

PROJECT Commercial and Self-Storage Development  
2300, 2310 & 2312 Douglas Street, Victoria, BC

DRAWING TITLE

AREA CALCULATIONS

SEAL



DRAWING NO. I REVISION

**A003**

DATE 06/16/22 DRAWN Author  
SCALE N/A CHECKED  
N/A CHECKER

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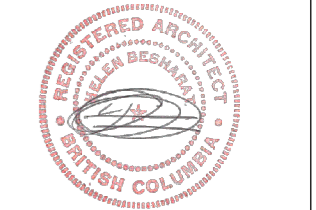
BG DOUGLAS VENTURES INC.

PROJECT NO. 21500

PROJECT  
Commercial and Self-Storage Development  
2300, 2310 & 2312 Douglas Street, Victoria, BC

DRAWING TITLE  
FIRE DEPARTMENT SITE PLAN

SEAL



DRAWING NO. REVISION

**A004**

DATE 06/16/22  
SCALE 1/16" = 1'-0"  
DRAWN Author  
CHECKED  
CHECKER

LEGEND	
	SIAMESE CONNECTION
	FIREFIGHTER'S RESPONSE POINT
	FIREFIGHTER ACCESS ROUTE
CL	ROAD CENTRELINE GRADE
	PROPOSED FIRE HYDRANT WITH 45m RADIUS BOUNDARY

**2018 BRITISH COLUMBIA BUILDING CODE SUMMARY**

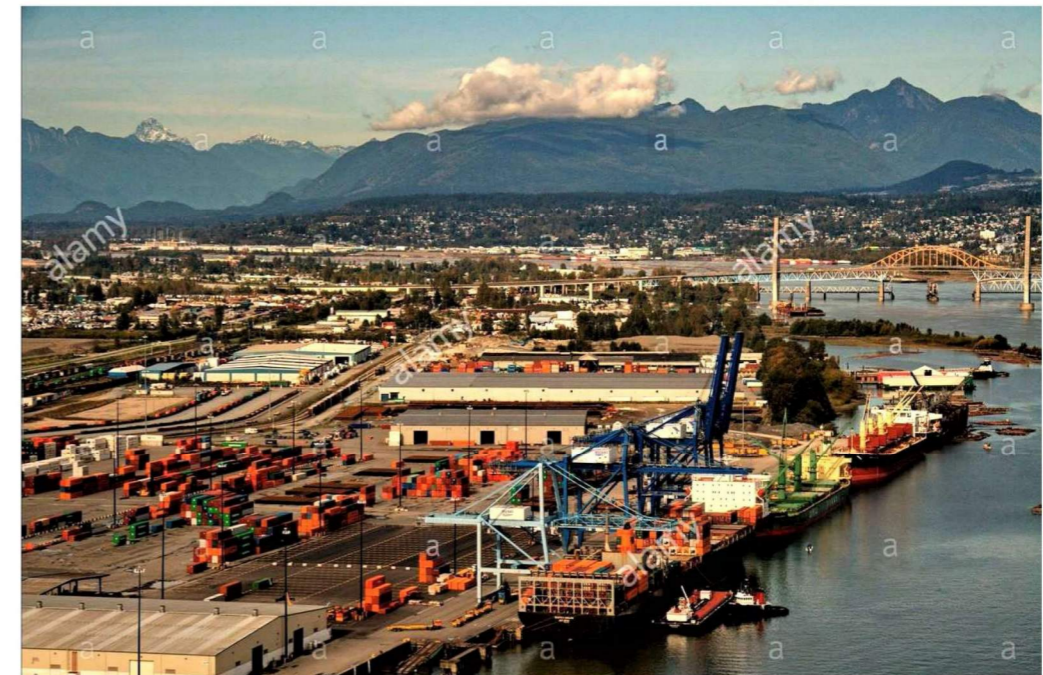
Self Storage Development, 2300, 2310 and 2312 Douglas Street, Victoria, BC		NOTES
Construction Article	3.2.2.77. Group F, Division 2, up to 4 Storeys, Sprinklered (1) 3.2.2.59. Group D, up to 4 Storeys, Sprinklered (2) 3.2.2.65. Group E, up to 4 Storeys, Sprinklered (2) 3.2.2.84. Group F, Division 3, up to 4 Storeys, Sprinklered (2)	(1): Group F2: Basement 1-2, Levels 2-4 (2): Groups D, E, F2, F3: Level 1, Light Manufacturing Areas #1-4 must be considered major occupancies if they are intended to be occupied by tenants. Note: Any of the Light Manufacturing Areas with low occupant load (max. 30 persons) with Group A2 major occupancy would be considered a Group D major occupancy (Article 3.1.2.6.). Level 1 Light Manufacturing Areas #1-4 may be considered subsidiary occupancies if they will not be occupied by tenants.
Subsidiary/Minor Occupancy	Group D, E, F2, F3	
Building Construction	Combustible construction or noncombustible construction used singly or in combination (Noncombustible proposed)	
Maximum Building Height	Max. 4 storeys	
Maximum Building Area	Max. 2,400 m <sup>2</sup> for 4 storeys (Provided = 1,326.2 m <sup>2</sup> )	The restrictive area requirement must be applied if Article 3.2.2.65. is used (1,800 m <sup>2</sup> ).
Floor Assemblies above Ground	45 min fire-resistance rating 1 h fire-resistance rating (1)	(1): Fire-resistance rating must comply with any additional construction article requirements (Articles 3.2.2.59, and/or 3.2.2.65.). Only the floor assembly located above the ground level Unit(s) and its loadbearing supports need to comply with the rating outlined in the construction article which the Unit(s) below under.
Floor Assemblies at Ground Level	45 min fire-resistance rating	
Floors below Ground	3 h fire-resistance rating	
Loadbearing Supports above Ground	45 Min. Fire-resistance rating or Non-combustible construction Same rating as the assembly it supports (1)	(1): Fire-resistance rating must comply with any additional construction article requirements (Articles 3.2.2.59, and/or 3.2.2.65.). Only the floor assembly located above the ground level Unit(s) and its loadbearing supports need to comply with the rating outlined in the construction article which the Unit(s) below under.
Loadbearing Support below Ground	Same rating as the assembly it supports	
Roof Assemblies	No fire-resistance rating requirement	
Roof Covering	Class A, B or C roof covering classification	
Exterior Walls	North & West building face: 2 h fire-resistance rating, noncombustible construction, noncombustible cladding	Spatial separation requirements per Article 3.2.3.1.
Sprinkler System	Required and will be provided - system is to comply with NFPA 13 - 2013	
Standpipe System	Required and will be provided - system is to comply with NFPA 14 - 2013	
Fire Alarm System	Required and will be provided - system is to comply with CAN/ULC-S524-14 and monitored by a monitoring station in conformance with CAN/ULC-S561-13	
Emergency Power	30 min duration as per 3.2.7.4, and 3.2.7.8.	
Street Facing	2 Streets	
Emergency Crossover Floors	Doors providing access to floor areas from exit stairs shall not have locking devices to prevent entry into any floor area from which the travel distance up or down to an unlocked door is more than 2 storeys (3rd storey proposed as cross-over floor).	

Water Closet Summary (BCBC Section 3.7 Health Requirement)					
Occupancy Type	Occupant Load	Number of Each Sex	Number of Water Closets Required		Notes
			M	F	
Light Manufacturing/Retail (per CRU on Self-Storage Table 3.7.2.2.B)	max. 30	10(a)	1		CRU O.L. is assumed and must be verified at T1 phase for each unit
Self-Storage (per floor, Basement 1-2, Levels 2-4): Table 3.7.2.2.C	116	58	4	4	

(a) The number of water closets required in a suite of mercantile occupancy whose area is not more than 500 m<sup>2</sup> is permitted to be determined in accordance with Table 3.7.2.2.-B based solely on the total number of staff. The number of staff in each retail unit is not expected to be more than 10, based on the area of the retail units [Sentence 3.7.2.2.(16)]. Both sexes are permitted to be served by a single water closet with an occupant load of not more than 10 [Sentence 3.7.2.2.(4)].



**FIRE DEPARTMENT SITE PLAN**



**bfa studio**  
architects

600 - 355 Burrard Street  
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www.besharathiers.com

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CLIENT

BG DOUGLAS VENTURES INC.

PROJECT NO. 21500

PROJECT  
Commercial and Self-Storage  
Development  
2300, 2310 & 2312 Douglas  
Street, Victoria, BC

DRAWING TITLE

INSPIRATIONS

SEAL



DRAWING NO. REVISION

**A005**

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**SOUTH-EAST VIEW FROM ORNER OF DOUGLAS AND QUEENS**

**SOUTH-EAST VIEW (CORNER)**



**ARIAL VIEW OF NEIGHBOURHOOD**

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PROJECT

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 2300, 2310 & 2312 Douglas Street, Victoria, BC**

DRAWING TITLE

**3D PERSPECTIVES**

SEAL



DRAWING NO.

REVISION

**A007**

DATE

06/16/22

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Author

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**SOUGHT-EAST VIEW**



**EAST VIEW**



**NORTH-EAST VIEW**

**bfa studio architects**

600 - 355 Burrard Street Vancouver, BC V6C 2G8  
 T 604 662 8544 F 604 662 4069  
 www.besharathiers.com info@besharathiers.com

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CLIENT

**BG DOUGLAS VENTURES INC.**

PROJECT NO.

21500

PROJECT

Commercial and Self-Storage Development  
 2300, 2310 & 2312 Douglas Street, Victoria, BC

DRAWING TITLE

3D PERSPECTIVES

SEAL



DRAWING NO.

REVISION

**A008**

DATE

06/16/22

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Author

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**SOUTH VIEW**



**SOUTH-WEST VIEW**



**SOUTH CORNER VIEW**

**bfa studio architects**

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CLIENT

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PROJECT

Commercial and Self-Storage  
 Development  
 2300, 2310 & 2312 Douglas  
 Street, Victoria, BC

DRAWING TITLE

3D PERSPECTIVES

SEAL



DRAWING NO.

**A009**

DATE

06/16/22

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Author

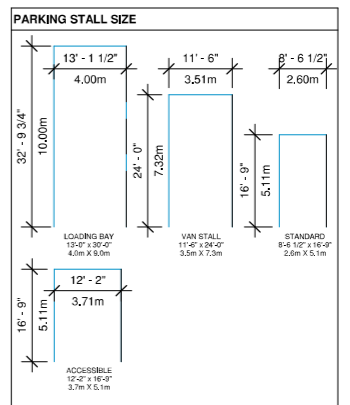
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SITE / GRADING PLAN

- GENERAL NOTES**
- REFER TO OWNER SUPPLIED SITE SURVEY.
  - REFER TO GEOTECHNICAL REPORT.
  - NOTE: NEIGHBORING BUILDING FOOTPRINT & PROPERTY LINES ARE APPROXIMATE. TO BE CONFIRMED BY SURVEYOR.
  - REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR ALL HARD AND SOFT LANDSCAPE DESIGN
  - REFER TO CIVIL DRAWINGS FOR SITE DRAINAGE AND GRADING INFORMATION
  - REFER TO MECHANICAL & ELECTRICAL DRAWINGS FOR MECHANICAL & ELECTRICAL RELATED ITEMS
  - CRU LAYOUTS ARE SCHEMATIC ONLY. DASHED LINES INDICATE POTENTIAL FUTURE TENANT IMPROVEMENTS REQUIRING FUTURE SEPARATE PERMITS.



- PARKADE NOTES**
- ALL PARKING, LOADING & BICYCLE STG AS PER CITY OF VICTORIA BY-LAW
  - SECTION 2.2 SCHEDULE C ZONING BYLAW (80-159), MINIMUM WIDTHS OF 2.7M WHERE THE PARKING SPACE ABUTS AN OBSTRUCTION ON THE SIDE, MINIMUM WIDTHS OF 3.0M WHERE THE PARKING SPACE ABUTS AN OBSTRUCTION ON BOTH SIDES; AND

**LEGEND - GRADING**

- XXX.XX [XXX.XXm] — EXISTING ELEVATIONS PROVIDED BY LAND SURVEYOR
- VALUE IN METERS
- XXX.XX — DESIGN ELEVATION (interpolated)
- T.O.S GRADE
- XXX.XX T.O.S — T.O. SLAB (or as noted in tag)

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CLIENT  
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PROJECT NO. 21500  
 PROJECT Commercial and Self-Storage Development  
 2300, 2310 & 2312 Douglas Street, Victoria, BC

DRAWING TITLE  
**SITE/GRADING PLAN**



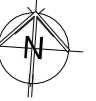
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**A100**

DATE 06/16/22 DRAWN Author  
 SCALE 3/32" = 1'-0" CHECKED  
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CLIENT

BG DOUGLAS VENTURES INC.

PROJECT NO. 21500

PROJECT  
Commercial and Self-Storage  
Development  
2300, 2310 & 2312 Douglas  
Street, Victoria, BC

DRAWING TITLE

BASEMENT 2

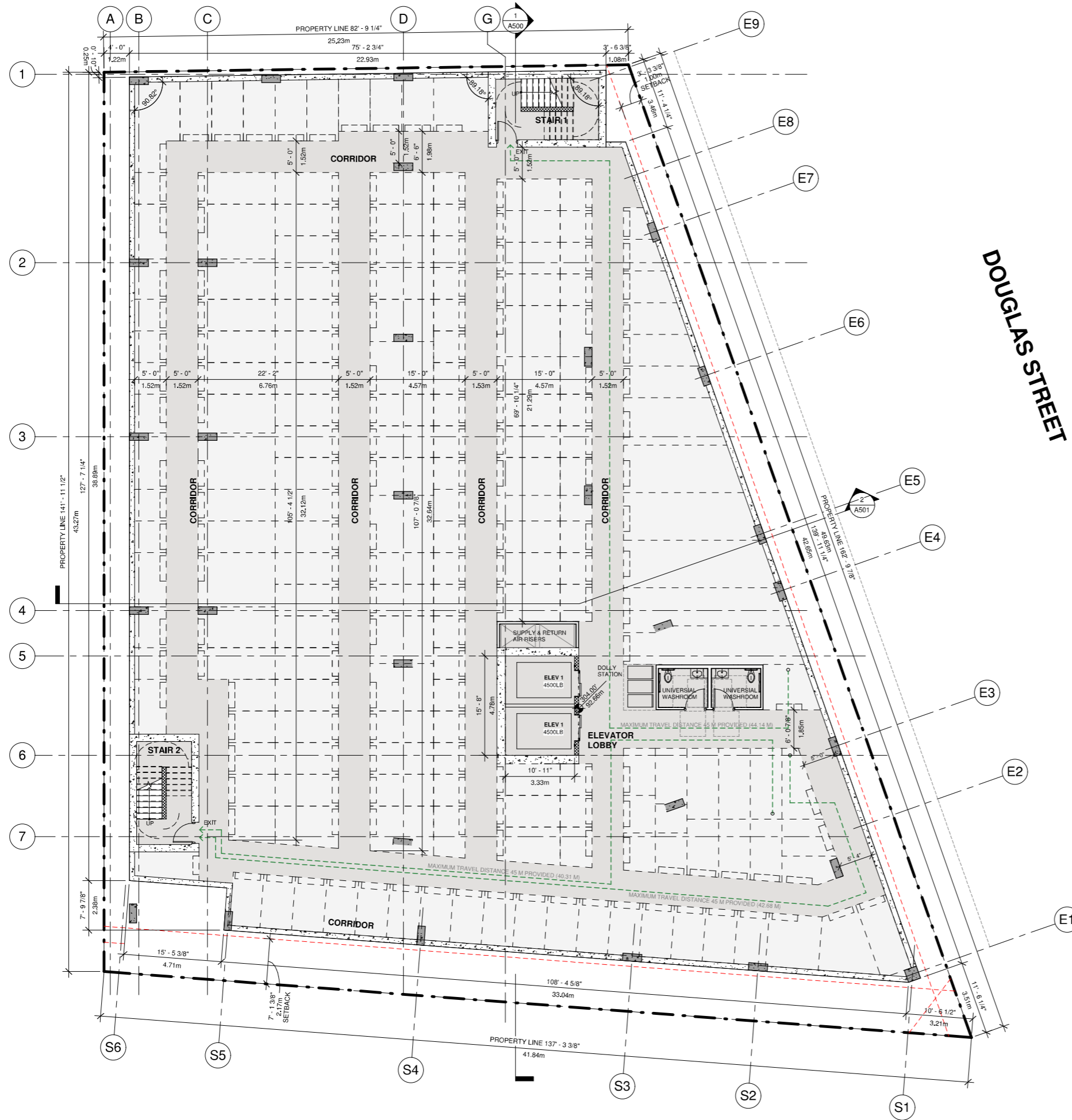
SCALE



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**A201**

DATE 06/16/22  
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BASEMENT 2

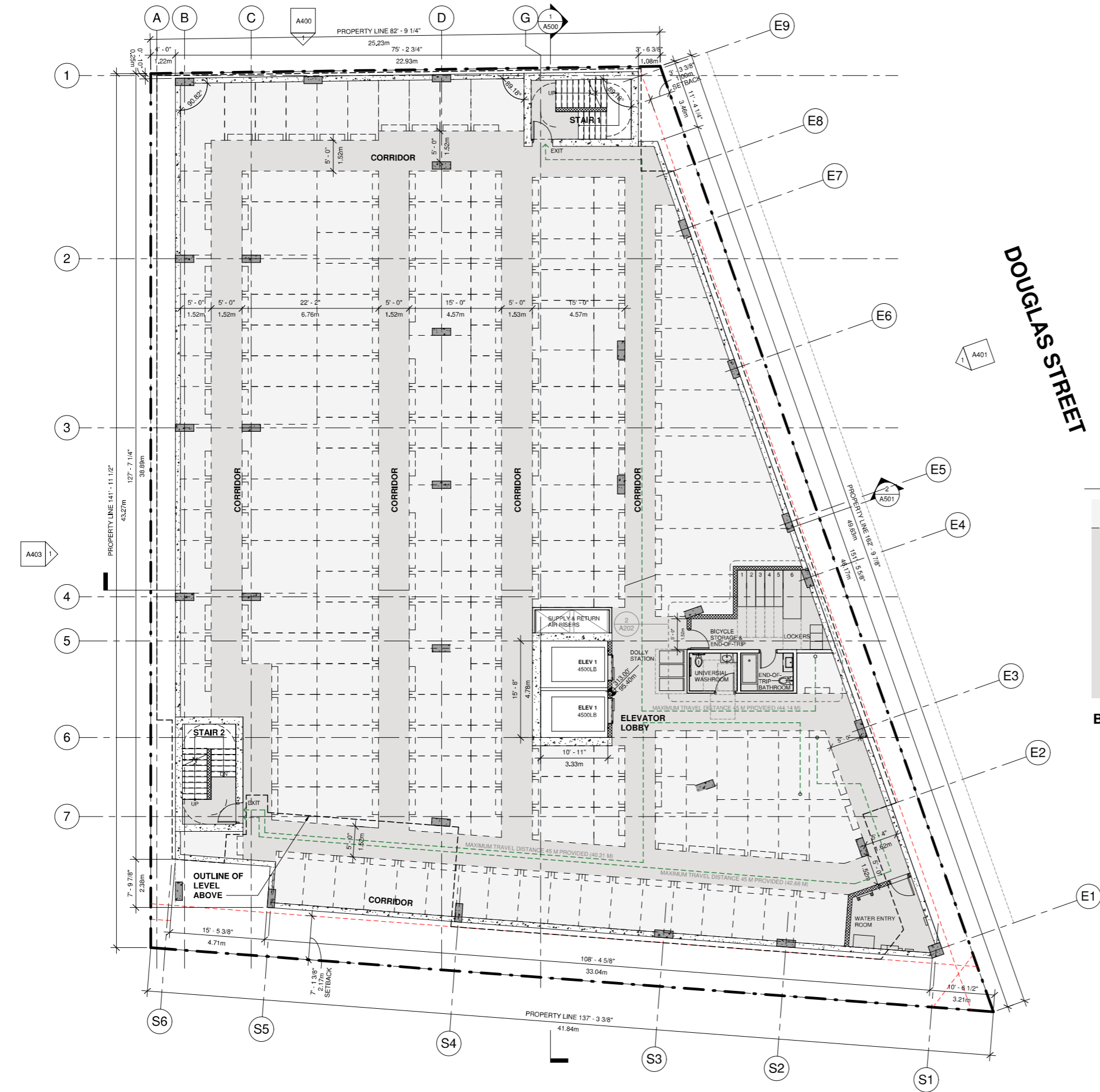
QUEENS AVENUE

- GENERAL NOTES**
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  - REFER TO GEOTECHNICAL REPORT.
  - NOTE: NEIGHBORING BUILDING FOOTPRINT & PROPERTY LINES ARE APPROXIMATE, TO BE CONFIRMED BY SURVEYOR.
  - REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR ALL HARD AND SOFT LANDSCAPE DESIGN
  - REFER TO CIVIL DRAWINGS FOR SITE DRAINAGE AND GRADING INFORMATION
  - REFER TO MECHANICAL & ELECTRICAL DRAWINGS FOR MECHANICAL & ELECTRICAL RELATED ITEMS
  - CRU LAYOUTS ARE SCHEMATIC ONLY. DASHED LINES INDICATE POTENTIAL FUTURE TENANT IMPROVEMENTS REQUIRING FUTURE SEPARATE PERMITS.

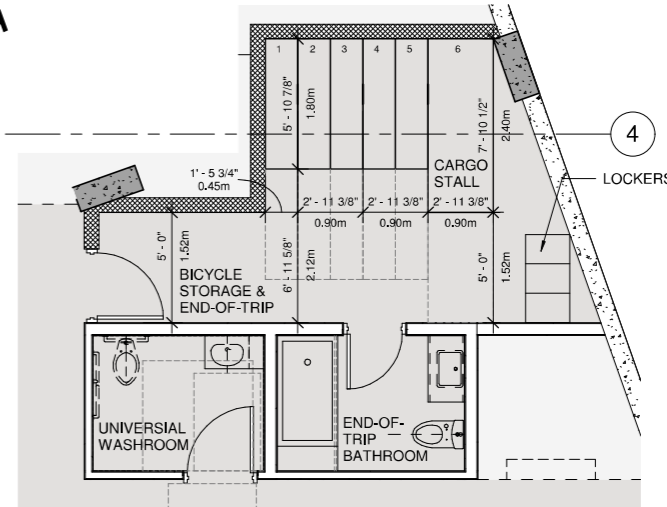
- LEGEND - GRADING**
- XXX.XX [XXX.Xxm] EXISTING ELEVATIONS PROVIDED BY LAND SURVEYOR
  - XXX.XX VALUE IN METERS
  - XXX.XX DESIGN ELEVATION (interpolated)
  - XXX.XX T.O.S GRADE
  - XXX.XX T.O. SLAB (or as noted in tag)

NO.	DESCRIPTION	DATE
1-	ISSUED FOR DP	2022-03-25
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DOUGLAS STREET



**BICYCLE STORAGE PARTIAL PLAN (1/4" = 1'-0")**

- GENERAL NOTES**
- REFER TO OWNER SUPPLIED SITE SURVEY.
  - REFER TO GEOTECHNICAL REPORT.
  - NOTE: NEIGHBORING BUILDING FOOTPRINT & PROPERTY LINES ARE APPROXIMATE, TO BE CONFIRMED BY SURVEYOR.
  - REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR ALL HARD AND SOFT LANDSCAPE DESIGN
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BASEMENT 1

QUEENS AVENUE



CLIENT

BG DOUGLAS VENTURES INC.

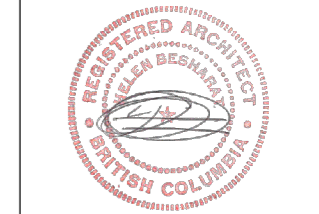
PROJECT NO. 21500

PROJECT Commercial and Self-Storage Development  
2300, 2310 & 2312 Douglas Street, Victoria, BC

DRAWING TITLE

BASEMENT 1

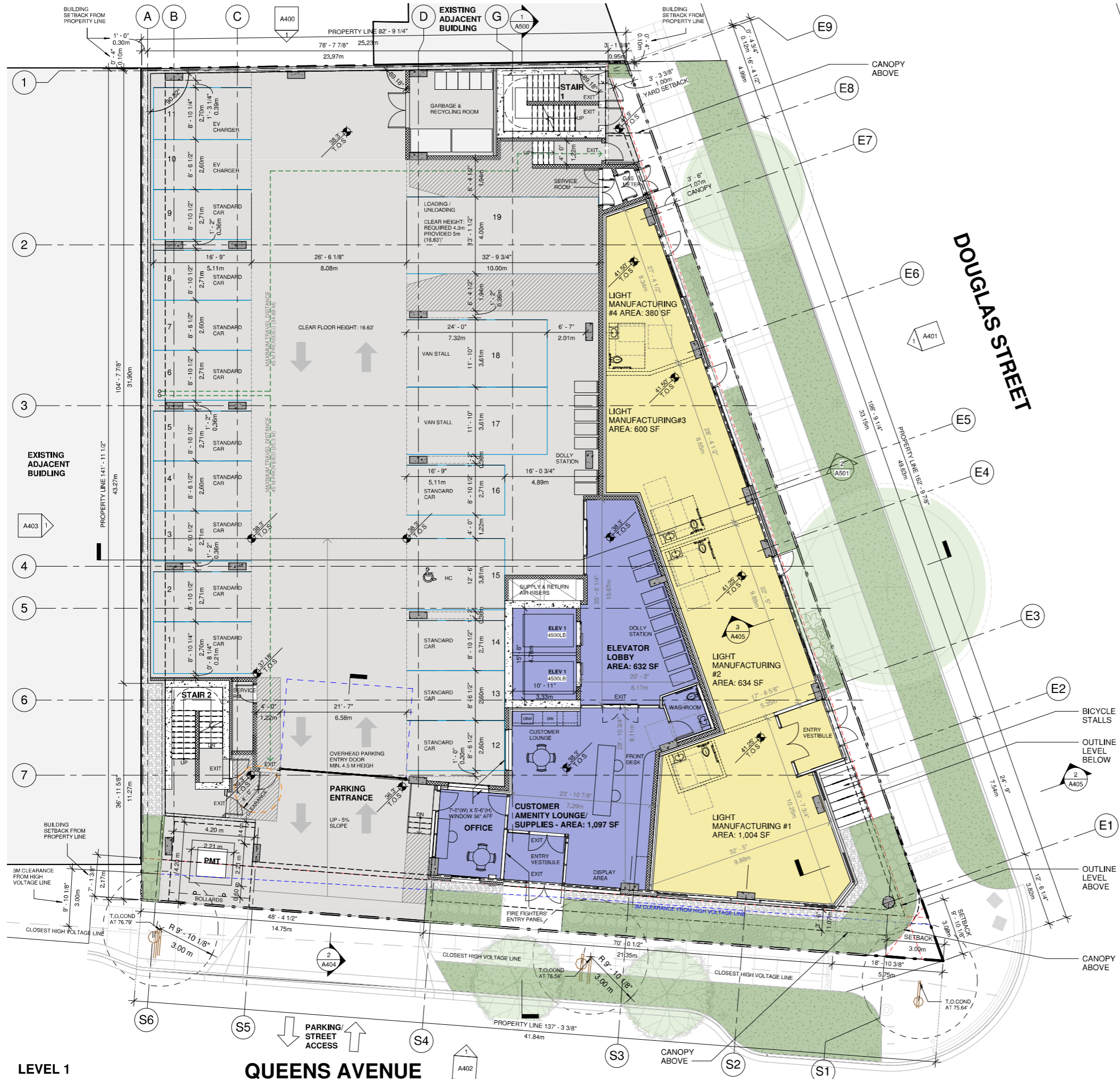
SEAL



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**A202**

DATE 06/16/22  
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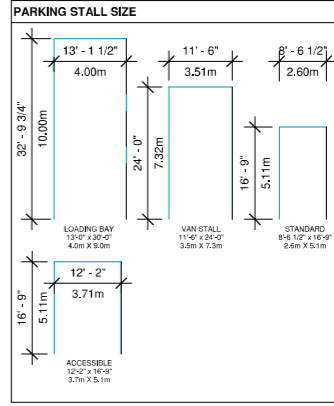


LEVEL 1

QUEENS AVENUE

DOUGLAS STREET

- GENERAL NOTES**
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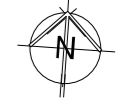
- PARKADE NOTES**
- ALL PARKING, LOADING & BICYCLE STG AS PER CITY OF VICTORIA BY-LAW.
  - SECTION 2.2 SCHEDULE C ZONING BYLAW (80-159), MINIMUM WIDTHS OF 2.7M WHERE THE PARKING SPACE ABUTS AN OBSTRUCTION ON THE SIDE; MINIMUM WIDTHS OF 3.0M WHERE THE PARKING SPACE ABUTS AN OBSTRUCTION ON BOTH SIDES; AND

- LEGEND - GRADING**
- XXX.XX - EXISTING ELEVATIONS PROVIDED BY LAND SURVEYOR
  - [XXX.XXm] - VALUE IN METERS
  - XXX.XX - DESIGN ELEVATION (interpolated)
  - T.O.S GRADE
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**REVISIONS**

NO.	DESCRIPTION	DATE
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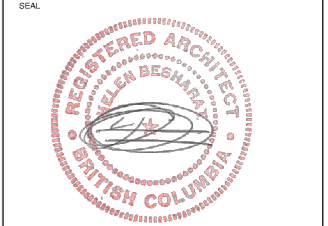
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PROJECT NO. 21500  
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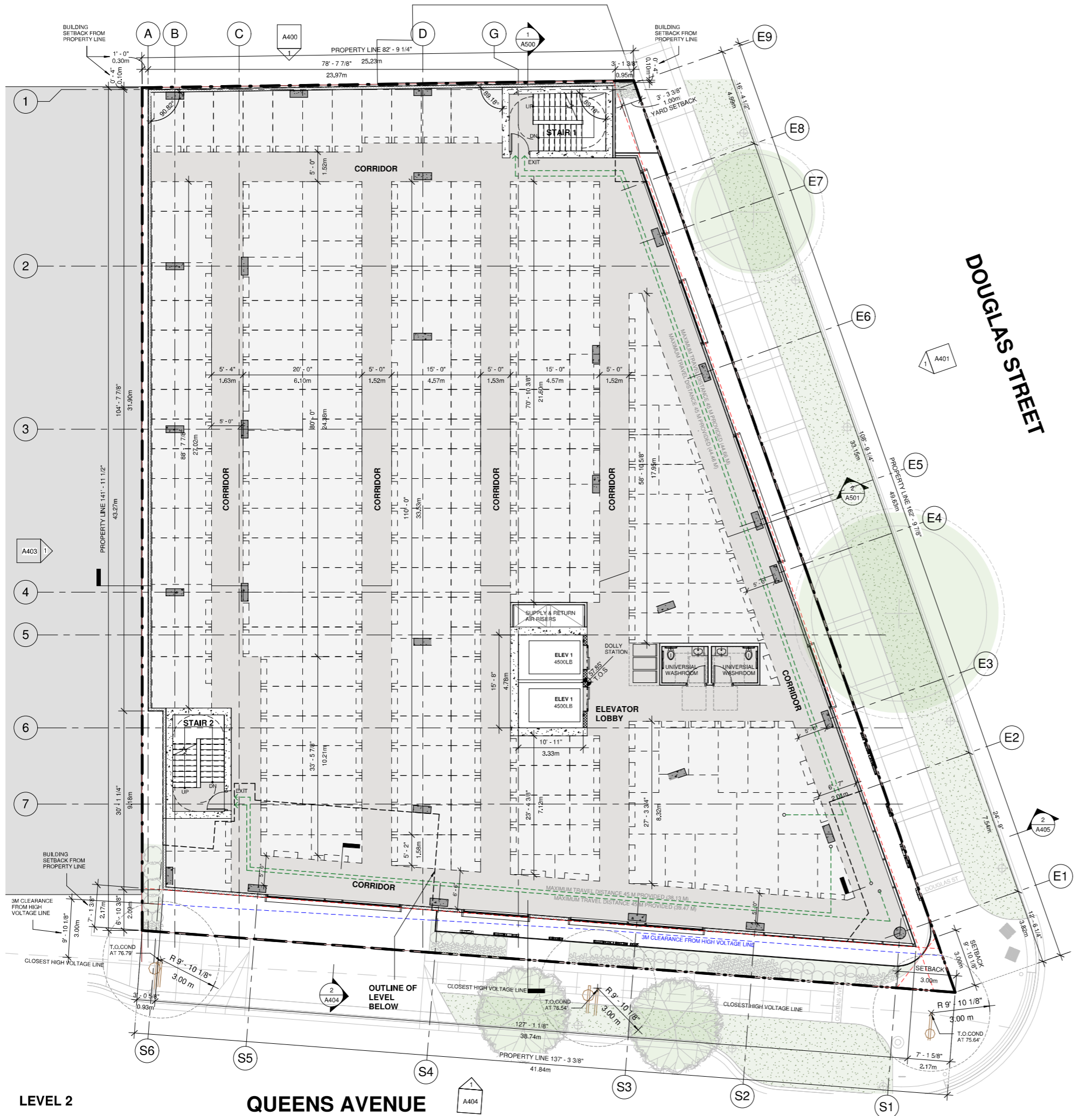
DRAWING TITLE  
**LEVEL 1 PLAN**



DRAWING NO. REVISION

**A203**

DATE 06/16/22  
 SCALE 1/8" = 1'-0"  
 DRAWN Author  
 CHECKED  
 CHECKER



LEVEL 2

QUEENS AVENUE

DOUGLAS STREET

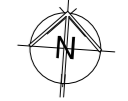
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PROJECT NO.  
 21500

PROJECT  
 Commercial and Self-Storage Development  
 2300, 2310 & 2312 Douglas Street, Victoria, BC

DRAWING TITLE  
**LEVEL 2 PLAN**

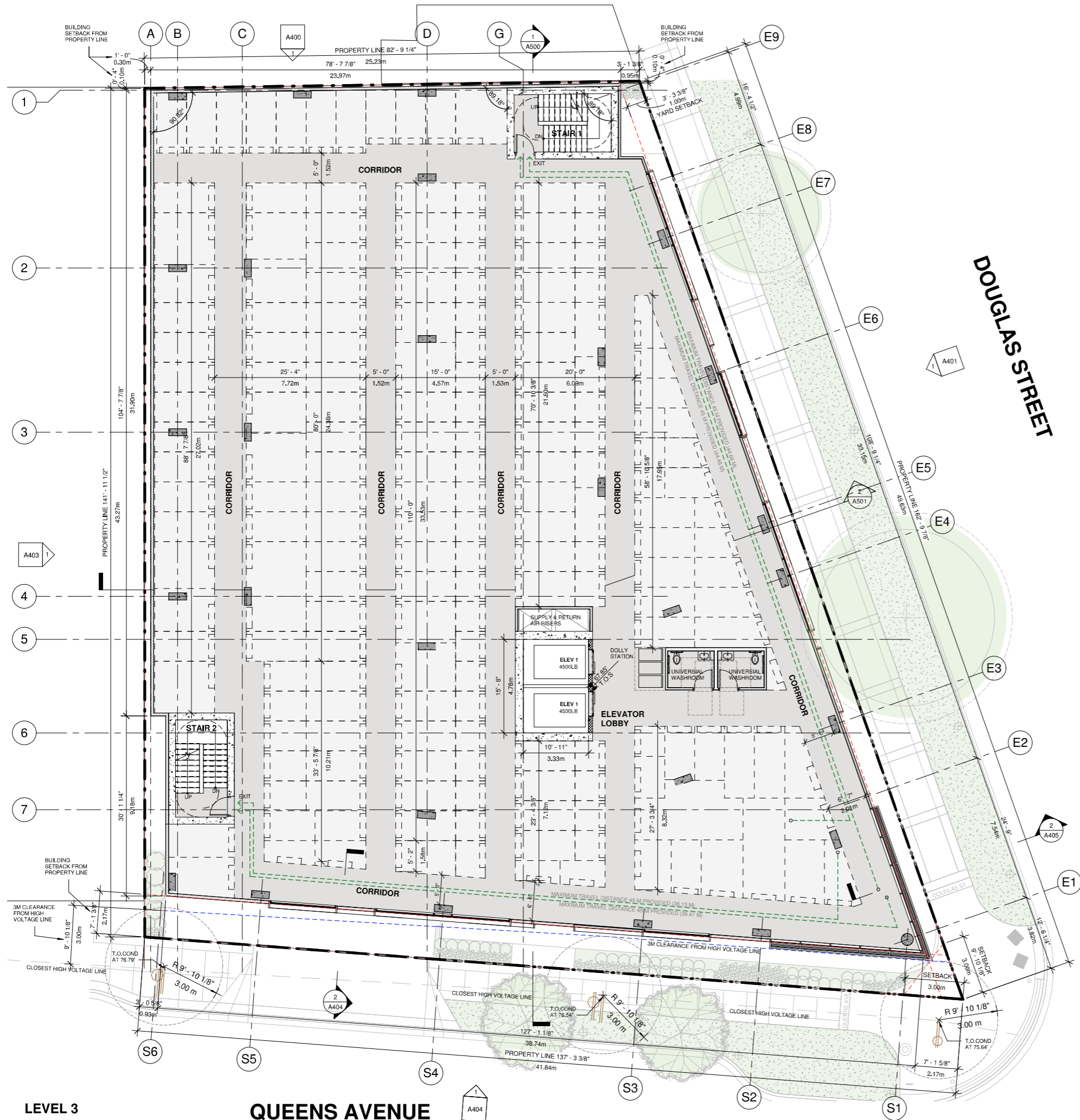


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**A204**

DATE 06/16/22 DRAWN Author  
 SCALE 1/8" = 1'-0" CHECKED \_\_\_\_\_  
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LEVEL 3

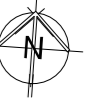
QUEENS AVENUE

**bfa studio**  
architects

600 - 355 Burrard Street T 604 662 8544  
Vancouver, BC V6C 2G8 F 604 662 4060  
www.besharathians.com info@besharathians.com

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BG DOUGLAS VENTURES INC.

PROJECT NO. 21500

PROJECT  
Commercial and Self-Storage  
Development  
2300, 2310 & 2312 Douglas  
Street, Victoria, BC

DRAWING TITLE

LEVEL 3 PLAN

SEAL



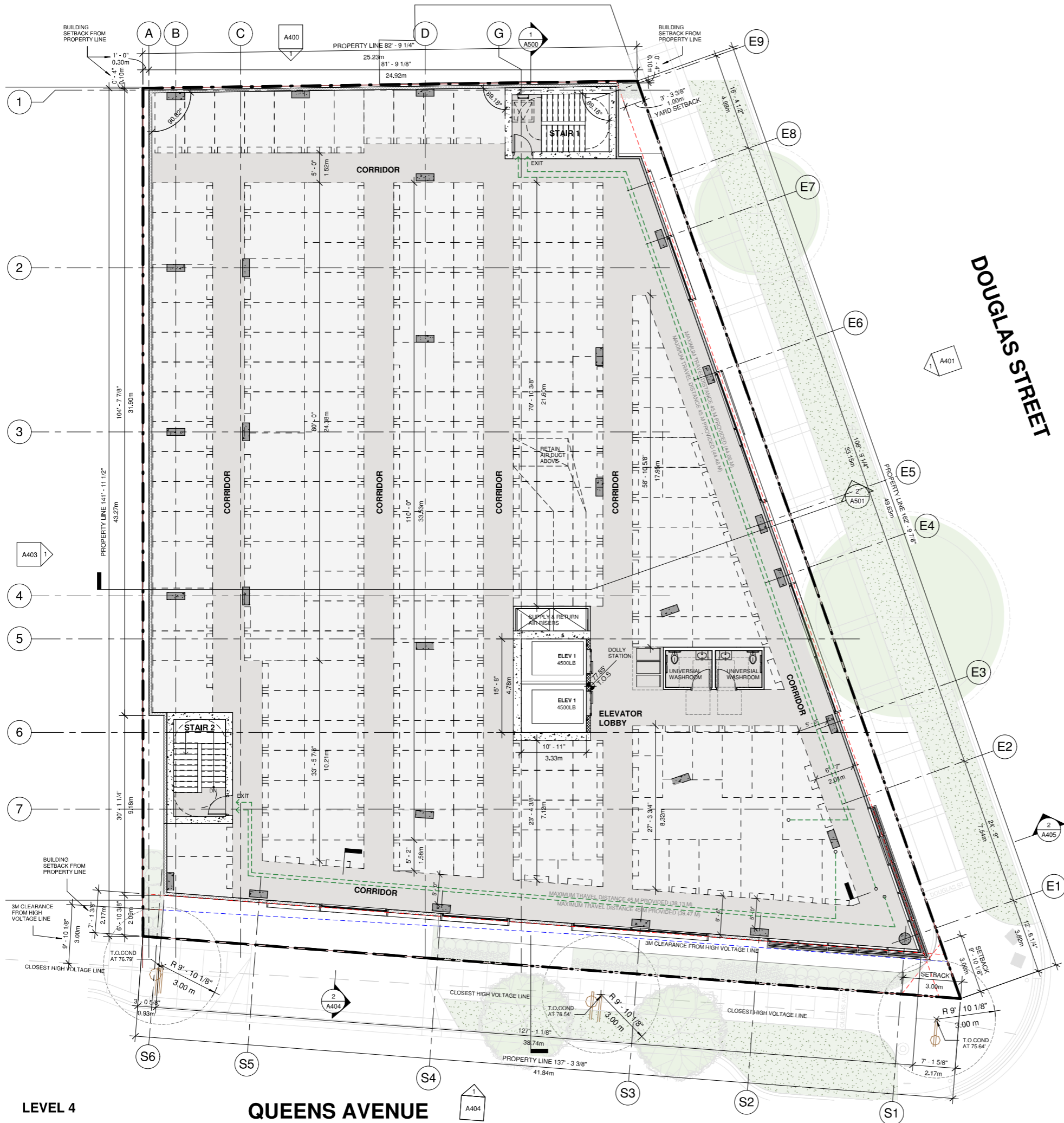
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- GENERAL NOTES**
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LEVEL 4

QUEENS AVENUE

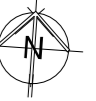
DOUGLAS STREET

**bfa studio**  
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Vancouver, BC V6C 2G8 F 604 662 4060  
www.besharathians.com info@besharathians.com

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PROJECT NO. 21500

PROJECT  
Commercial and Self-Storage Development  
2300, 2310 & 2312 Douglas Street, Victoria, BC

DRAWING TITLE

LEVEL 4 PLAN

SEAL



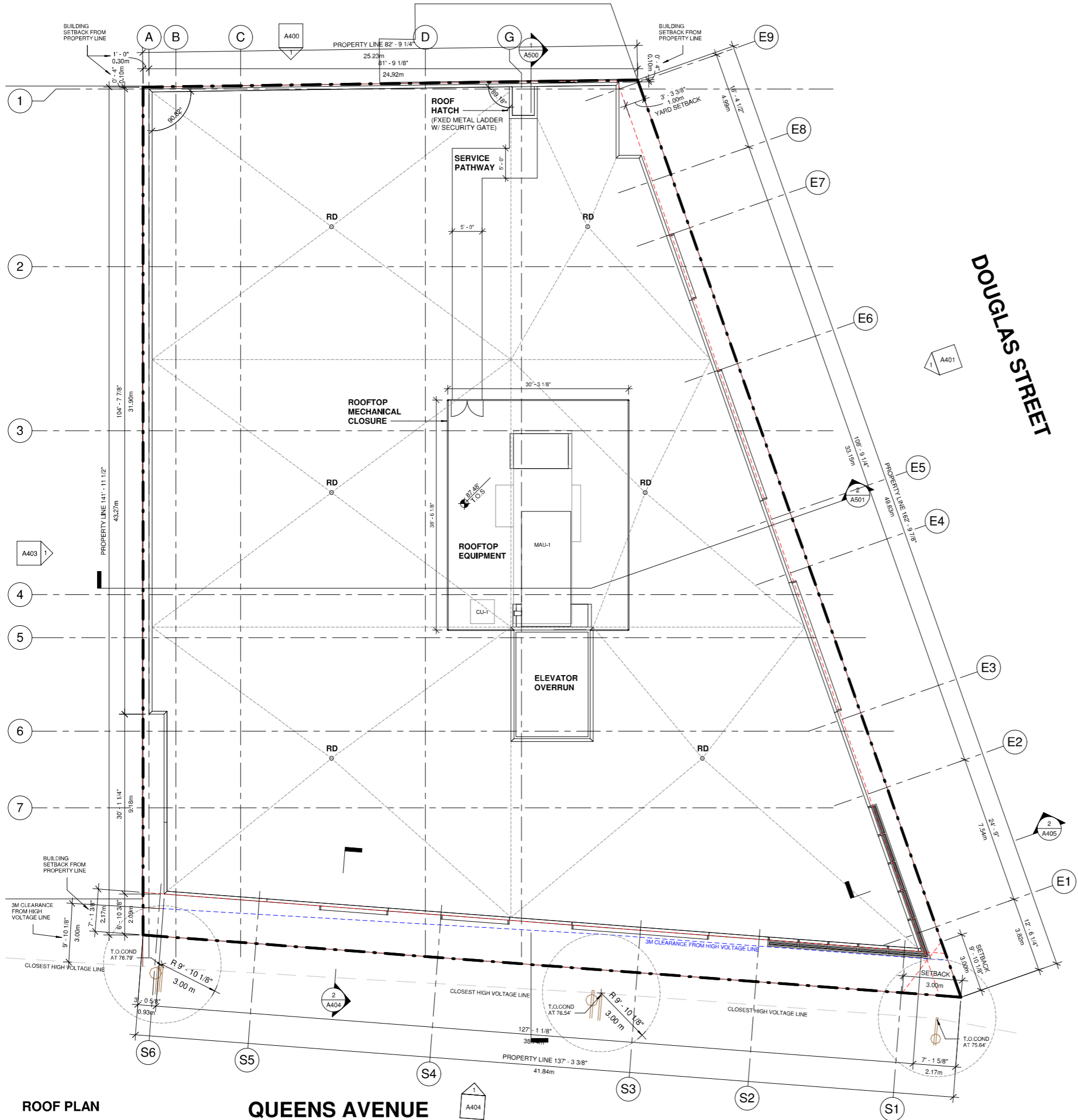
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A206

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- GENERAL NOTES**
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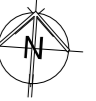


ROOF PLAN

QUEENS AVENUE

REVISIONS		
NO.	DESCRIPTION	DATE
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CLIENT

BG DOUGLAS VENTURES INC.

PROJECT NO. 21500

PROJECT  
 Commercial and Self-Storage  
 Development  
 2300, 2310 & 2312 Douglas  
 Street, Victoria, BC

DRAWING TITLE

ROOF PLAN

SEAL



DRAWING NO. REVISION

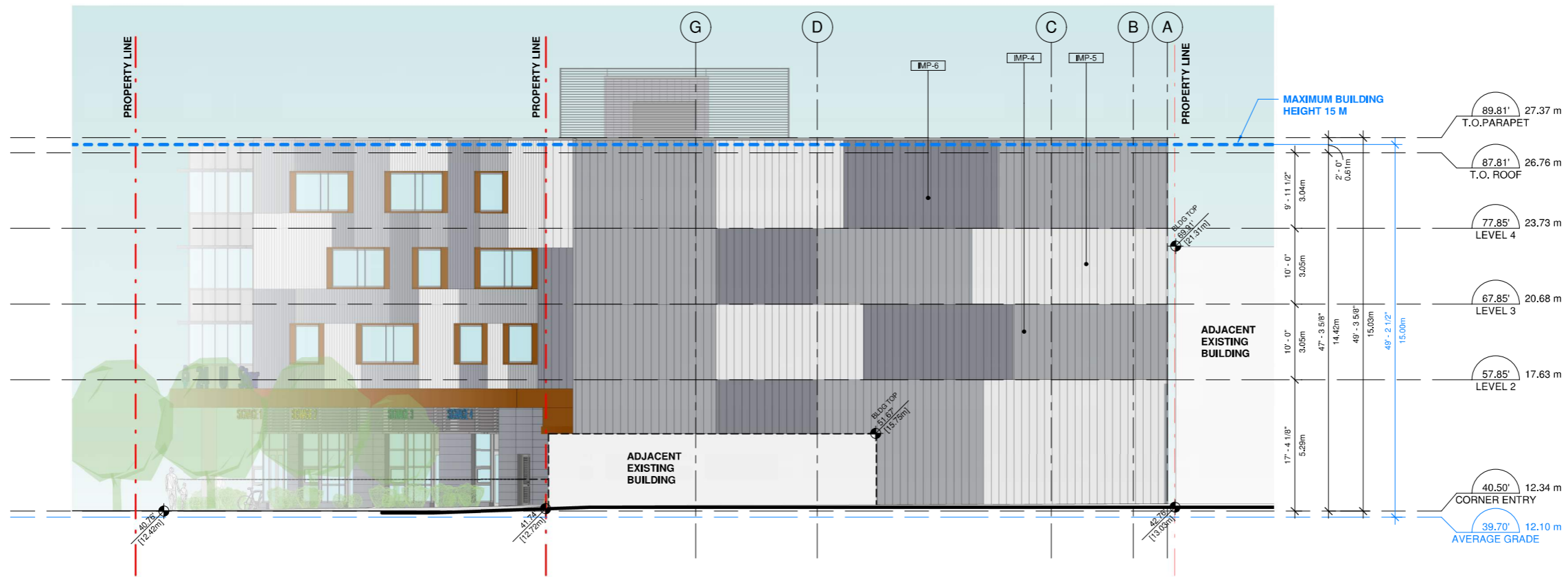
**A207**

DATE 06/16/22 DRAWN Author  
 SCALE 1/8" = 1'-0" CHECKED  
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LEGEND - GRADING	
	EXISTING ELEVATIONS PROVIDED BY LAND SURVEYOR
	VALUE IN METERS
	DESIGN ELEVATION (interpolated)
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**NORTH ELEVATION**

ELEVATION KEYNOTE LEGEND					
ITEM		COLOUR/FINISH	ITEM		COLOUR/FINISH
CON-1	CONCRETE	LIGHT GRAY	WIN-1	ALUMINUM STOREFRONT WINDOW WITH INSULATED CLEAR GLAZING UNIT	COLOUR TO MATCH KINGSPAN WHEATHERED ZINC
CUW-1	CLEAR SEALED GLAZING UNITS IN THERMALLY BROKEN CURTAIN WALL FRAMES	CLEAR ANODIZED ALUMINUM	WIN-2	ALUMINUM WINDOW WITH INSULATED CLEAR GLAZING UNIT WITH PREFINISHED ALUMINUM FRAME EXTENSION	FRAME: COLOUR TO MATCH KINGSPAN DOVE GRAY FRAME EXTENSION: SHERWIN WILLIAMS - SW 9100 - UMBER RUST
CUW-2	SPANDREL SEALED GLAZING UNITS IN THERMALLY BROKEN CURTAIN WALL FRAMES	GLASS: LIGHT GRAY / FRAME: CLEAR ANODIZED ALUMINUM	LOU-1	LOUVER	COLOR TO MATCH ADJACENT MATERIAL
DOR-1	INSULATED EXTERIOR METAL DOOR	COLOR TO MATCH ADJACENT DOOR	MCL-1	SOFFIT - PERFORATED METAL	COLOR TO MATCH SHERWIN WILLIAMS - SW 9100 - UMBER RUST
DOR-2	EXTERIOR METAL DOOR	COLOR TO MATCH ADJACENT DOOR	MCL-2	METAL CANOPY	COLOR TO MATCH SHERWIN WILLIAMS - SW 9100 - UMBER RUST
DOR-3	INSULATED DOOR WITH CLEAR GLAZING	CLEAR ANODIZED ALUMINUM	MCL-3	METAL CLADDING - VICWEST - CL 400	COLOR TO MATCH KINGSPAN WHEATHERED ZINC
IMP-1	INSULATED METAL PANEL, MICRO RIB OR EQUIVALENT	COLOUR TO MATCH KINGSPAN DOVE GRAY	OHS-1	OVERHEAD METAL SECTIONAL DOOR	ANODIZED ALUMINUM WITH CLEAR TEMPERED GLASS
IMP-2	INSULATED METAL PANEL, MICRO RIB OR EQUIVALENT	COLOUR TO MATCH KINGSPAN REGAL WHITE	SCR-1	PERFORATED METAL MESH SYSTEM - ROOFTOP	POWDER COATED KINGSPAN DOVE GRAY
IMP-3	INSULATED METAL PANEL, MICRO RIB OR EQUIVALENT	COLOUR TO MATCH KINGSPAN WHEATHERED ZINC	SHD-1	PREFINISHED SHADING DEVICE (INTEGRATED WITH CURTAIN WALL SYSTEM)	COLOR - SILVER
IMP-4	INSULATED METAL PANEL, MF SERIES, SHADOW LINE (WALL FIRE RESISTIVE RATING: 2 HOURS)	COLOUR TO MATCH KINGSPAN DOVE GRAY	SGN-1	SIGNS BY SIGNAGE COMPANY IN COMPLIANCE WITH VICTORIA SIGN BYLAW	DETAL DESIGN BY SIGNAGE CONSULTANT
IMP-5	INSULATED METAL PANEL, MF SERIES, SHADOW LINE (WALL FIRE RESISTIVE RATING: 2 HOURS)	COLOUR TO MATCH KINGSPAN REGAL WHITE			
IMP-6	INSULATED METAL PANEL, MF SERIES, SHADOW LINE (WALL FIRE RESISTIVE RATING: 2 HOURS)	COLOUR TO MATCH KINGSPAN WHEATHERED ZINC			

CLIENT

**BG DOUGLAS VENTURES INC.**

PROJECT NO. 21500

PROJECT  
Commercial and Self-Storage  
Development  
2300, 2310 & 2312 Douglas  
Street, Victoria, BC

DRAWING TITLE

ELEVATION

SEAL



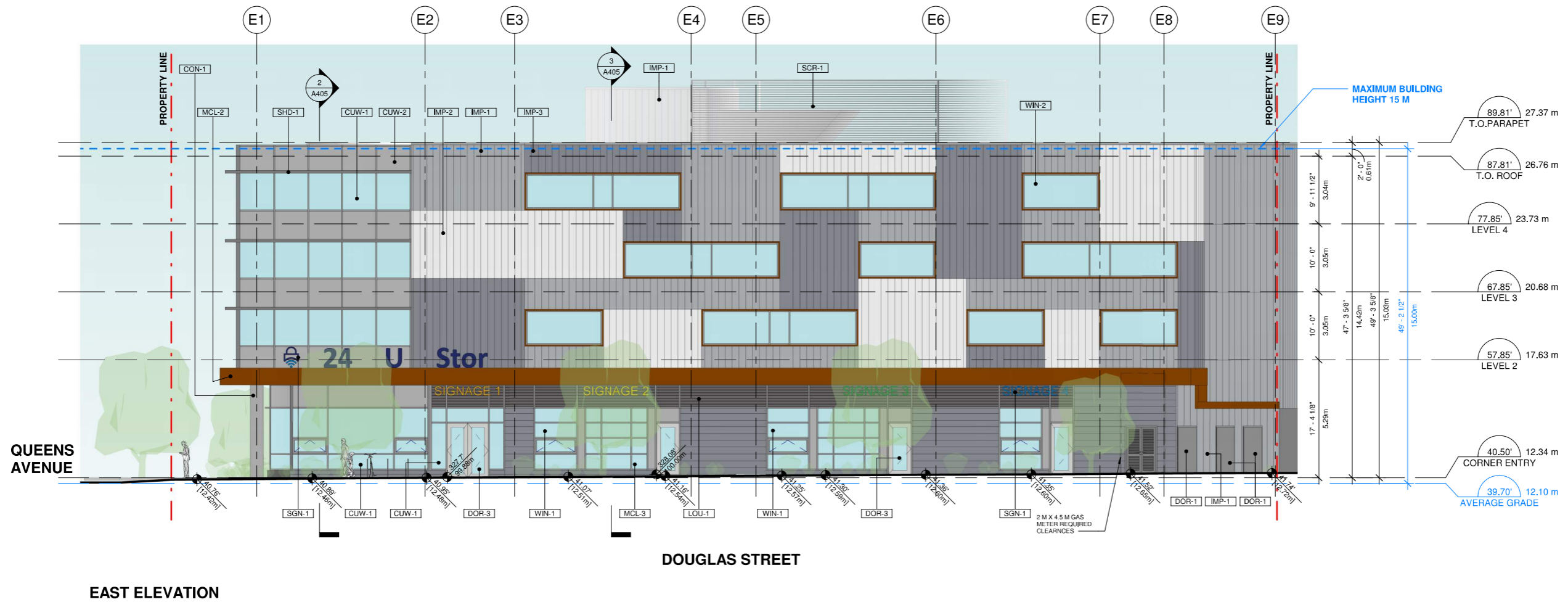
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**EAST ELEVATION**

CLIENT

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Commercial and Self-Storage Development  
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DRAWING TITLE

ELEVATION

SEAL



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**A401**

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ELEVATION KEYNOTE LEGEND					
ITEM		COLOUR/FINISH	ITEM		COLOUR/FINISH
CON-1	CONCRETE	LIGHT GRAY	WIN-1	ALUMINUM STOREFRONT WINDOW WITH INSULATED CLEAR GLAZING UNIT	COLOUR TO MATCH KINGSPAN WHEATHERED ZINC
CUW-1	CLEAR SEALED GLAZING UNITS IN THERMALLY BROKEN CURTAIN WALL FRAMES	CLEAR ANODIZED ALUMINUM	WIN-2	ALUMINUM WINDOW WITH INSULATED CLEAR GLAZING UNIT WITH PREFINISHED ALUMINUM FRAME EXTENSION	FRAME: COLOUR TO MATCH KINGSPAN DOVE GRAY FRAME EXTENSION: SHERWIN WILLIAMS - SW 9100 - UMBER RUST
CUW-2	SPANDREL SEALED GLAZING UNITS IN THERMALLY BROKEN CURTAIN WALL FRAMES	GLASS: LIGHT GRAY / FRAME: CLEAR ANODIZED ALUMINUM	LOU-1	LOUVER	COLOR TO MATCH ADJACENT MATERIAL
DOR-1	INSULATED EXTERIOR METAL DOOR	COLOR TO MATCH ADJACENT DOOR	MCL-1	SOFFIT - PERFORATED METAL	COLOR TO MATCH SHERWIN WILLIAMS - SW 9100 - UMBER RUST
DOR-2	EXTERIOR METAL DOOR	COLOR TO MATCH ADJACENT DOOR	MCL-2	METAL CANOPY	COLOR TO MATCH SHERWIN WILLIAMS - SW 9100 - UMBER RUST
DOR-3	INSULATED DOOR WITH CLEAR GLAZING	CLEAR ANODIZED ALUMINUM	MCL-3	METAL CLADDING - VIOWEST - CL 400	COLOR TO MATCH KINGSPAN WHEATHERED ZINC
IMP-1	INSULATED METAL PANEL, MICRO RIB OR EQUIVALENT	COLOUR TO MATCH KINGSPAN DOVE GRAY	OHS-1	OVERHEAD METAL SECTIONAL DOOR	ANODIZED ALUMINUM WITH CLEAR TEMPERED GLASS
IMP-2	INSULATED METAL PANEL, MICRO RIB OR EQUIVALENT	COLOUR TO MATCH KINGSPAN REGAL WHITE	SCR-1	PERFORATED METAL MESH SYSTEM - ROOFTOP	POWDER COATED KINGSPAN DOVE GRAY
IMP-3	INSULATED METAL PANEL, MICRO RIB OR EQUIVALENT	COLOUR TO MATCH KINGSPAN WHEATHERED ZINC	SHD-1	PREFINISHED SHADING DEVICE (INTEGRATED WITH CURTAIN WALL SYSTEM)	COLOR - SILVER
IMP-4	INSULATED METAL PANEL, MF SERIES, SHADOW LINE (WALL FIRE RESISTIVE RATING: 2 HOURS)	COLOUR TO MATCH KINGSPAN DOVE GRAY	SGN-1	SIGNS BY SIGNAGE COMPANY IN COMPLIANCE WITH VICTORIA SIGN BYLAW	DETAL DESIGN BY SIGNAGE CONSULTANT
IMP-5	INSULATED METAL PANEL, MF SERIES, SHADOW LINE (WALL FIRE RESISTIVE RATING: 2 HOURS)	COLOUR TO MATCH KINGSPAN REGAL WHITE			
IMP-6	INSULATED METAL PANEL, MF SERIES, SHADOW LINE (WALL FIRE RESISTIVE RATING: 2 HOURS)	COLOUR TO MATCH KINGSPAN WHEATHERED ZINC			

NO.	DESCRIPTION	DATE
1-	ISSUED FOR DP	2022-03-25
2-	REISSUED FOR DP	2022-06-16

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**SOUTH ELEVATION**

ELEVATION KEYNOTE LEGEND					
ITEM		COLOUR/FINISH	ITEM		COLOUR/FINISH
CON-1	CONCRETE	LIGHT GRAY	WIN-1	ALUMINUM STOREFRONT WINDOW WITH INSULATED CLEAR GLAZING UNIT	COLOUR TO MATCH KINGSPAN WHEATHERED ZINC
CUW-1	CLEAR SEALED GLAZING UNITS IN THERMALLY BROKEN CURTAIN WALL FRAMES	CLEAR ANODIZED ALUMINUM	WIN-2	ALUMINUM WINDOW WITH INSULATED CLEAR GLAZING UNIT WITH PREFINISHED ALUMINUM FRAME EXTENSION	FRAME: COLOUR TO MATCH KINGSPAN DOVE GRAY FRAME EXTENSION: SHERWIN WILLIAMS - SW 9100 - UMBER RUST
CUW-2	SPANDREL SEALED GLAZING UNITS IN THERMALLY BROKEN CURTAIN WALL FRAMES	GLASS: LIGHT GRAY / FRAME: CLEAR ANODIZED ALUMINUM	LOU-1	LOUVER	COLOR TO MATCH ADJACENT MATERIAL
DOR-1	INSULATED EXTERIOR METAL DOOR	COLOR TO MATCH ADJACENT DOOR	MCL-1	SOFFIT - PERFORATED METAL	COLOR TO MATCH SHERWIN WILLIAMS - SW 9100 - UMBER RUST
DOR-2	EXTERIOR METAL DOOR	COLOR TO MATCH ADJACENT DOOR	MCL-2	METAL CANOPY	COLOR TO MATCH SHERWIN WILLIAMS - SW 9100 - UMBER RUST
DOR-3	INSULATED DOOR WITH CLEAR GLAZING	CLEAR ANODIZED ALUMINUM	MCL-3	METAL CLADDING - VICWEST - CL 400	COLOR TO MATCH KINGSPAN WHEATHERED ZINC
IMP-1	INSULATED METAL PANEL, MICRO RIB OR EQUIVALENT	COLOUR TO MATCH KINGSPAN DOVE GRAY	OHS-1	OVERHEAD METAL SECTIONAL DOOR	ANODIZED ALUMINUM WITH CLEAR TEMPERED GLASS
IMP-2	INSULATED METAL PANEL, MICRO RIB OR EQUIVALENT	COLOUR TO MATCH KINGSPAN REGAL WHITE	SCR-1	PERFORATED METAL MESH SYSTEM - ROOFTOP	POWDER COATED KINGSPAN DOVE GRAY
IMP-3	INSULATED METAL PANEL, MICRO RIB OR EQUIVALENT	COLOUR TO MATCH KINGSPAN WHEATHERED ZINC	SHD-1	PREFINISHED SHADING DEVICE (INTEGRATED WITH CURTAIN WALL SYSTEM)	COLOR - SILVER
IMP-4	INSULATED METAL PANEL, MF SERIES, SHADOW LINE (WALL FIRE RESISTIVE RATING: 2 HOURS)	COLOUR TO MATCH KINGSPAN DOVE GRAY	SGN-1	SIGNS BY SIGNAGE COMPANY IN COMPLIANCE WITH VICTORIA SIGN BYLAW	DETAL DESIGN BY SIGNAGE CONSULTANT
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IMP-6	INSULATED METAL PANEL, MF SERIES, SHADOW LINE (WALL FIRE RESISTIVE RATING: 2 HOURS)	COLOUR TO MATCH KINGSPAN WHEATHERED ZINC			

CLIENT

BG DOUGLAS VENTURES INC.

PROJECT NO. 21500

PROJECT  
Commercial and Self-Storage Development  
2300, 2310 & 2312 Douglas Street, Victoria, BC

DRAWING TITLE

ELEVATION

SEAL



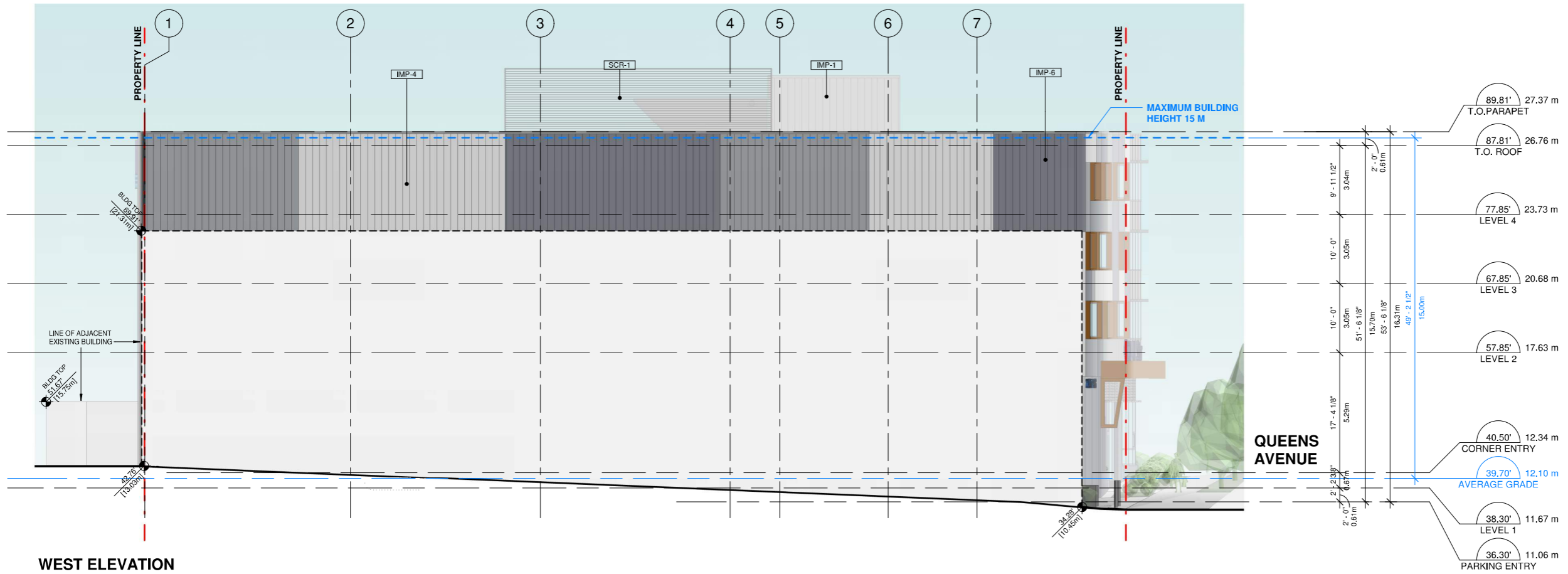
DRAWING NO. REVISION

**A402**

DATE 06/16/22  
SCALE 1/8" = 1'-0"  
DRAWN BY Author  
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2-	REISSUED FOR DP	2022-06-16

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WEST ELEVATION

ELEVATION KEYNOTE LEGEND					
ITEM		COLOUR/FINISH	ITEM		COLOUR/FINISH
CON-1	CONCRETE	LIGHT GRAY	WIN-1	ALUMINUM STOREFRONT WINDOW WITH INSULATED CLEAR GLAZING UNIT	COLOUR TO MATCH KINGSPAN WHEATHERED ZINC
CUW-1	CLEAR SEALED GLAZING UNITS IN THERMALLY BROKEN CURTAIN WALL FRAMES	CLEAR ANODIZED ALUMINUM	WIN-2	ALUMINUM WINDOW WITH INSULATED CLEAR GLAZING UNIT WITH PREFINISHED ALUMINUM FRAME EXTENSION	FRAME: COLOUR TO MATCH KINGSPAN DOVE GRAY FRAME EXTENSION: SHERWIN WILLIAMS - SW 9100 - UMBER RUST
CUW-2	SPANDREL SEALED GLAZING UNITS IN THERMALLY BROKEN CURTAIN WALL FRAMES	GLASS: LIGHT GRAY / FRAME: CLEAR ANODIZED ALUMINUM	LOU-1	LOUVER	COLOR TO MATCH ADJACENT MATERIAL
DOR-1	INSULATED EXTERIOR METAL DOOR	COLOR TO MATCH ADJACENT DOOR	MCL-1	SOFFIT - PERFORATED METAL	COLOR TO MATCH SHERWIN WILLIAMS - SW 9100 - UMBER RUST
DOR-2	EXTERIOR METAL DOOR	COLOR TO MATCH ADJACENT DOOR	MCL-2	METAL CANOPY	COLOR TO MATCH SHERWIN WILLIAMS - SW 9100 - UMBER RUST
DOR-3	INSULATED DOOR WITH CLEAR GLAZING	CLEAR ANODIZED ALUMINUM	MCL-3	METAL CLADDING - VICWEST - CL 400	COLOR TO MATCH KINGSPAN WHEATHERED ZINC
IMP-1	INSULATED METAL PANEL, MICRO RIB OR EQUIVALENT	COLOUR TO MATCH KINGSPAN DOVE GRAY	OHS-1	OVERHEAD METAL SECTIONAL DOOR	ANODIZED ALUMINUM WITH CLEAR TEMPERED GLASS
IMP-2	INSULATED METAL PANEL, MICRO RIB OR EQUIVALENT	COLOUR TO MATCH KINGSPAN REGAL WHITE	SCR-1	PERFORATED METAL MESH SYSTEM - ROOFTOP	POWDER COATED KINGSPAN DOVE GRAY
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IMP-5	INSULATED METAL PANEL, MF SERIES, SHADOW LINE (WALL FIRE RESISTIVE RATING: 2 HOURS)	COLOUR TO MATCH KINGSPAN REGAL WHITE			
IMP-6	INSULATED METAL PANEL, MF SERIES, SHADOW LINE (WALL FIRE RESISTIVE RATING: 2 HOURS)	COLOUR TO MATCH KINGSPAN WHEATHERED ZINC			

CLIENT

BG DOUGLAS VENTURES INC.

PROJECT NO. 21500

PROJECT  
Commercial and Self-Storage  
Development  
2300, 2310 & 2312 Douglas  
Street, Victoria, BC

DRAWING TITLE

ELEVATION

SEAL



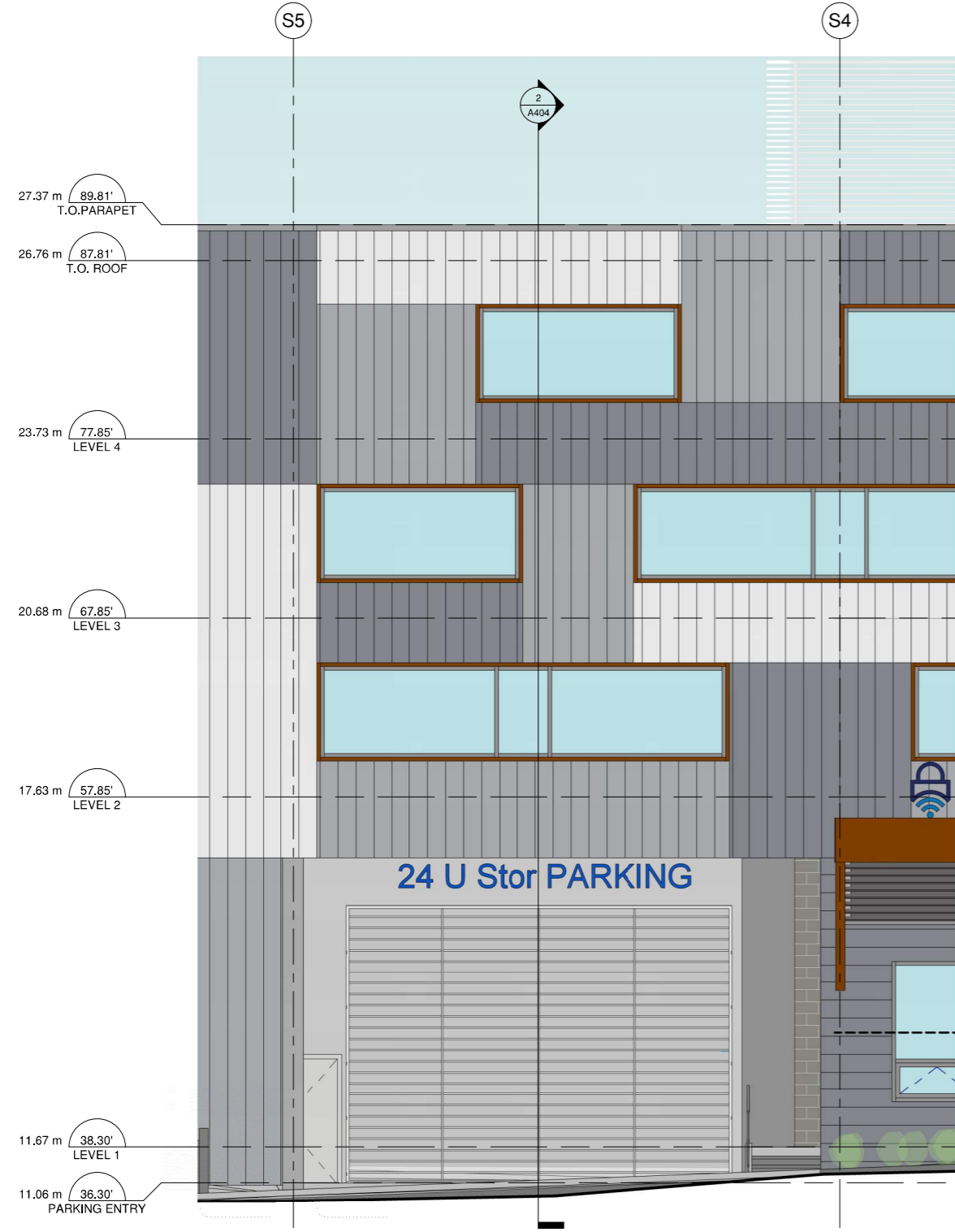
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**A403**

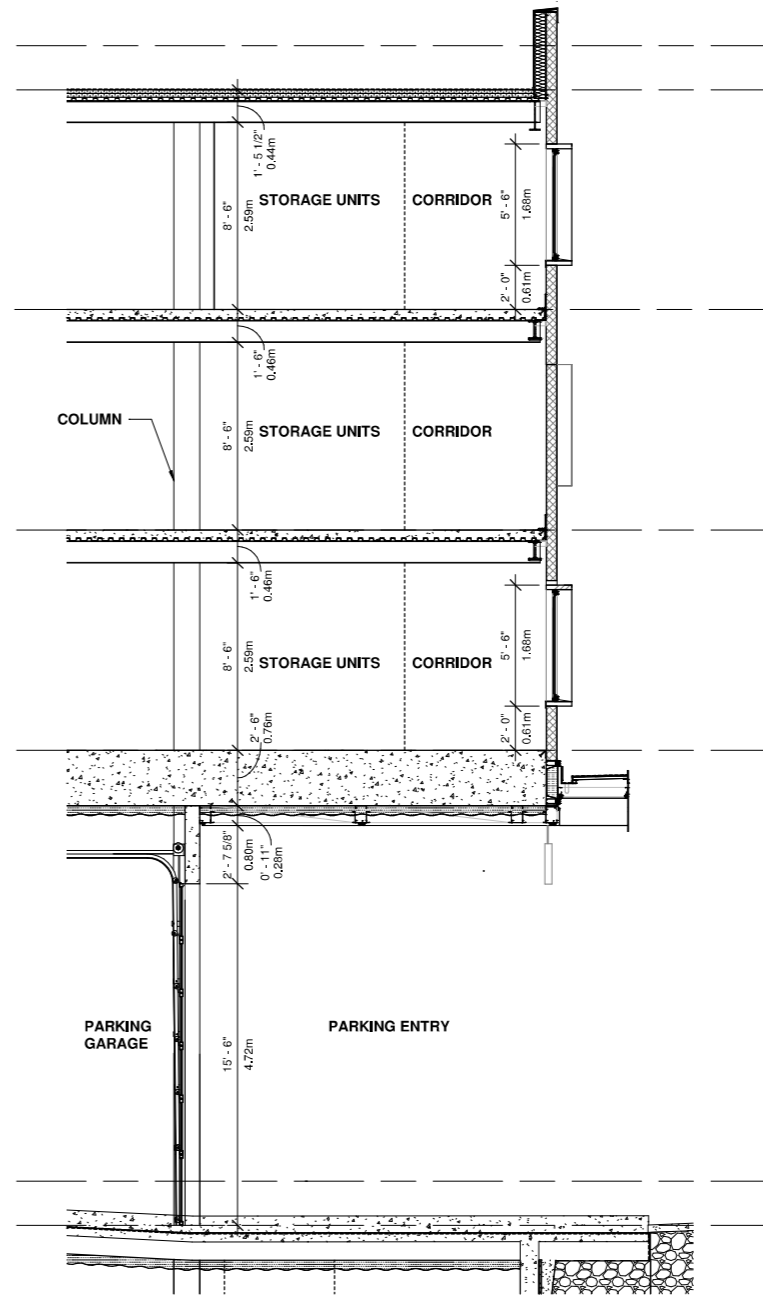
DATE 06/16/22 DRAWN Author  
SCALE 1/8" = 1'-0" CHECKED  
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REVISIONS		
NO.	DESCRIPTION	DATE
1-	ISSUED FOR DP	2022-03-25
2-	REISSUED FOR DP	2022-06-16

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**SOUTH PARTIAL ELEVATION - QUEENS AVENUE**



**SECTION**

CLIENT

**BG DOUGLAS VENTURES INC.**

PROJECT NO. 21500

PROJECT  
Commercial and Self-Storage  
Development  
2300, 2310 & 2312 Douglas  
Street, Victoria, BC

DRAWING TITLE

**SOUTH PARTIAL ELEVATION  
/ SECTION**

SEAL



DRAWING NO. REVISION

**A404**

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CLIENT

BG DOUGLAS VENTURES INC.

PROJECT NO.

21500

PROJECT

Commercial and Self-Storage  
Development  
2300, 2310 & 2312 Douglas  
Street, Victoria, BC

DRAWING TITLE

EAST PARTIAL ELEVATION /  
SECTIONS

SEAL



DRAWING NO.

REVISION

**A405**

DATE

06/16/22

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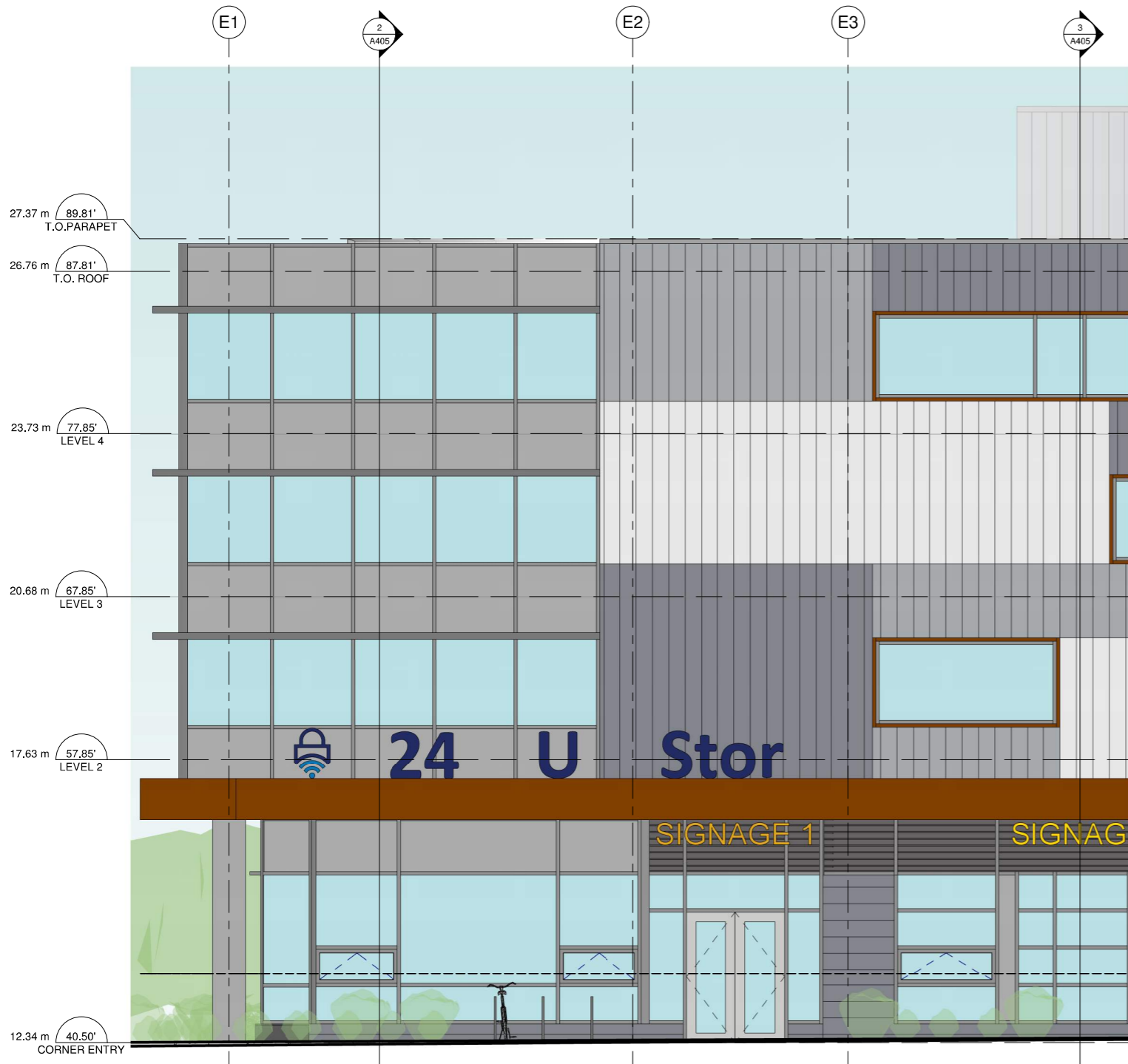
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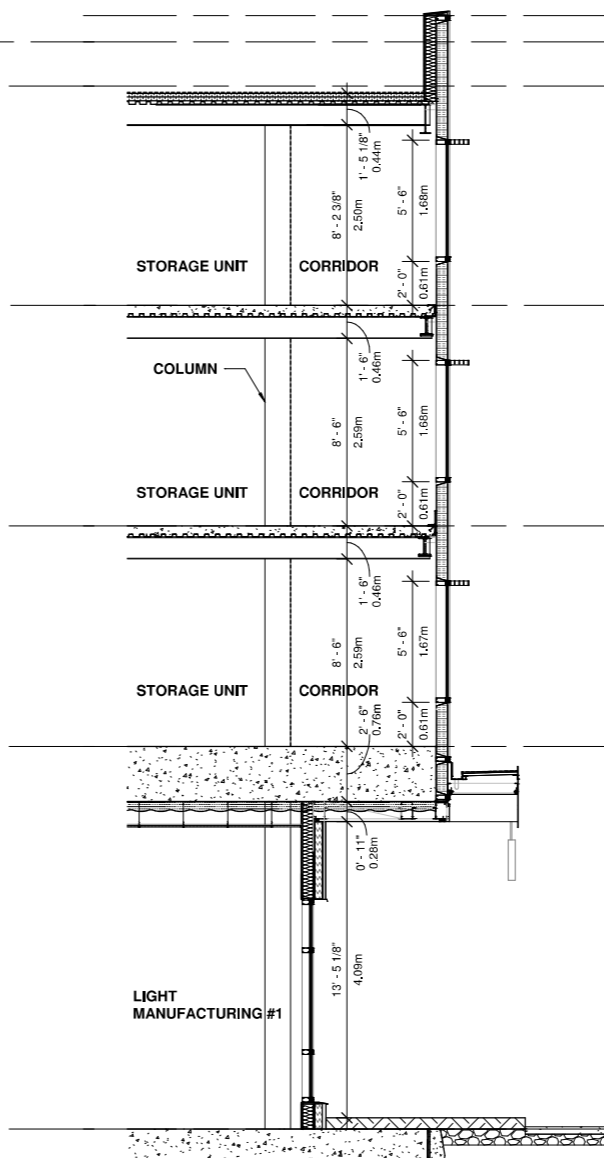
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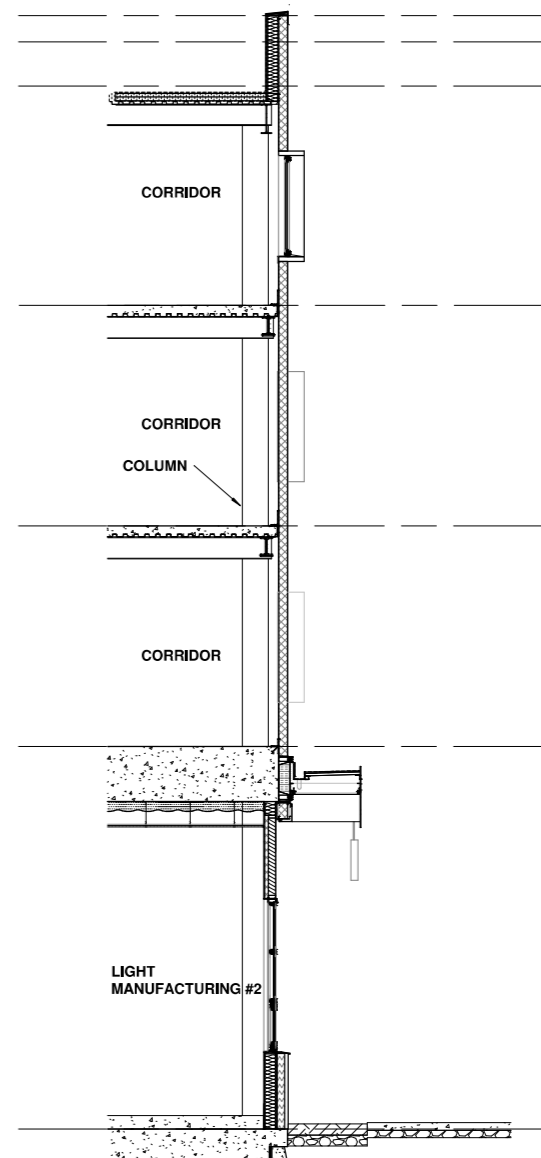
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EAST PARTIAL ELEVATION - DOUGLAS STREET



SECTION 2



SECTION 3

REVISIONS

NO.	DESCRIPTION	DATE
1		1111-11-11

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CLIENT

PROJECT NO.

21500

PROJECT

Commercial and Self-Storage Development  
2300, 2310 & 2312 Douglas Street, Victoria, BC

DRAWING TITLE

MATERIAL LEGEND

SEAL



DRAWING NO. | REVISION

**A406**

DATE | DRAWN

06/16/22 | Author

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N/A | Checker

ITEM	COLOUR FINISH / IMAGE	SYSTEM/PATTERN
IMP -1 & IMP -4		
IMP -2 & IMP -5		
IMP -3 & IMP -6		
MCL-3		

ITEM	COLOUR FINISH / IMAGE	SYSTEM
SHD-1		
CON-1		
WIN-2	 GLASS FRAME	
CUW-1	 GLASS FRAME	

ITEM	COLOUR FINISH / IMAGE	SYSTEM
MCL-1 & MCL-2	 SOFFIT FRAME	

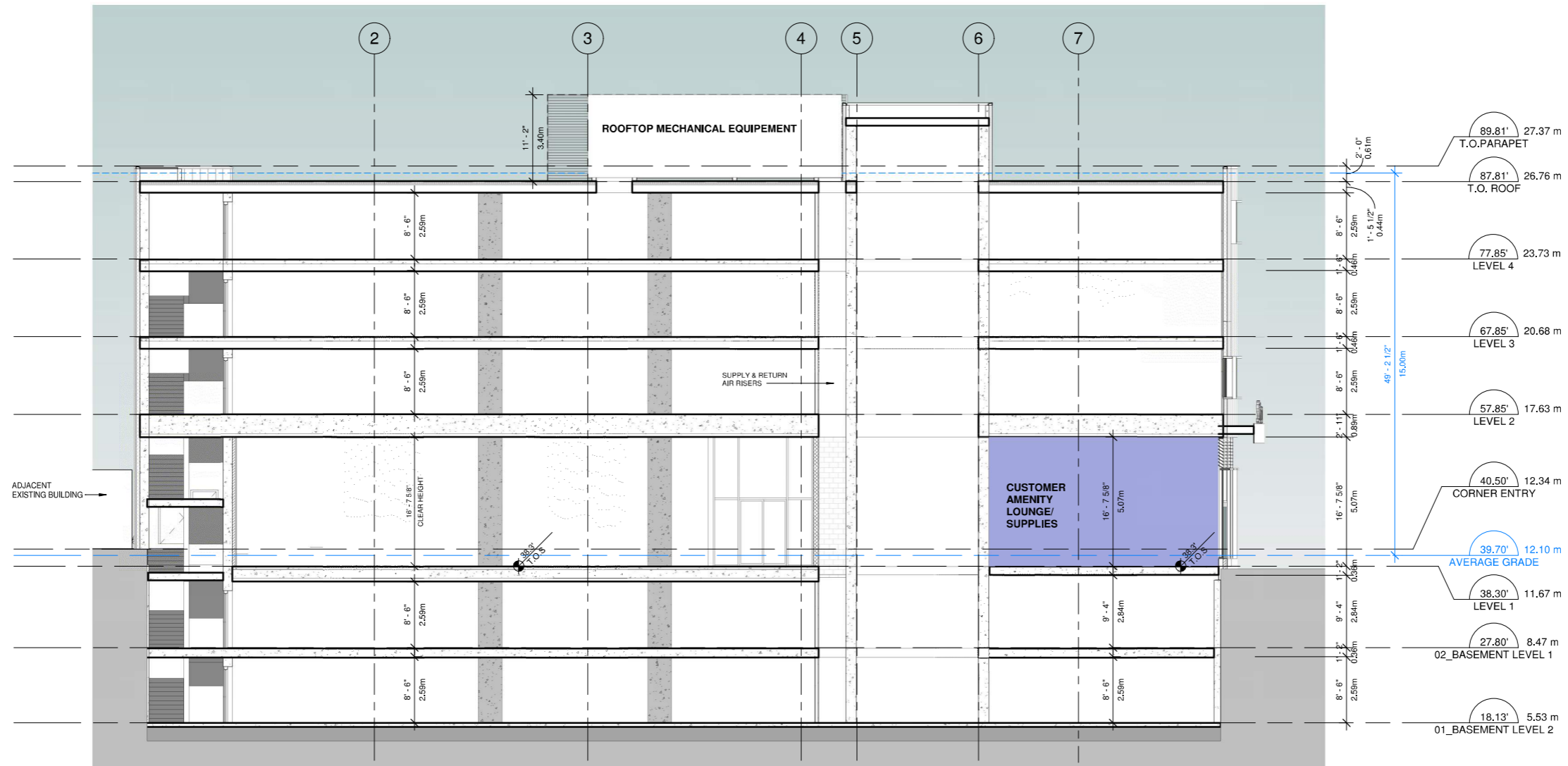
ELEVATION KEYNOTE LEGEND

ITEM	DESCRIPTION	COLOUR/FINISH	ITEM	DESCRIPTION	COLOUR/FINISH
CON-1	CONCRETE	LIGHT GRAY	WIN-1	ALUMINUM STOREFRONT WINDOW WITH INSULATED CLEAR GLAZING UNIT	COLOUR TO MATCH KINGSPAN WHEATHERED ZINC
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IMP-1	INSULATED METAL PANEL, MICRO RIB OR EQUIVALENT	COLOUR TO MATCH KINGSPAN DOVE GRAY	OHS-1	OVERHEAD METAL SECTIONAL DOOR	ANODIZED ALUMINUM WITH CLEAR TEMPERED GLASS
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IMP-4	INSULATED METAL PANEL, MF SERIES, SHADOW LINE (WALL FIRE RESISTIVE RATING: 2 HOURS)	COLOUR TO MATCH KINGSPAN DOVE GRAY	SGN-1	SIGNS BY SIGNAGE COMPANY IN COMPLIANCE WITH VICTORIA SIGN BYLAW	DETAL DESIGN BY SIGNAGE CONSULTANT
IMP-5	INSULATED METAL PANEL, MF SERIES, SHADOW LINE (WALL FIRE RESISTIVE RATING: 2 HOURS)	COLOUR TO MATCH KINGSPAN REGAL WHITE			
IMP-6	INSULATED METAL PANEL, MF SERIES, SHADOW LINE (WALL FIRE RESISTIVE RATING: 2 HOURS)	COLOUR TO MATCH KINGSPAN WHEATHERED ZINC			

REVISIONS

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SECTION 1

CLIENT

BG DOUGLAS VENTURES INC.

PROJECT NO. 21500

PROJECT  
Commercial and Self-Storage  
Development  
2300, 2310 & 2312 Douglas  
Street, Victoria, BC

DRAWING TITLE

SECTION 1

SEAL



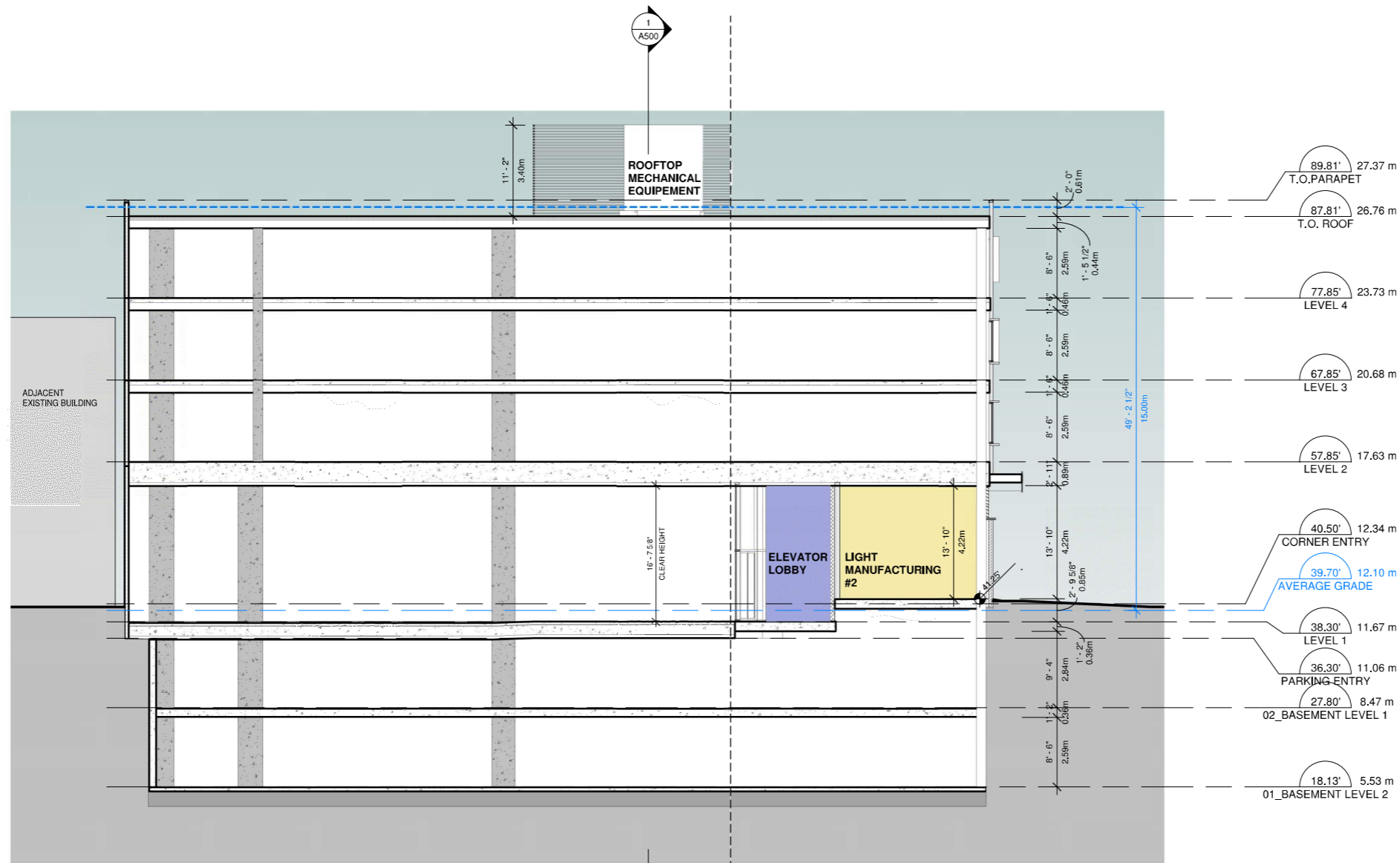
DRAWING NO. REVISION

A500

DATE 06/16/22 DRAWN Author  
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**SECTION 2**

CLIENT

**BG DOUGLAS VENTURES INC.**

PROJECT NO.

21500

PROJECT

Commercial and Self-Storage  
Development  
2300, 2310 & 2312 Douglas  
Street, Victoria, BC

DRAWING TITLE

**SECTION 2**

SEAL



DRAWING NO.

REVISION

**A501**

DATE

06/16/22

DRAWN

Author

SCALE

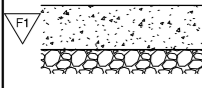
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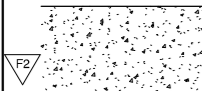
### FLOOR SCHEDULE

**CONCRETE SLAB ON GRADE**  
NO REQUIRED FIRE RESISTANCE RATING



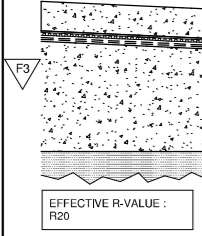
- FLOOR FINISHING PER ROOM FINISH SCHEDULE
- REINFORCED CONCRETE SLAB ON GRADE PER STRUCT. DWGS
- CONT. 10 MIL POLYETHYLENE VAPOUR BARRIER
- COMPACTED SUB-GRADE PER GEOTECHNICAL & STRUCTURAL RECOMMENDATIONS

**TYPICAL SUSPENDED CONCRETE FLOOR (BASEMENT)**  
MIN. 3 HR FIRE RESISTANCE RATING BASED ON D-2.1 OF DIVISION B - APPENDIX D, TABLE D-2.1.1 BCBC 2018 (CONC. ONLY)



- SEALER
- REINFORCED CONCRETE SLAB AS PER STRUCT. DWGS

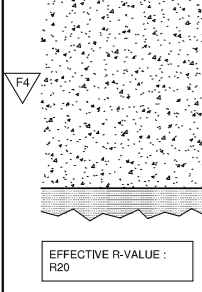
**INSULATED VEHICULAR TRAFFIC DECK**  
MIN. 1.5 HR FIRE RESISTANCE RATING BASED ON D-2.1 OF DIVISION B - APPENDIX D, TABLE D-2.1.1 BCBC 2018 (CONC. ONLY)



- MIN. 4" THICK C.I.P. CONC. TOPPING SLAB WITH SLOPE TO DRAIN
- 1/4" PROTECTION BOARD
- 0.4" HEAVY-DUTY DRAINAGE MAT (MIN. 30,000 LB COMPRESSIVE STRENGTH)
- HOT APPLIED RUBBERIZED ASPHALT ROOFING MEMBRANE (HYDROTECH MM6125EV OR APPROVED ALTERNATE)
- REINFORCED CONCRETE SLAB WITH TOP SURFACE SLOPED TO DRAIN (REFER TO STRUCTURAL DWGS.)
- CONT. SPRAY APPLIED NON-COMBUSTIBLE THERMAL INSULATION (MONOGLAS® OR APPROVED ALTERNATE) 5" THICK TO ACHIEVE R-20 VALUE

EFFECTIVE R-VALUE: R20

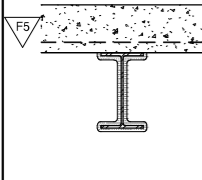
**SUSPENDED CONCRETE FLOOR**  
MIN. 1.5 HOUR FIRE RESISTANCE RATING BASED ON D-2.1 OF DIVISION B - APPENDIX D, TABLE D-2.1.1 BCBC 2018 (CONC. ONLY)



- SEALER
- REINFORCED CONCRETE SLAB (REFER TO STRUCTURAL DWGS.)
- CONT. SPRAY APPLIED NON-COMBUSTIBLE THERMAL INSULATION (MONOGLAS® OR APPROVED ALTERNATE) 5" THICK TO ACHIEVE R-20 VALUE

EFFECTIVE R-VALUE: R20

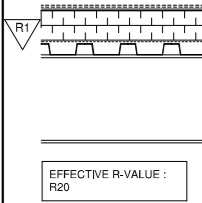
**TYPICAL FLOOR ASSEMBLY**  
MIN. 1 HR FIRE RESISTANCE RATING BASED ON ULC DESIGN No. F904



- MIN. 4 1/2" NORMAL DENSITY CONCRETE TOPPING
- WIRE MESH FABRIC
- 1 1/2" STEEL DECKING WELDED TO BEAMS
- STRUCTURAL STEEL FRAMING, SIZED AND SPACED PER STRUCTURAL DWGS (MINIMUM BEAM SIZE W200X42)
- SPRAY APPLIED FIRE RESISTIVE MATERIAL ISOLATEK / CAFCO BLAZE-SHIELD TYPE II; DENSITY & THICKNESS PER MANUFACTURER'S WRITTEN INSTRUCTIONS.

### ROOF & DECK ASSEMBLY SCHEDULE

**ROOF ASSEMBLY OVER STORAGE (SEMI-HEATED)**  
NO REQUIRED FIRE RESISTANCE RATING

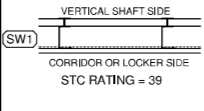


- 2 PLY OF TORCH ON SBS ROOFING MEMBRANE
- 1/4" DENSDECK OVERLAY PROTECTION BOARD; MECHANICALLY FASTENED TO STEEL DECK
- 4" POLYISOCYANURATE RIGID INSULATION W/ FIBERGLASS FACERS; MECHANICALLY FASTENED WITH SCREWS & DISCS TO STEEL DECK; APPLY IN 2 LAYERS WITH OFFSET JOINTS
- CONTINUOUS SELF-ADHERED VAPOUR RETARDER MEMBRANE
- MIN. 1-1/2" STEEL DECKING
- SLOPED STRUCTURAL STEEL FRAMING SIZED & SPACED AS PER STRUCTURAL DRAWINGS

EFFECTIVE R-VALUE: R20

### VERTICAL SHAFT WALL SCHEDULE

**FULL HEIGHT VERTICAL SHAFT WALL ASSEMBLY**  
MIN. 1 HOUR FIRE RESISTANCE RATING BASED ON ULC DESIGN No. W452, SYSTEM 'A'

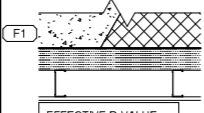


- 1" G.W.B. SHAFTLINER, FITTED IN 1" FLANGE
- MIN. 25ga. 4" C-H STUD @ MAX 24" O.C.
- CONTINUOUS 6MIL POLY VAPOUR BARRIER
- 1 LAYER OF 5/8" FIRECODE 'X' G.W.B.

STC RATING = 39

### FURRED-OUT WALL SCHEDULE

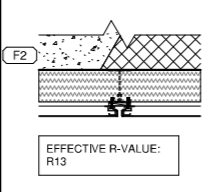
**FURRED-OUT CONCRETE & CMU WALL**



- MIN. 8" CONCRETE OR CMU WALL (THICKNESS AS NOTED ON PLANS)
- 3" 2LB CLOSE CELL SPRAY FOAM INSULATION
- MIN. 25ga. 3 3/8" STEEL STUDS @ MAX. 24" O.C.
- 1/2" G.W.B.

EFFECTIVE R-VALUE: R20

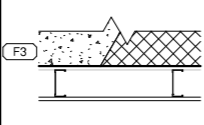
**FURRED-OUT CONCRETE & CMU WALL**



- MIN. 8" CONCRETE OR CMU WALL (THICKNESS AS NOTED ON PLANS)
- 4" SEMI-RIGID INSULATION (NON-COMBUSTIBLE) NOM. R17.2
- INTERMITTENTLY SPACED SUPPORT CLIPS TO MATCH INSULATION THICKNESS (KPS THERMASMART CLIP 2.0 SYSTEM OR APPROVED ALTERNATE)
- COMPOSITE ALUMINUM PANELS WITH PROPRIETARY CLIPS; DRY JOINT SYSTEM

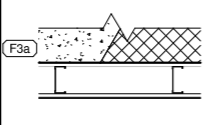
EFFECTIVE R-VALUE: R13

**FURRED-OUT CONCRETE & CMU WALL**



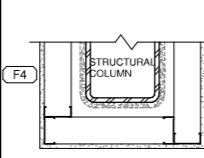
- MIN. 8" CONCRETE OR CMU WALL (THICKNESS AS NOTED ON PLANS)
- ±1" SPACE BETWEEN STUD & CONC.
- MIN. 25ga. 3 3/8" STEEL STUDS @ MAX. 24" O.C.
- 1/2" G.W.B.

**FURRED-OUT CONCRETE & CMU WALL**



- MIN. 8" CONCRETE OR CMU WALL (THICKNESS AS NOTED ON PLANS)
- ±1" SPACE BETWEEN STUD & CONC.
- MIN. 25ga. 3 3/8" STEEL STUDS @ MAX. 24" O.C.
- 1/2" G.W.B.
- 0.1" FIBERGLASS REINFORCED PANEL (FRP) ON WET SIDE

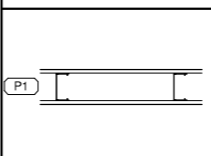
**FURRED-OUT WALL ON STRUCTURAL COLUMN**



- STRUCTURAL COLUMN (DIMENSION PER STRUCT. DWGS.) c/w SPRAY APPLIED FIRE RESISTIVE MATERIAL PER UL / cUL DESIGN NO. X827 TO ACHIEVE MIN. 1 HR, F.R.R.
- ±1/2" GAP BETWEEN STUD & COLUMN
- MIN. 25ga. 3 3/8" STEEL STUDS; TERMINATE @ U/S FLOOR / ROOF STRUCTURE
- 1/2" ABSORBENT RESISTANT GYPSUM WALL BOARD TERMINATED @ U/S FLOOR / ROOF STRUCTURE

### INTERIOR PARTITION SCHEDULE


**FULL HEIGHT STEEL STUD INTERIOR PARTITION**  
NO REQUIRED FIRE RESISTANCE RATING



- 1/2" GYPSUM WALL BOARD TO U/S STEEL DECK\*
- MIN. 25ga. 3 5/8" STEEL STUDS @ MAX 16" o/c TO U/S STRUCTURE
- 1/2" GYPSUM WALL BOARD TO U/S STEEL DECK\*

\*NOTE: GWB MAY TERMINATE 6" ABOVE AN ADJACENT SUSPENDED CEILING

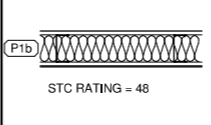
**FURRED-OUT WALL**



STC RATING = 48

- 1/2" GYPSUM WALL BOARD TO U/S STEEL DECK
- MIN. 25ga. 3 5/8" STEEL STUDS @ MAX 16" o/c TO U/S STRUCTURE
- SOUND ATTENUATING FIBREGLASS BATT INSULATION TO FILL STUD SPACE
- 1/2" GYPSUM WALL BOARD TO U/S STEEL DECK

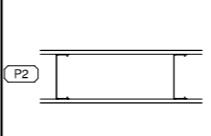
**FURRED-OUT WALL**



STC RATING = 48

- 1/2" GYPSUM WALL BOARD TO U/S STEEL DECK
- MIN. 25ga. 3 5/8" STEEL STUDS @ MAX 16" o/c TO U/S STRUCTURE
- SOUND ATTENUATING FIBREGLASS BATT INSULATION TO FILL STUD SPACE
- 1/2" GYPSUM WALL BOARD TO U/S STEEL DECK
- 0.1" FIBERGLASS REINFORCED PANEL (FRP) ON WET SIDE

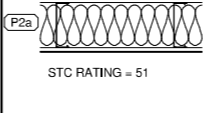
**FULL HEIGHT STEEL STUD INTERIOR PARTITION**  
NO REQUIRED FIRE RESISTANCE RATING



- 1/2" GYPSUM WALL BOARD TO U/S STEEL DECK\*
- MIN. 25ga. 6" STEEL STUDS @ MAX 24" o/c TO U/S STRUCTURE
- 1/2" GYPSUM WALL BOARD TO U/S STEEL DECK\*

\*NOTE: GYPSUM MAY TERMINATE 6" ABOVE AN ADJACENT SUSPENDED CEILING

**FURRED-OUT WALL**

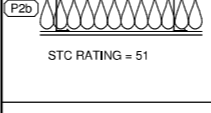


STC RATING = 51

- 1/2" GYPSUM WALL BOARD TO U/S STEEL DECK
- MIN. 25ga. 6" STEEL STUDS @ MAX 24" o/c TO U/S STRUCTURE
- SOUND ATTENUATING FIBREGLASS BATT INSULATION TO FILL STUD SPACE
- 1/2" GYPSUM WALL BOARD TO U/S STEEL DECK
- 0.1" FIBERGLASS REINFORCED PANEL (FRP) ON WET SIDE

\*NOTE: PROVIDE SMOKE SEAL FOR ALL 0-HR, FRR PARTITIONS.

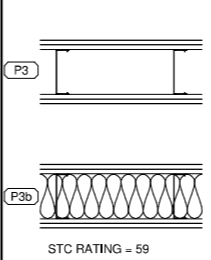
**FURRED-OUT WALL**



STC RATING = 51

- 1/2" GYPSUM WALL BOARD TO U/S STEEL DECK
- MIN. 25ga. 6" STEEL STUDS @ MAX 24" o/c TO U/S STRUCTURE
- SOUND ATTENUATING FIBREGLASS BATT INSULATION TO FILL STUD SPACE
- 2 LAYERS OF 5/8" TYPE-'X' GYPSUM WALL BOARD TO U/S STEEL DECK

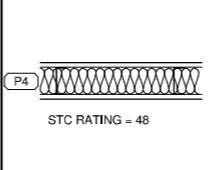
**FURRED-OUT WALL**



STC RATING = 59

- 2 LAYERS OF 5/8" TYPE-'X' GYPSUM WALL BOARD TO U/S STEEL DECK
- MIN. 25ga. 6" STEEL STUDS @ MAX 24" o/c TO U/S STRUCTURE
- SOUND ATTENUATING FIBREGLASS BATT INSULATION TO FILL STUD SPACE
- 2 LAYERS OF 5/8" TYPE-'X' GYPSUM WALL BOARD TO U/S STEEL DECK

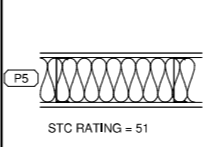
**FURRED-OUT WALL**



STC RATING = 48

- 5/8" TYPE-'X' GYPSUM WALL BOARD TO U/S STEEL DECK
- MIN. 25ga. 3 5/8" STEEL STUDS @ MAX 16" o/c TO U/S STRUCTURE
- SOUND ATTENUATING FIBREGLASS BATT INSULATION TO FILL STUD SPACE
- 5/8" TYPE-'X' GYPSUM WALL BOARD TO U/S STEEL DECK

**FURRED-OUT WALL**

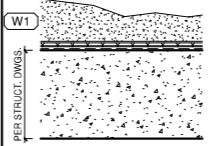


STC RATING = 51

- 5/8" TYPE-'X' GYPSUM WALL BOARD TO U/S STEEL DECK
- MIN. 25ga. 6" STEEL STUDS @ MAX 16" o/c TO U/S STRUCTURE
- SOUND ATTENUATING FIBREGLASS BATT INSULATION TO FILL STUD SPACE
- 5/8" TYPE-'X' GYPSUM WALL BOARD TO U/S STEEL DECK

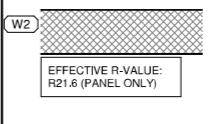
### FOUNDATION & EXTERIOR WALL SCHEDULE

**FOUNDATION WALL (BLIND FORMED & UN-INSULATED)**



- SHOT-CRETE SHORING (REFER TO GEOTECHNICAL AND STRUCTURAL DWGS.)
- CONT. COMPOSITE DRAIN MAT
- CARRIER SHEET ATTACHED TO DRAIN MAT
- SPRAY WATERPROOFING ON CARRIER SHEET; MIN. 60MIL
- STRUCTURAL CONCRETE WALL PER STRUCT. DWGS.
- PAINT ON EXPOSED CONCRETE WALL

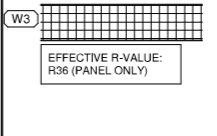
**FIRE RATED INSULATED METAL PANEL**  
MIN. 2 HR FIRE RESISTANCE RATING BASED ON CAN/ULC-S101 DESIGN NO. KIP/CWP 180-1 PER WARNOCK HERSEY INTERTEK



EFFECTIVE R-VALUE: R21.6 (PANEL ONLY)

- 6" MINERAL WOOL CORE INSULATED METAL PANEL UL-263, CAN/ULC-S101, CAN/ULC-S102 (Mineral Fiber Core)

**NON-FIRE RATED INSULATED METAL PANEL**  
NO REQUIRED FIRE RESISTANCE RATING

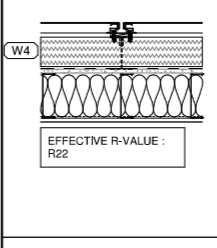


EFFECTIVE R-VALUE: R36 (PANEL ONLY)

- 5" POLYCYANURATE CORE INSULATED METAL PANEL

PANEL NEEDS TO BE TESTED TO CAN/ULC-S101 FOR 10 MIN AS PER SENTENCE 3.1.5.7.(3). FLAME SPREAD RATING 150 REQUIREMENTS LISTED IN (IV) NEEDS TO COMPLY WITH CAN/ULC-S134 FOR COMBUSTIBLE CLADDING ON EXTERIOR WALLS (3.1.5.5.)

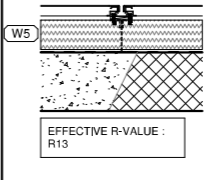
**STEEL STUD WALL WITH METAL CLADDING**



EFFECTIVE R-VALUE: R22

- COMPOSITE ALUMINUM PANELS WITH PROPRIETARY CLIPS; DRY JOINT SYSTEM
- INTERMITTENTLY SPACED SUPPORT CLIPS TO MATCH INSULATION THICKNESS (KPS THERMASMART CLIP 2.0 SYSTEM OR APPROVED ALTERNATE); ALIGN WITH WALL STUDS
- 4" SEMI-RIGID INSULATION (NON-COMBUSTIBLE) NOM. R17.2
- CONTINUOUS VAPOUR PERMEABLE WEATHER BARRIER (SELF-ADHERED OR FLUID APPLIED)
- 1/2" DENSGLAS SHEATHING
- MIN. 20ga. 6" STEEL STUDS (ENGINEERED) SPACED AS PER STRUCT. DWGS REQUIREMENTS; MAX. 16" O.C.
- NOMINAL R22 BATT INSULATION TO FILL STUD SPACE
- CONTINUOUS 6MIL POLY VAPOUR BARRIER
- 1/2" GYPSUM WALLBOARD

**STEEL STUD WALL WITH METAL CLADDING**

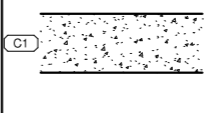


EFFECTIVE R-VALUE: R13

- COMPOSITE ALUMINUM PANELS WITH PROPRIETARY CLIPS; DRY JOINT SYSTEM
- INTERMITTENTLY SPACED SUPPORT CLIPS TO MATCH INSULATION THICKNESS (KPS THERMASMART CLIP 2.0 SYSTEM OR APPROVED ALTERNATE); ALIGN WITH WALL STUDS
- 4" SEMI-RIGID INSULATION (NON-COMBUSTIBLE) NOM. R17.2
- CONTINUOUS AIR / VAPOUR BARRIER (SELF-ADHERED OR FLUID APPLIED)
- STRUCTURAL CONCRETE OR CMU WALL (PER STRUCTURAL)

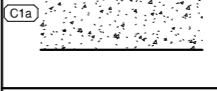
### CONCRETE & CMU WALL SCHEDULE

**CONCRETE WALL**  
MIN. 3 HOUR FIRE RESISTANCE RATING BASED ON D-2.1 OF DIVISION B - APPENDIX D, BCBC 2018



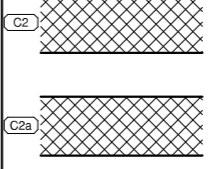
- REINFORCED CONCRETE WALL WITH THICKNESS AS INDICATED ON PLANS (MIN. 8")
- PAINT FINISH ON BOTH SIDES U.N.O.

**CONCRETE WALL**  
MIN. 2 HOUR FIRE RESISTANCE RATING BASED ON D-2.1 OF DIVISION B - APPENDIX D, BCBC 2018



- REINFORCED CONCRETE WALL WITH THICKNESS AS INDICATED ON PLANS (MIN. 8")
- PAINT FINISH ON BOTH SIDES U.N.O.

**CONCRETE BLOCK WALL**  
MIN. 3 HOUR FIRE RESISTANCE RATING BASED ON ULC DESIGN No. U904



- NOMINAL 8" REINFORCED CONC. BLOCK WITH LISTING (PAINT FINISH BOTH SIDES IF EXPOSED UNLESS NOTED OTHERWISE)

**CONCRETE BLOCK WALL**  
MIN. 2 HOUR FIRE RESISTANCE RATING BASED ON ULC DESIGN No. U906



- NOMINAL 8" REINFORCED CONC. BLOCK WITH LISTING (PAINT FINISH BOTH SIDES IF EXPOSED UNLESS NOTED OTHERWISE)

**EXTERIOR WALL GENERAL NOTES:**

- MINIMUM BUILDING ENVELOPE THERMAL PERFORMANCE REQUIREMENTS ARE BASED ON CONFORMANCE WITH CLIMATE ZONE 5 REQUIREMENTS UNDER ASHRAE 90.1-2016. NOTE THAT BUILDING IS DESIGNED WITH BOTH "CONDITIONED" AND "UNCONDITIONED" SPACE AS DEFINED IN ASHRAE 90.1-2016 WITH CAR WASH BAY AND PARKING AREA DESIGNATED AS "UNCONDITIONED" SPACE.
- WHERE PARTITIONS SEPARATE SEMI-HEATED AND CONDITIONED SPACES AS DEFINED IN ASHRAE 90.1-2016, THE FULL ASSEMBLY SHALL BE CONTINUOUS FOR FULL-HEIGHT AND ALL JOINTS SHALL BE SEALED.

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www.bfarchitects.com info@bfarchitects.com

**REVISIONS**


NO.	DESCRIPTION	DATE
1-	ISSUED FOR DP	2022-03-25
2-	REISSUED FOR DP	2022-06-16

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**CLIENT**  
**BG DOUGLAS VENTURES INC.**

**PROJECT NO.** 21500  
**PROJECT** Commercial and Self-Storage Development  
2300, 2310 & 2312 Douglas Street, Victoria, BC

**DRAWING TITLE**  
**PRELIMINARY WALL & ROOF ASSEMBLIES**

**SEAL**  


**DRAWING NO.** | **REVISION**

**A701**

**DATE** 06/16/22 | **DRAWN** Author  
**SCALE** 1" = 1'-0" | **CHECKED** Checker

REVISIONS

NO.	DESCRIPTION	DATE
1-	ISSUED FOR DP	2022-03-25
2-	REISSUED FOR DP	2022-06-16

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CLIENT

BG DOUGLAS VENTURES INC.

PROJECT NO.

21500

PROJECT

Commercial and Self-Storage  
Development  
2300, 2310 & 2312 Douglas  
Street, Victoria, BC

DRAWING TITLE

SHADOW ANALYSIS

SEAL



DRAWING NO.

REVISION

**SA01**

DATE

06/16/22

SCALE

DRAWN

Author

CHECKED

Checker



① MARCH-21 10:00AM



② MARCH-21 12:00PM



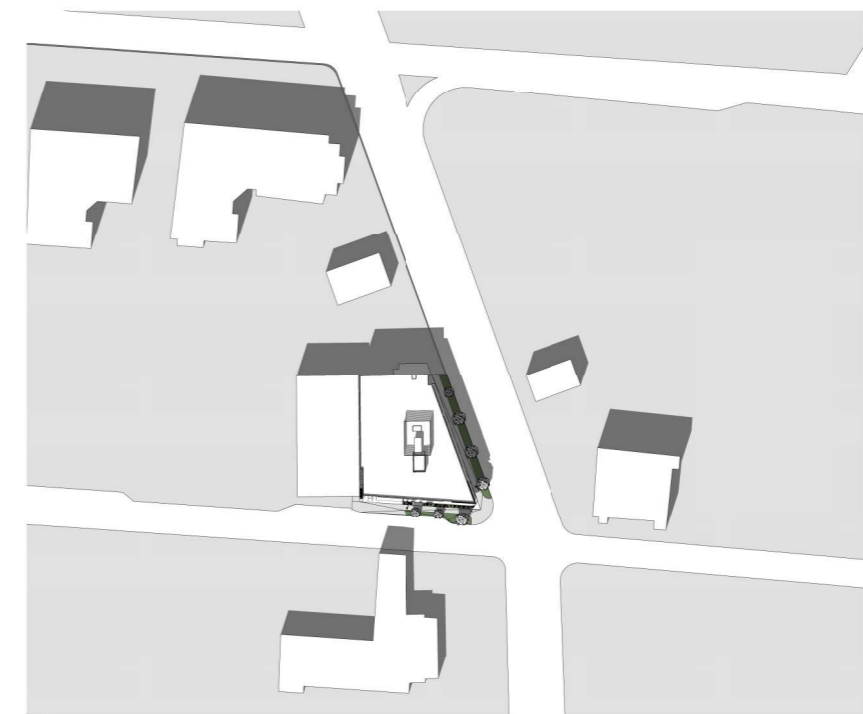
③ MARCH-21 2:00PM



④ SEPTEMBER-21 10:00AM

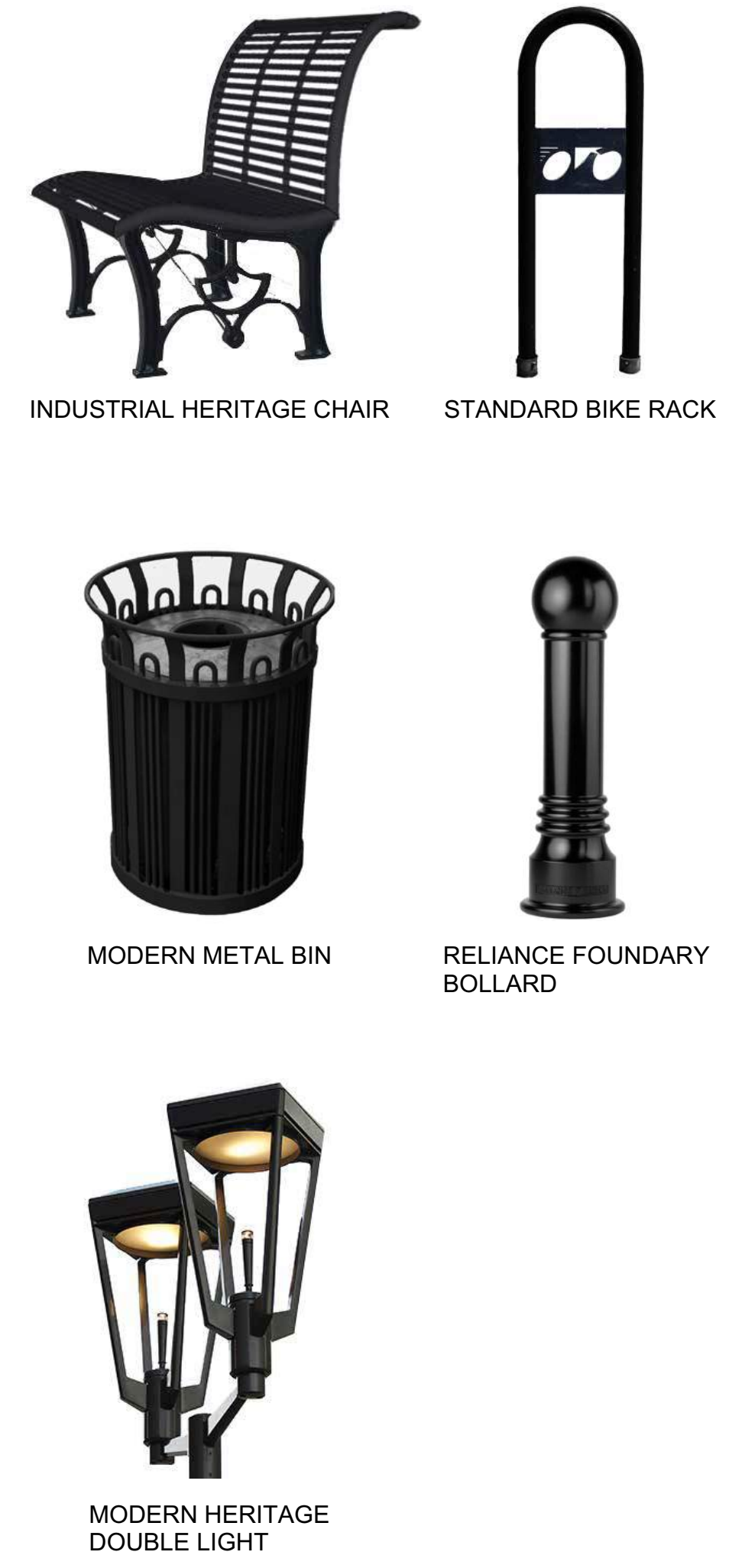


⑤ SEPTEMBER-21 12:00PM



⑥ SEPTEMBER-21 2:00PM

**OFFSITE FURNITURE**



**Recommended Nursery Stock**

Trees	Botanical Name	Common Name	Size
Total: 2	Street trees. Species & size to be selected by City of Victoria Parks Department		
Large Shrubs	Botanical Name	Common Name	Size
Total: 15	Mahonia aquifolium	Tall Oregon Grape	#5 pot
	Rhododendron 'Rosa Mundi'	Rosa Mundi Rhododendron	#7 pot
	Ribes sanguineum	Red Flowering Currant	#7 pot
Small Shrubs	Botanical Name	Common Name	Size
Total: 85	Gaultheria shallon	Salal	#1 pot
	Lavandula stoechas 'Otto Quast'	Spanish Lavender	#1 pot
	Mahonia nervosa	Low Oregon Grape	#1 pot
Perennials, Annuals and Ferns	Botanical Name	Common Name	Size
Total: 97	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	#1 pot
	Helictotrichon sempervirens	Blue Oat Grass	#1 pot
	Polystichum munitum	Sword Fern	#1 pot

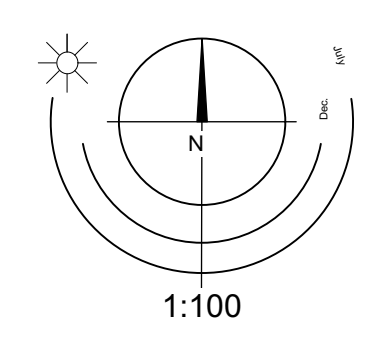
- Notes:**
- All work to be completed to current BCSLA Landscape Standards
  - All soft landscape to be irrigated with an automatic irrigation system

**PROPOSED NATIVE PLANT PALETTE**



**Revisions**

Received Date: July 5, 2022



June 10-22  
May 16-22  
March 22-21

**2300-2312 Douglas St. | Landscape Concept Plan**

**BOULEVARD TREE SOIL VOLUME TABLE**

Planting Area ID	Area (M2)	Soil Volume multiplier*	A Estimated soil Volume	Replacement Trees Proposed			Soil Volume Required (m3)			
				# Small	# Medium	# Large	E Small	F Medium	G Large	Total **
Onsite										
A	49	0.92	45	0	2	0	0	30	0	30
Offsite (Excluding City Property)										
Planting Area OSA X										
Offsite (Excluding City Property)							E	F	G	TOTAL
							Calculation: $\begin{matrix} \text{if } B = 1, B \times 8 & \text{if } C = 1, C \times 20 & \text{if } D = 1, D \times 35 \\ \text{if } B > 1, B \times 6 & \text{if } C > 1, C \times 15 & \text{if } D > 1, D \times 30 \end{matrix}$			

\* On ground (excluding exposed bedrock): use 1, On structure: use depth of soil, On soil cells: use 0.92, On structural soil: use 0.2  
 \*\* Total must not exceed A. If Total exceeds A, then the number or size of proposed replacement trees must be reduced.

**SUMMARY TREE TABLE**

	Count	Multiplier	Total
<b>ONSITE Minimum replacement tree requirement</b>			
A. Protected trees removed	0	X 1	A. 0
B. Replacement trees proposed per Schedule "E", Part 1	0	X 1	B. 0
C. Replacement trees proposed from Schedule "E", Part 2	0	X 0.5	C. 0
D. Replacement trees proposed per Schedule "E", Part 3	0	X 1	D. 0
E. Total replacement trees proposed (B+C+D) Round down to nearest whole number			E. 0
F. Onsite replacement tree deficit (A-E) Record 0 if negative number			F. 0
<b>ONSITE Minimum trees per lot requirement (onsite trees)</b>			
G. Tree minimum on lot*			G. 8
H. Protected trees retained (other than specimen trees)	0	X 1	H. 0
I. Specimen trees retained	0	X 3	I. 0
J. Trees per lot deficit (G-(B+C+H+I) Record 0 if negative number			J. 8
<b>OFFSITE Minimum replacement tree requirement (offsite trees)</b>			
K. Protected trees removed	0	X 1	K. 0
L. Replacement trees proposed per Schedule "E", Part 1 or Part 3	2	X 1	L. 2
M. Replacement trees proposed from Schedule "E", Part 2	0	X 0.5	M. 0
N. Total replacement trees proposed (L+M) Round down to nearest whole number			N. 2
O. Offsite replacement tree deficit (K-N) Record 0 if negative number			O. 0
<b>Cash-in-lieu requirement</b>			
P. Onsite trees proposed for cash-in-lieu Enter F. or J., whichever is the greater number			P. 8
Q. Offsite trees proposed for cash-in-lieu Enter O.			Q. 0
R. Cash-in-lieu proposed ((P+Q) X \$2,000)			R. 16,000



**2300-2312 Douglas St. | Tree Management Plan**



June 10-22  
 May 16-22  
 March 22-21



June 05, 2022

Lisa Helps – Mayor  
Marianne Alto, Stephen Andrew, Sharmarke Dubow, Ben Isitt, Jeremy Loveday, Sarah Potts, Charlayne Thornton-Joe, Geoff Young – Councillors  
City of Victoria

**RE: Development Permit Application – 2300,2310 and 2312 Douglas Street  
4 Storey Industrial Building**

Dear Mayor and Council Members,

We have included this letter with our development permit application for a four storey industrial building in the Burnside Gorge neighbourhood.

## 1 DESCRIPTION OF PROPOSAL

The site is comprised of 3 legal lots with a total area of 1,500 square meters (16,150 square feet) situated on northwest corner of Douglas Street and Queens Avenue in the Burnside Neighbourhood.

We have proposed a 4 storey industrial building with light manufacturing spaces of various sizes at grade along the Douglas Street frontage. These spaces are designed to accommodate flexible sizes from 335 to 2,534 square feet and will allow future occupants to operate in accordance with the permitted uses of the existing M-1 Limited Light Industrial District uses. Parking for the building will be provided at-grade and will be completely enclosed and accessed from the Southwestern portion of the site off Queens Avenue. The remainder of the building is planned to accommodate a self-storage business, and we have taken steps to ensure that this space is viable for alternative uses at later stages of the building's life-cycle. This space is served by a building lobby that is accessed from Queens Street.

The building mass is inspired by stacked shipping containers that are commonly found in industrial environments, particularly those with a marine interface. We have included spontaneous selected glazing that serves the dual purposes of animating the street frontages and facilitating the potential future uses of the building.

The landscape design of the proposal responds to the building design, with the majority of the designed space falling within the Douglas Street and Queens Avenue frontages. The onsite landscape design includes decorative paving areas which demarcate the building entry points, as well as planting beds of native and adaptive species located along the

building face which provide a soft transition to the adjacent public realm. Temporary bicycle parking is provided under the building canopy along the Douglas Street frontage in close proximity to one of the building entrances.

The street frontages adhere to the Downtown Core Area Plan (DCAP) catchments which apply (Douglas Street & Rock Bay), providing five large-canopy street trees along Douglas Street and three medium-canopy street trees along Queens Avenue. The inclusion of these street trees also follows the design recommendations put forth in the Burnside Neighbourhood Plan. These trees will be supplied with their required soil volumes via soil cells. Site furniture has been provided at the Douglas and Queens intersection as per the DCAP, creating a seating node in the expanded boulevard and sidewalk space.

## 2 PROJECT BENEFITS, AMENITIES

This proposal offers social, economic, and environmental benefits to the City of Victoria. Socially, it will provide small scale light manufacturing / artistic spaces that offer excellent exposure to pedestrian and vehicular traffic. These spaces will support the creative and artistic entrepreneurial segments of the local community by offering an additional venue to conduct their business.

Economic benefits of the project will occur in both the pre and post construction period. These will include:

- Economic benefits accruing to local business and service providers during the construction of the building.
- Numerous full-time light manufacturing employment opportunities in the units provided at grade.
- Several full-time managerial and operational jobs from the self-storage business.
- Enhanced and safer Neighbourhood.

This project also addresses an acute shortage of available storage spaces in the city. This shortage, and the resulting high rental rates, have several detrimental economic and social effects. The most notable of these is that self-storage users are compelled to take longer vehicle trips to the outskirts of the city in order to find vacancies.

Lastly, the proposed development will remediate a brownfield urban parking site and transform it into a distinctively designed building. Environmental contamination from past industrial uses will be remediated, and the new building will feature an enhanced building envelope and

sophisticated mechanical systems. A more comprehensive list of the “Green Building Features” can be found in Section 6 of this letter.

### 3 NEIGHBORHOOD

The immediate neighbourhood comprises of industrial on Queens Avenue and retail industrial on Douglas Street with some residential buildings further back from the site. The immediately adjacent properties are occupied by an existing U-Haul storage building to the East, an ice & water outlet to the North and a furniture store diagonally located on the southeast serving the Neighbourhood.

With this in mind, the urban design concept for the public realm of our proposal is to strengthen the street experience and to engage the public with an activated pedestrian experience, particularly along Douglas Street. The public experience is further improved by new trees and a strip of landscaping.

### 4 DESIGN AND DEVELOPMENT PERMIT GUIDELINES

The property resides in Development Permit Area 10A: Rock Bay, and as such incorporates the design and development permit guidelines for that area, and the Downtown Core Area Plan more generally. Having said that it is worthwhile to highlight some of the specific guidelines that we have addressed, particularly where it was a result of consultation with various stakeholders.

Early in the design development stage, we solicited feedback on our preliminary designs from the Burnside Gorge Community Association. While the feedback was generally favorable, they offered a number of constructive comments that were incorporated into the submitted design, all of which are consistent with several of the Building Design Guidelines in the DCAP:

- Building height was reduced to conform to the existing M-1 zoning bylaw, and is consistent with DCAP policy 6.127.
- Additional glazing was added to the upper facades of the building, which improves the viability of alternative future uses of the building
- Grade elevation along Douglas Street was modified to incorporate a more open store-front appearance with additional glazing and entrance doors.
- Improved the Northern façade with more decorative cladding, despite the eventual zero-lot-line interface with the neighbouring property.

Further consultation with the Sustainable Planning and Community Development Department of the City of Victoria raised additional areas for improvement in our design:

- Relocated the glazed elevator to the interior of the building and expanded active industrial uses at grade fronting Douglas Street, consistent with DCAP policy 3.48
- Revised the Douglas & Queens corner profile of the building to create a more dramatic projection.

Lastly, in light of the fact that the City of Victoria zoning bylaw does not stipulate specific vehicle parking requirements for a self-storage land use, we commissioned a study by Bunt & Associates to assess an appropriate vehicle & bicycle parking provision for the property. This study relied on traffic counts at other self-storage buildings in both the Lower Mainland and the Capital Regional District. This study concluded that the 19 spaces provided in this proposal is more than sufficient for the proposed uses, however, it is less than the prescribed rate in the City of Victoria Zoning Bylaw and will therefore require a variance. In addition to this parking provision, we have implemented a number of Transportation Demand Management strategies:

- Providing 6 long-term & 6 short term bicycle parking spaces
- Providing end-of-trip facilities for cyclists
- Providing transit passes for employees to encourage the use of public transit for commutes

These strategies are consistent with the Transportation Demand Management framework outlines in the DCAP.

## 5 HERITAGE

No heritage impacts with this proposal.

## 6 GREEN BUILDING FEATURES

The self-storage portion of the building is semi-heated spaces with low heating and cooling demands. The following provides a breakdown of green features for each building system:

### 6.1 MECHANICAL SYSTEMS

- Heating and Ventilation (Storage Area): High Efficiency Natural Gas Fired Condensing Rooftop Air Handling Unit (91%) complete with economizer / heat recovery.

- Heating, Ventilation & Airconditioning (CRUs & Office Space): High efficiency Variable Refrigerant Flow (VRF) system (COP 4.2).
- Proper air distribution tests will be completed that test, adjust and balance the air distribution system.
- All motors (fan/blower/ECM/compressor) to be of high efficiency and help reduce the total electrical consumption.

## 6.2 PLUMBING SYSTEMS

- Heat Pump Domestic Hot Water Heater complete with electrical back-up and integral packaged controls.
- Ultra low-flow plumbing fixtures.

## 6.3 ELECTRICAL SYSTEM

- LED Lighting Fixtures
- Occupancy / vacancy sensors
- Lighting control system for automatic dimming, vacancy sensing, time clock control and daylight harvesting.
- Light levels to meet recommended standards and to allow for LPD to meet or exceed ASHRAE requirements.
- External LED luminaires to be complete with full cut off to reduce light pollution. BES to perform light level calculations to ensure compliance with city requirements.
- Rooftop photovoltaic system roughed-in at a minimum.
- EV Charging Stations (Level 2) in 10% of parking stalls.

## 6.4 CONTROL SYSTEM

All HVAC equipment and lighting to be controlled via DDC System. Advantages include:

- Increase occupant comfort.
- Decrease operating costs and faster response time.
- Control sequences for energy savings.
- Digital interface with remote login capabilities.
- Energy management software.
- Less tenant maintenance required with Fault Detection Diagnostics.

# 7 INFRASTRUCTURE

The proposed development requires addressing historic old services to be abandoned with new services being installed. The Douglas Street frontage requires only partial reconstruction as its current condition is generally good. The Queens frontage will require complete redevelopment.

Transportation has been reviewed with the cooperation of the City of Victoria Engineering Department as well as Bunt & Associates. The City has requested accommodation of narrowing the width of the Queens intersection facilitating bubs at the corners. This provides for a shorter crossing for pedestrians improving safety and increasing the amount of landscape area. The intersection geometry was designed with consideration of a WB17 (Tractor and Trailer) to still navigate the intersection. The City has indicated that the intersection will become fully signalized somewhere around 2024, potentially in concurrence with the project redevelopment. As such the civil engineering plans will be designed collaboratively with the City to accommodate the future works.

Storm drain service is available via the municipal storm drain system. No attenuation of the rainwater will be required. However the City does provide for tax credit system should the developer choose to do.

Sanitary sewers are available at property line and can provide for a new service connection. Old service connections are to be decommissioned. At this time sanitary sewer flow attenuation has not been requested and is not anticipated.

New water services for both domestic use and fire prevention use are anticipated. The City provides two separate water main networks for this. The Fire suppression system is of a higher pressure requiring a separate connection. A domestic connection will come from the lower pressure domestic system.

We thank you for your consideration. The entire project team look forward to presenting this application and advancing the review process with the Mayor and City Council, City Staff and the surrounding community.

Respectfully,



Helen Besharat, Principal  
Architect AIBC FRAIC RID LEED BD+C  
BFA Studio Architects



Chris Bradley, Principal  
Bradley Group of Companies