



## Advisory Design Panel Report For the Meeting of November 23, 2022

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**To:** Advisory Design Panel **Date:** November 8, 2022  
**From:** Geordie Gordon, Senior Planner  
**Subject:** **Development Permit with Variance(s) Application No. 000216 for 2540 and 2542 Shelbourne Street**

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### EXECUTIVE SUMMARY

The Advisory Design Panel (ADP) is requested to review a Development Permit Application for 2540 and 2542 Shelbourne Street and provide advice to Council.

The proposal is for a 13-unit townhouse development constructed in two separate three-storey buildings. A concurrent rezoning application proposes to permit multiple dwellings and to increase the Floor Space Ratio (FSR) to 0.98:1. The subject properties to be consolidated are designated Traditional Residential in the *Official Community Plan (OCP, 2012)*, which supports attached residential buildings up to three storeys on secondary arterial roads (such as Shelbourne Street) and permits a density of up to 1:1 FSR. The *Fernwood Neighbourhood Plan (FNP, 2022)* is consistent with the OCP and also designates the subject properties as Traditional Residential. The height and density in this location is supported under the FNP, as is the ground-oriented design.

Staff are looking for commentary from the Advisory Design Panel with regard to:

- setbacks and privacy
- site planning and street relationship
- open space
- any other aspects of the proposal on which the ADP chooses to comment.

The Options section of this report provides guidance on possible recommendations that the Panel may make, or use as a basis to modify, in providing advice on this application.

### BACKGROUND

**Applicant:** Mr. Hassan Sayed  
Frame Properties

**Architect:** Mr. Alex McCumber, Architect AIBC  
dHK Architects

**Development Permit Area:** Development Permit Area 16A, General Urban Design  
**Heritage Status:** n/a

## Description of Proposal

The proposal is for a 13-unit townhouse development constructed in two separate three-storey buildings. The two buildings are arranged in a front to back layout with only one of the buildings (the eastern most) having direct frontage onto Shelbourne Street. The western building is accessed via a drive isle on the northern boundary of the subject site. The front building contains seven units, with the remaining six in the rear building. The proposed density is 0.98 FSR. Variances required are related to setbacks and parking.

Major design components include:

- buildings arranged front to back, only eastern building has street frontage
- 7-meter wide Statutory Right of Way along Shelbourne Street for future street improvements
- fully enclosed parking for 11 of 13 units
- private outdoor space for 11 of the 13 units.

Exterior finishes include:

- fibre cement lap siding in white and slate grey
- fibre cement shingles in iron grey
- fibre cement panels in white and slate grey
- prefinished vinyl windows
- prefinished vinyl sliding doors
- black asphalt shingles
- prefinished fibre cement trim
- wood tone finish
- fencing: prefinished aluminium pickets.

Landscaping elements include:

- a rain garden in the SRW fronting Shelbourne Street
- a mix of small, medium, and large shrubs in front and side landscaped areas
- six new maple trees in private yard areas for western building
- a mix of concrete pavers, and clear crushed gravel.

The following data table compares the proposal with the RT Zone Traditional Residential Attached Dwelling District. A number of areas require further clarification and will be corrected as the application advances. An asterisk is used to identify where the proposal does not meet the requirements of zone standard.

<b>Zoning Criteria</b>	<b>Proposal (Combined east and west building)</b>	<b>Zone Standard (RT)</b>
Site area (m <sup>2</sup> ) – minimum	1,526	920
Density (Floor Space Ratio) – maximum	0.98:1	1:1
Total floor area (m <sup>2</sup> ) – maximum	1,497	1,526
Height (m) – maximum	10.23	10.5
Storeys – maximum	3	3
Site coverage (%) – maximum	39	50
Open site space (%) – minimum	35	30
<b>Setbacks (m) – minimum</b>		
West side of Shelbourne	10.7	10.7
Front (Shelbourne Street)	6.01	6
Rear	5.31	4
Side (north)	3.57* (building) 0.00* (driveway)	4
Side (south)	1.66*	4
Vehicle parking – minimum	11*	13
Visitor vehicle parking included in the overall stall requirement - minimum	2	2
<b>Bicycle parking stalls – minimum</b>		
Class 1	13	13
Class 2	12	6

## **Sustainability Features**

The applicant's letter to Mayor and Council identified the following sustainability:

- step Code 3 of the BC Energy Step Code
- durable and sustainable building materials
- low-e (low emissivity) glazing

- bike parking
- EV infrastructure.

A revised version of the plans shows a rain garden in the front yard area, within the required SRW. While landscaping in the SRW is encouraged, permanent structures are not permitted in the SRW and plans for the area will require revision.

## **Consistency with Policies and Design Guidelines**

### Official Community Plan

The *Official Community Plan* (OCP, 2012) designates the property as Traditional Residential, which envisions ground-oriented buildings generally up to two storeys, with additional half or whole storeys contemplated in certain areas – such as three storeys along secondary arterial roads, which includes Shelbourne Street. Place character features applicable to this application include houses with front and rear yards with variable setbacks, and oriented towards the street.

The OCP also identifies the site within Development Permit Area 16A (DPA 16A): General Urban Design.

### Fernwood Neighbourhood Plan

The *Fernwood Neighbourhood Plan* is consistent with the OCP and identifies the subject properties as Traditional Residential. Housing policies in the *Fernwood Neighbourhood Plan* encourage housing that is diverse in size, tenure, form, designed to be liveable and complement its surroundings (such as ground oriented forms and heritage features) while supporting diverse tenure types. Housing policies also encourage the development of family-oriented housing with larger bedroom units on lower floors, as well as logical lot assembly that creates suitable space for the envisioned scale of housing. Building forms along arterial corridors (such as Shelbourne Street) that maximize liveability for individual units is encouraged: courtyards, greater front yard setbacks, shared rear green space, and corner buildings oriented to side streets.

Traditional Residential policies in the *Fernwood Neighbourhood Plan* envision primarily ground-oriented residential development, consistent with relevant OCP designation as well as applicable Development Permit Area Design Guidelines (see below).

### Design Guidelines for Development Permit Area 16A: General Urban Design

The OCP identifies this property in [Development Permit Area 16A](#): General Urban Design. The objectives for this DPA that are relevant to this location include:

- To support multi-unit residential developments that provide a sensitive transition to adjacent and nearby areas with built form that is often three storeys, or lower
- To integrate multi-unit residential buildings in a manner that is complementary to established place character in a neighbourhood or other area, including its heritage character
- To enhance the place character of established areas and their streetscapes through high quality of architecture, landscape and urban design that responds to each distinctive setting through sensitive and innovative interventions



- To achieve more livable environments through considerations for human-scaled design, quality of open spaces, privacy impacts, safety and accessibility.

Special conditions that justify this DPA designation that are applicable to this application include:

- Multi-unit residential may be located along or visible from prominent transit corridors, quiet streets or public spaces. They therefore merit attention to mitigate any negative impacts, co-exist with adjacent existing or planned future development, support livability for new residents, and enhance the character of streetscapes and surrounding areas
- Multi-unit residential buildings may share an interface with areas envisioned for low-rise built form that requires consideration for sensitive transition.

The design guidelines that apply to Development Permit Area 16A are:

[General Urban Design Guidelines \(2022\)](#)

[Guidelines for Fences, Gates and Shutters \(2010\)](#)

### Transportation Considerations

The 1989 Shelbourne Corridor Study, prepared for the City of Victoria by the Delcan Corporation, recommended securing a widened right-of-way of 7.0 m along the west side of Shelbourne Street as part of a staged improvement strategy. The purpose of the study was to develop a transportation strategy: providing a balance between future traffic needs, Right-of-Way impacts of various road widening alternatives and land use impacts along the Shelbourne Street corridor. The RT Zone, Traditional Residential Attached Dwelling District, specifies a 10.7m front yard setback requirement to implement this transportation strategy. The proposal includes the 10.7m setback from Shelbourne Street. In the event that the Right-of-Way improvements are achieved along the frontage then it would result in a 3.73 m front yard.

### ISSUES AND ANALYSIS

The following sections identify and provide a brief analysis of the areas where the Panel is requested to provide commentary. The Panel’s commentary on any other aspects of the proposal is also welcome.

#### Building Setbacks and Privacy

Variations are being requested to reduce both side yard setbacks.

The distance between buildings is inconsistent with the General Urban Design Guideline Proposed Setbacks Between Building and Lot Lines (m).

<i>Setback</i>	<i>Proposed</i>	<i>General Urban Design Guidelines</i>	<i>Zone Standard (RT)</i>
Street Boundary – Shelbourne Street	10.7 – 3.7 after SRW improvements (east building)	Minimum 3 m, average 4 m.	10.7

	31.1 (west building)		
Rear	5.3	Approximately 8 m.	4
Side – (north)	3.578 (building)	Minimum 3 m, average 4 m.	4
Side (south)	1.66	Minimum 3 m, average 4 m.	4

The south setback represents a significant reduction from what is specified in both the RT zone as well as the General Urban Design Guidelines. While the rear setback is consistent with the RT Zone, it represents a significant reduction below what is called for in the General Urban Design Guidelines. Taken together, staff have concerns about what impact these reduced setbacks will have on transition to adjacent properties as well as creating a potential for privacy and overlook issues.

Site Planning and Street Relationship

The applicant has responded to staff comments and revised the proposal from what was a “galley-style” building orientation with residential units perpendicular to the street to one that has multiple units with direct street access and a much-improved street presence.

As noted earlier, the City is requesting a seven-meter Statutory Right of Way (SRW) in order to facilitate future mobility improvements. The proposed front yard plan, with an approximate 7 per cent slope down from the street curb is inconsistent with the ability to implement the transportation strategy in the future. The SRW must slope at minimum 1 per cent grade towards the Shelbourne Street gutter. The impact of required revisions to the SRW area, on the street relationship of the eastern building and the front yard design, remains unclear.

Open Space

Despite the improved street relationship, the proposal still allocates a significant amount of space to vehicular circulation and hardscaped surfaces.

Given the setback variances and space required for vehicle access and circulation, there is minimal outdoor amenity space for residents – this is primarily limited to small patio areas, and limited space will be especially apparent for the eastern building if the transportation corridor improvements are made in the future.

The lack of open space also creates a poor-quality pedestrian experience, with no pedestrian access to the western building from Shelbourne Street other than through the drive aisle. The proposal is inconsistent with the following General Urban Design Guidelines:

- pedestrian access to main and secondary entrances should be well marked, free of vehicles and emphasized in building and site design
- pedestrian walkways that connect the primary entrance of buildings with the adjacent public sidewalk should be a minimum of 2m wide and distinguishable from driving surfaces by using varied paving treatments.

It is also worth noting that although 11 of 13 units have access to private outdoor space, because of the use of internal garages, nine of those eleven units have internal layouts that situate the kitchen and living rooms on the second floor. This results in the outdoor space being divorced from the main living areas, potentially diminishing its usability.

## **OPTIONS**

The following are three potential options that the Panel may consider using or modifying in formulating a recommendation to Council:

### **Option One**

That the Advisory Design Panel recommend to Council that Development Permit Application No. 000216 for 2540 and 2542 Shelbourne Street be approved as presented.

### **Option Two**

That the Advisory Design Panel recommend to Council that Development Permit Application No. 000216 for 2540 and 2542 Shelbourne Street be approved with the following changes:

- as listed by the ADP.

### **Option Three**

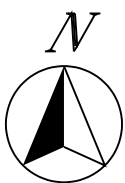
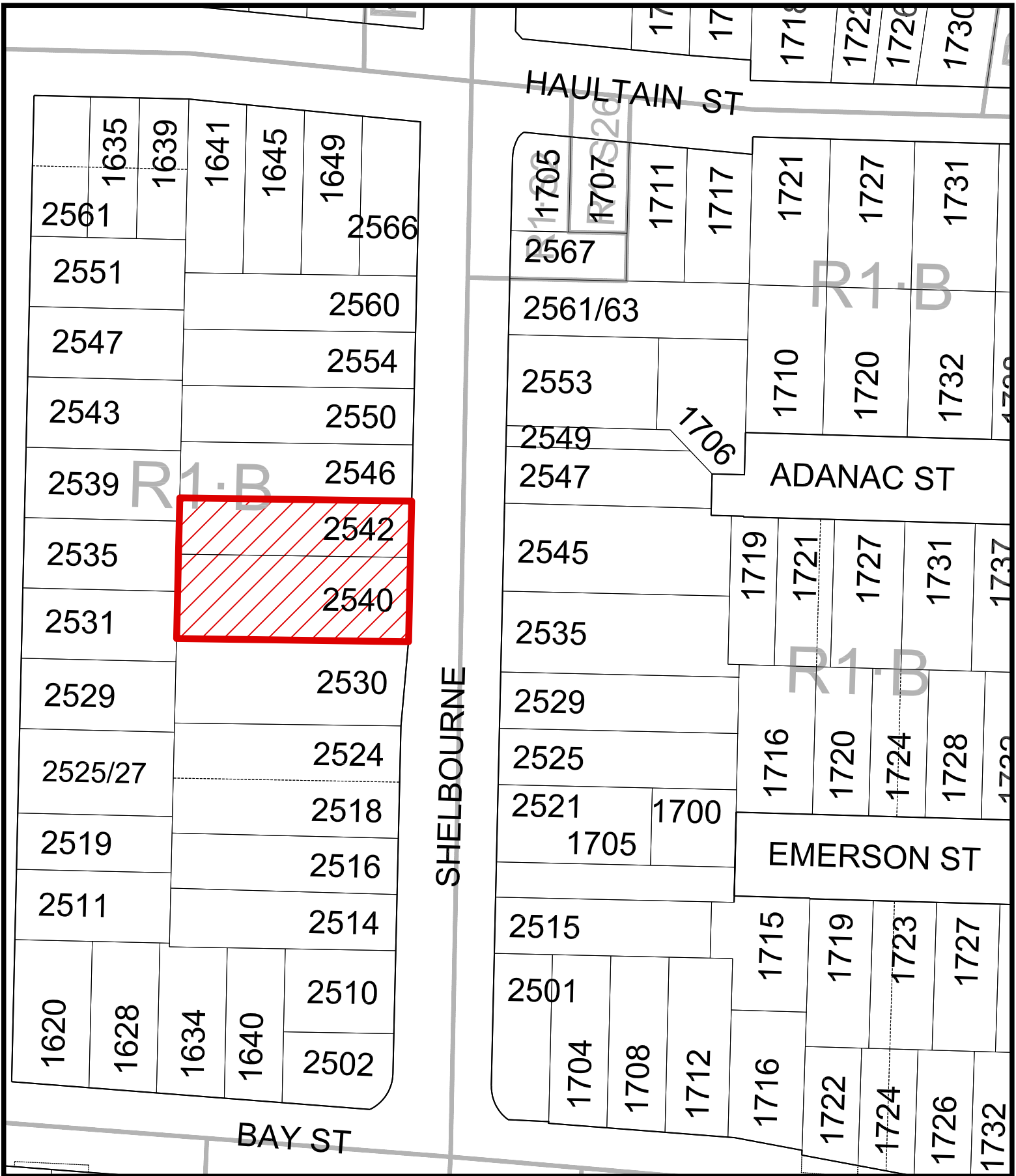
That the Advisory Design Panel recommend to Council that Development Permit Application No 000216 for 2540 and 2542 Shelbourne Street does not sufficiently meet the applicable design guidelines and polices and should be declined (and that the key areas that should be revised include:)

- as listed by the ADP, if there is further advice on how the application could be improved.

## **ATTACHMENTS**

- Subject Map
- Aerial Map
- Plans date stamped November 7, 2022
- Applicant's letter dated July 20, 2022.

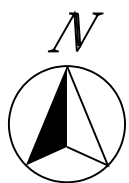
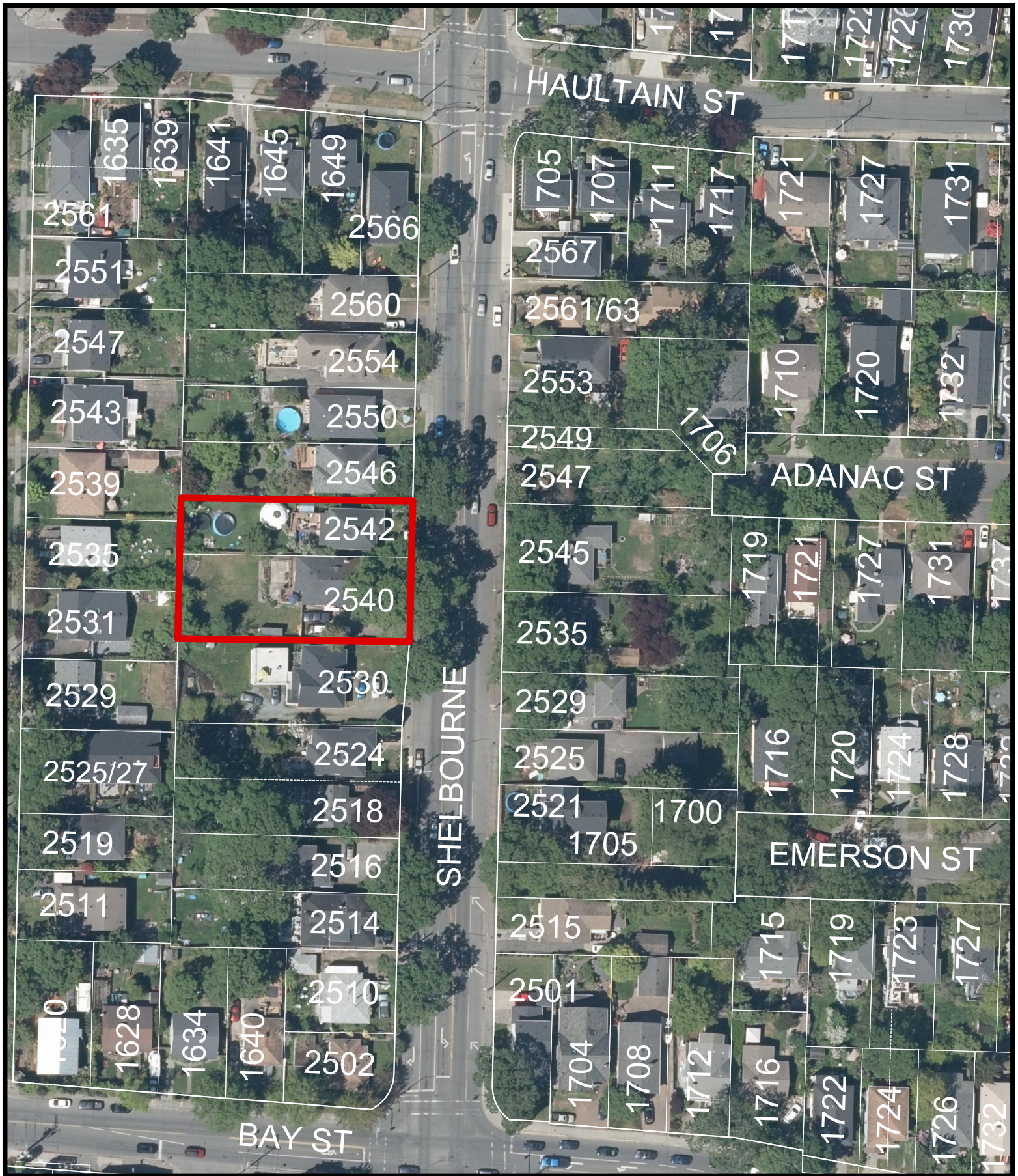
cc: Frame Properties, Applicant; dHK Architects, Architect



2540 & 2542 Shelbourne Street  
Rezoning No.00828







2540 & 2542 Shelbourne Street  
Rezoning No.00828





# 2540 - 2542 SHELBOURNE STREET



2 North West View Across Shelbourne Street  
A000



4 South West View Across Shelbourne Street  
A000

### PROJECT DESCRIPTION

CIVIC ADDRESS:  
2540 - 2542 SHELBOURNE STREET  
VICTORIA, BC

LEGAL DESCRIPTION:  
LOT 9 AND AMENDED LOT 10 (DD141161)  
BLOCK 6, SECTION 8A VICTORIA DISTRICT PLAN 881A

### ZONING BYLAW SUMMARY

BUILDING DESCRIPTION:  
Group C, 3 Storey Wood Construction

USES: Residential Townhomes

EXISTING ZONE: R1-B  
PROPOSED ZONE: TBD

SITE AREA: 1,526m<sup>2</sup> (16,426 s.f.)

### FLOOR AREAS

TOTAL PROPOSED: 1,447 m<sup>2</sup> (15,575 s.f.)

FLOOR SPACE RATIO: 0.95 : 1 FSR

SITE COVERAGE: 39%

OPEN SITE SPACE: 35%

GRADE OF BUILDING: West Bldg 19.65m  
East Bldg 20m  
(See Site Plan for Avg Grade Calculation)

### HEIGHT OF BUILDING:

West Bldg 10.07m  
East Bldg 10.23m

### NUMBER OF STOREYS:

3 STOREYS

### RESIDENTIAL PARKING:

13 stalls (incl. 2 visitor)  
12 Short term (rack)

### BICYCLE PARKING:

13 Class 1/EV Ready (in suite)  
12 Short term (rack)

### SETBACKS:

Setback	West Bldg	East Bldg
FRONT (Street):	31.8m	10.7m
REAR:	5.3m	26.42m
SIDE (North):	3.58m	6m
SIDE (South):	1.87m	1.87m
COMBINED SIDE:	5.25m	7.67m

### SUITE COMPOSITION:

TOTAL: 13 SUITES

2 Bed 2  
3 Bed 9  
Studios 2  
Ground-Orientated Units 13  
Minimum Unit Floor Area 30.26m<sup>2</sup>

### BUILDING CODE SUMMARY:

BCBC Part 3, Group C, 3 Storey Wood Construction

All material specifications, details and construction methods to conform to local by-laws and British Columbia Building Code (BCBC).

### PROJECT DIRECTORY

DEVELOPER  
Frame Properties  
541 Cornwall Street  
Victoria, B.C.  
V8V 4K9

ARCHITECT  
dHArchitects  
977 Fort Street  
Victoria, B.C.  
V8V 3K3  
P. (250) 585.3367

LANDSCAPE CONSULTANT  
LADR Landscape Architects Inc.  
3-884 Queens Avenue, Street Level,  
Victoria, BC, V8T 1M5  
P. (250) 586.0105

### DRAWING LIST

A000	COVER SHEET / PROJECT DATA
A001	SURVEY
A002	SHADOW STUDY
A101	SITE PLAN
A201	L1 PLAN
A202	L2 PLAN
A203	L3 PLAN
A204	ROOF PLAN
A301	ELEVATIONS
A302	ELEVATIONS
A303	STREET ELEVATION
A401	SECTIONS
A900	AREA PLANS
L001	LANDSCAPE PLAN

### ANNOTATIONS LEGEND

The following annotations are used on architectural drawings and details:

- BEDROOM ROOM NAME & ROOM NUMBER  
[201]
- DOOR NUMBER  
[101a] See Door Schedule
- WINDOW NUMBER  
[W-10] See Window Schedule
- WALL TYPE  
[W1] See Assemblies Schedule
- RATED WALL DESIGNATION  
[2.0 hr]
- ELEVATION DATUM  
[00.00]
- CEILING HEIGHT  
[2440]
- AREA OF DROP CEILING  
[Pattern]
- KEYNOTE SYMBOL  
[1]
- MATERIAL TAG  
[12]
- INTERIOR ELEVATION REFERENCE  
[A901]
- ROOM FINISHES  
[W1|C1|F1|B1]



### LIST OF ABBREVIATIONS

The following abbreviations are used on door, window, and finish schedules as well as on architectural drawings and details.

ACST	Acrylic Stucco	HP	High Point	ST	Structure
ACT	Acoustical Tile	HSS	Hollow Steel Section	STL	Steel
AFF	Above Finished Floor	H/W	Hardware	STN	Stain(ed)
AL	Aluminum	INSUL	Insulated	STNT	Stone Tile
BG	Building Grade	LAM	Laminated Glass	SS	Stainless Steel
CEM	Cementitious Backing Board	LP	Low Point	SVF	Sheet Vinyl Flooring
Conc	Concrete	MDFB	Medium Density Fibreboard Base	TB	Towel Bar
CBK	Concrete Block	MR	Mirror	TD	Tempered / Double Glazed
CIL	Centerline	MP	Metal Panel	TLAM	Tempered Laminated Glass
CPT	Carpet Tile	OIH	Overhead	TGL	Tempered Glass
CT	Ceramic Tile	OW	Operable Window	TLGL	Translucent Glass
CW	Complete With	PF	Prefinished	TOC	Top of Concrete
DD	Deck Drain	PLAM	Plastic Laminate	TOD	Top of Drain
EL	Elevation	PLS	Plaster	TOI	Top of Insulation
EPC	Epoxy Polymer Coating	PSF	Pressed Steel Frame	TOP	Top of Parapet
EXP AGG	Exposed Aggregate	PT	Paint	TOS	Top of Slab
EXT	Exterior	PTD	Paper Towel Dispenser	TOW	Top of Wall
FD	Floor Drain	MP	Paper Towel Dispenser / Waste	TP	Toilet Paper
FEC	Fire Extinguisher Cabinet	RA	Roof Anchor	UNF	Unfinished (for GWB means taped and filled by not sanded to minimum ULC requirements where applicable)
FFE	Finished Floor Elevation	RB	Rubber Base	U/S	Underside of
FG	Finished Grade	RES	Resilient Flooring	UNO	Underside of
GB	Grab Bar	RD	Roof Drain	VCT	Vinyl Composition Tile
GBL	Glass Block	RDP	Roof Drain - Planter	VI	Vision Glass
GL	Glass	RWL	Rain Water Leader	VIS	Vinyl Impact Sheet
GWG	Georgian Wire Glass	SAFI	Spray Applied Fibrous Insulation	VT	Vinyl Tile
GWB	Gypsum Wallboard	SCW	Solid Core Wood	WVC	Vinyl Wall Covering
HC	Hollow Core	SD	Soap Dispenser	WC	Water Closet
HCW	Hollow Core Wood	SL	Sealer	WD	Wood
H/C	Handicap	SP	Spandrel Glass	WPM	Waterproof Membrane
HM	Hollow Metal	SPC	Solid Particleboard Core	WRC	Water Repellent Coating

**Revisions**  
Received Date:  
November 7, 2022

22/10/04 ISSUED FOR DP AMENDMENTS  
22/10/24 ISSUED FOR ADP  
22/07/18 ISSUED FOR REZONING

Plot Date 2022/10/24 Drawing File  
Drawn By ADM / RCI Checked By ADM  
Scale As indicated Project Number  
NOTE: All dimensions are shown in millimeters.

**FERNWOOD TOWNHOMES**  
2540 & 2542 Shelbourne Street, Victoria, BC  
Project Data

REGISTERED ARCHITECT  
RICHARD J. DAVENPORT  
2022-11-07  
A000

dHArchitects  
Victoria  
977 Fort Street  
Nanaimo  
102-5190 Dublin Way V9T 0H2 T 1-250-585-5810  
V8V 3K3 T 1-250-658-3367



**B.C. LAND SURVEYOR'S SITE PLAN OF:  
LOT 9 AND AMENDED LOT 10 (DD1481161), BLOCK 6, SECTION 8A,  
VICTORIA DISTRICT, PLAN 881A**

**LEGEND**

- Elevations are geodetic based on integrated survey monument 26-43 in Victoria at elevation 17.768m.
- Note: Only trees with Trunk greater than 0.20m are identified. Consult Arborist to verify tree species.
- Grade shots are taken at the point marked X.
- Contours are descriptive, and only accurate to +/- 0.5m interval.
- - denotes Lead Plug found
- - denotes Utility Pole
- - denotes Water meter
- ⊥ - denotes Sign
- - denotes catch basin
- MFE - denotes Main Floor Elevation (Doorsill)
- ▬ - denotes retaining wall (T=Top)
- \* - denotes irrigation

Refer to arborist report for tree info.

**Parcel Identification Number (PID)**  
000-040-339 (LOT 9) AND 002-618-541 (AMD LOT 10)

**TOTAL SITE AREA**  
1526 m<sup>2</sup>

**MUNICIPALITY**  
VICTORIA

**CIVIC ADDRESS**  
2540 AND 2542 SHELBOURNE STREET  
VICTORIA, BC

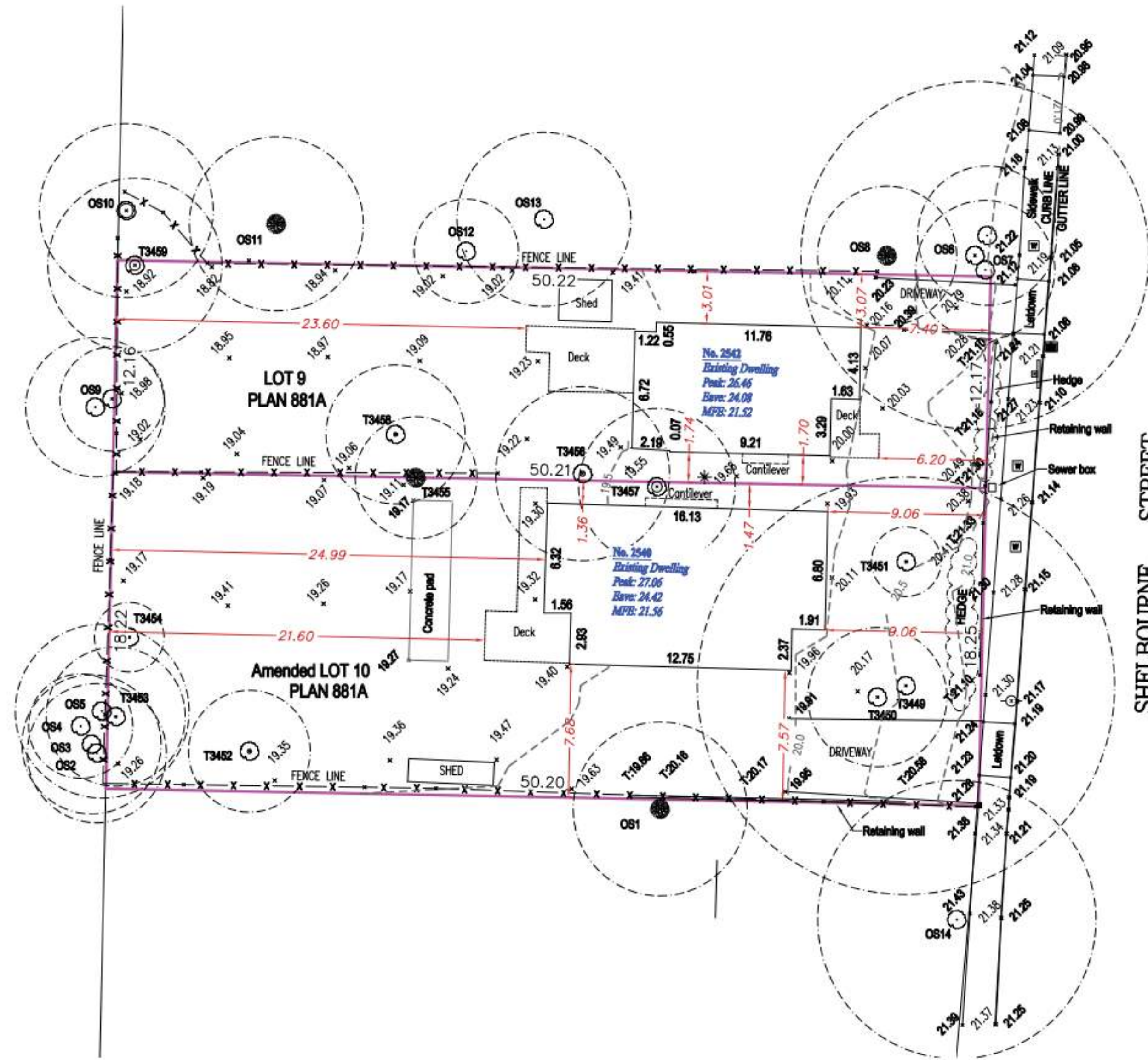
**ZONING**  
R1-B

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This document was prepared for the exclusive use of our client, FRAME PROPERTIES

\*This document is intended for use as a topographic plan. It is based on Land Title Office records, and does not represent a boundary survey. Critical lot dimensions and areas must be confirmed by a proper cadastral survey. Undersurface charges and covenant will not be shown on this survey unless such documents are provided and can be shown in two-dimensional view.

Explorer Land Surveying Inc. accepts no responsibility or liability for any damages that may be suffered by a third party as a result of any decisions made or actions taken based on this document.



**SCALE**

0 1:200 10  
All distances are in metres.  
The intended plot size of this plan is 610mm in width by 457mm in height (C-size) when plotted at a scale of 1:200.



**CERTIFIED CORRECT**

Lot dimensions are correct according to Land Title Office records.  
Kenneth Ng  
F8NUM8

Kenneth KC Ng, B.C.L.S.  
Field Survey - 8 March, 2022  
Dated this 17th of March, 2022.

This document is not valid unless originally signed and sealed or digitally signed with Arbutus digital signature.  
Info: <https://www.jurix.com>

22/07/18 ISSUED FOR REZONING

Plot Date: 2022/10/24 Drawing File:  
Drawn By: Checked By: ADM  
Scale: 1 : 200 Project Number:

NOTE: All dimensions are shown in millimeters.

**FERNWOOD TOWNHOMES**  
2540 & 2542 Shelbourne Street, Victoria, BC  
Survey



dHka A001  
dHKarchitects  
Victoria  
977 Fort Street V8V 3K3 T 1-250-658-3367  
Nanaimo  
102-5190 Dublin Way V9T 0H2 T 1-250-585-5810  
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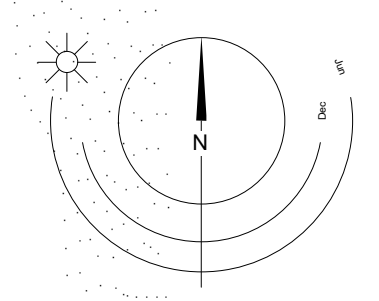




3 Shadow Study - Equinox 12PM  
A002 SCALE: 1 : 300



4 Shadow Study - Summer Solstice 12PM  
A002 SCALE: 1 : 300



22/10/04 ISSUED FOR DP AMENDMENTS  
22/10/24 ISSUED FOR ADP  
22/07/18 ISSUED FOR REZONING

Plot Date 2022/10/24 Drawing File  
Drawn By ADM Checked By ADM  
Scale 1 : 300 Project Number

NOTE: All dimensions are shown in millimeters.

**FERNWOOD  
TOWNHOMES**  
2540 & 2542 Shelbourne  
Street, Victoria, BC  
Shadow Study



**A002**  
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1 North West View On Shelbourne Street  
A003 SCALE:



2 Shelbourne Street - Site Access  
A003 SCALE:



7 Shelbourne Street - Patio Entries  
A003 SCALE:



6 Shelbourne Street - Setback Landscaping  
A003 SCALE:

22/10/24 ISSUED FOR ADP

Plot Date	2022/10/24	Drawing File	
Drawn By	Author	Checked By	Checker
Scale		Project Number	

NOTE: All dimensions are shown in millimeters.

**FERNWOOD  
TOWNHOMES**  
2540 & 2542 Shelbourne  
Street, Victoria, BC  
Perspective Views



dHka

A003

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4 West Elevation - Private Yard Access and Patios  
A004 SCALE:



3 West Elevation - Private Yard Access  
A004 SCALE:



2 East Elevation - West Courtyard Entries  
A004 SCALE:

22/10/24 ISSUED FOR ADP

Plot Date	2022/10/24	Drawing File	
Drawn By	Author	Checked By	Checker
Scale		Project Number	

NOTE: All dimensions are shown in millimeters.

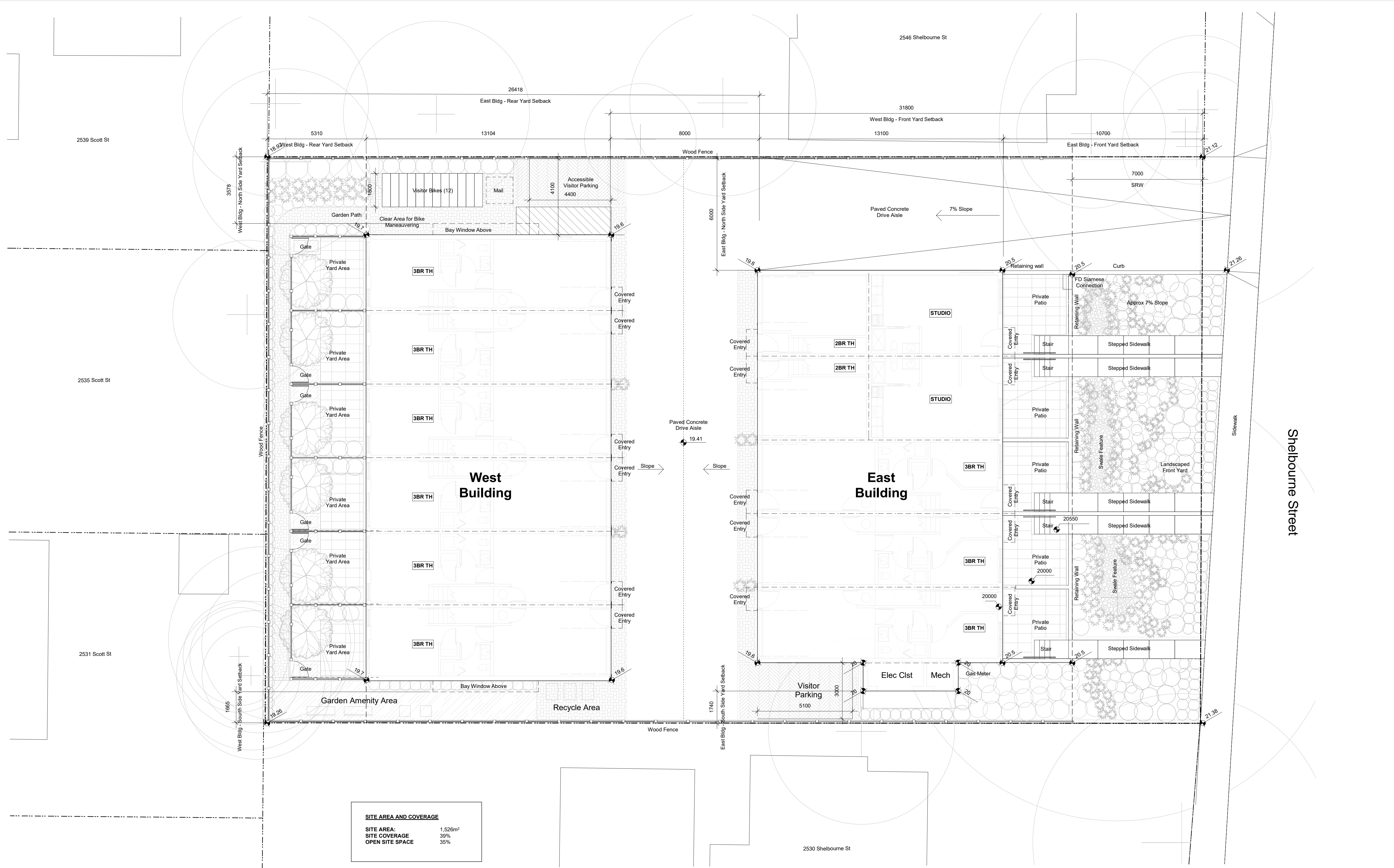
**FERNWOOD TOWNHOMES**  
2540 & 2542 Shelbourne Street, Victoria, BC  
Perspective Views



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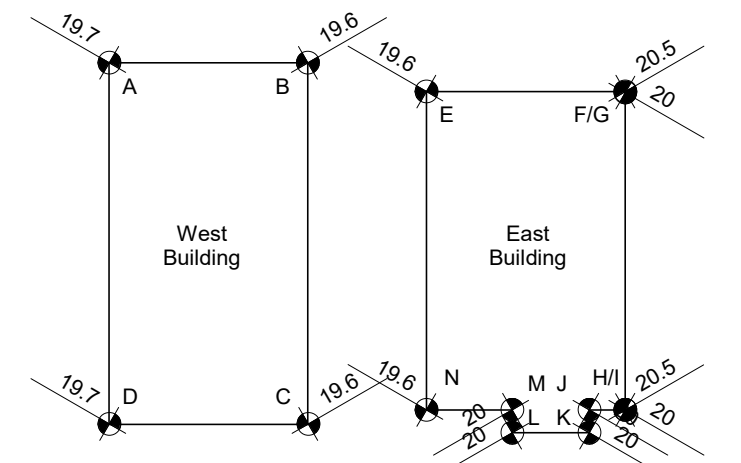




**SITE AREA AND COVERAGE**

SITE AREA:	1,526m <sup>2</sup>
SITE COVERAGE:	39%
OPEN SITE SPACE:	36%

**Average Grade Calculations**

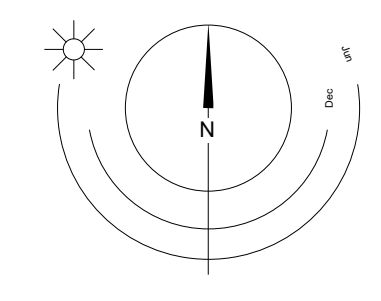


Grade Points	Avg of Points	x Distance	Totals
Grade Point A - 19.7	(19.7+19.6)/2=19.65	x 13.1	= 257.41
Grade Point B - 19.6	((19.6+19.6)/2)=19.6	x 23.9	= 468.44
Grade Point C - 19.6	((19.7+19.6)/2)=19.65	x 13.1	= 257.41
Grade Point D - 19.7	((19.7+19.7)/2)=19.7	x 23.9	= 470.83
<b>West Bldg Grade Calculation</b>			
<b>1454.0974 (Perimeter) = 19.65m</b>			
<b>East Bldg</b>			
Grade Point E - 19.6	(19.6+20.5)/2=20.05	x 13.1	= 262.65
Grade Point F - 20.5	((20+20)/2)=20	x 21	= 420
Grade Point G - 20	((20.5+20)/2)=20.25	x 2.3	= 46.57
Grade Point H - 20	((20+20)/2)=20	x 1.5	= 30
Grade Point I - 20.5	((20+20)/2)=20	x 5.1	= 102
Grade Point J - 20	((20+20)/2)=20	x 1.5	= 30
Grade Point K - 20	((20+19.6)/2)=19.8	x 5.7	= 112.86
Grade Point L - 20	((19.6+19.6)/2)=19.6	x 21	= 411.6
Grade Point M - 20			
Grade Point N - 19.6			
<b>East Bldg Grade Calculation</b>			
<b>1415.6871.2 (Perimeter) = 19.88m</b>			

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 22/10/24 ISSUED FOR ADP  
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Plot Date: 2022/10/24 Drawing File:  
 Drawn By: ADM/MLR Checked By: ADM  
 Scale: As indicated Project Number:  
 NOTE: All dimensions are shown in millimeters.

**FERNWOOD TOWNHOMES**  
 2540 & 2542 Shelbourne Street, Victoria, BC  
 Site Plan



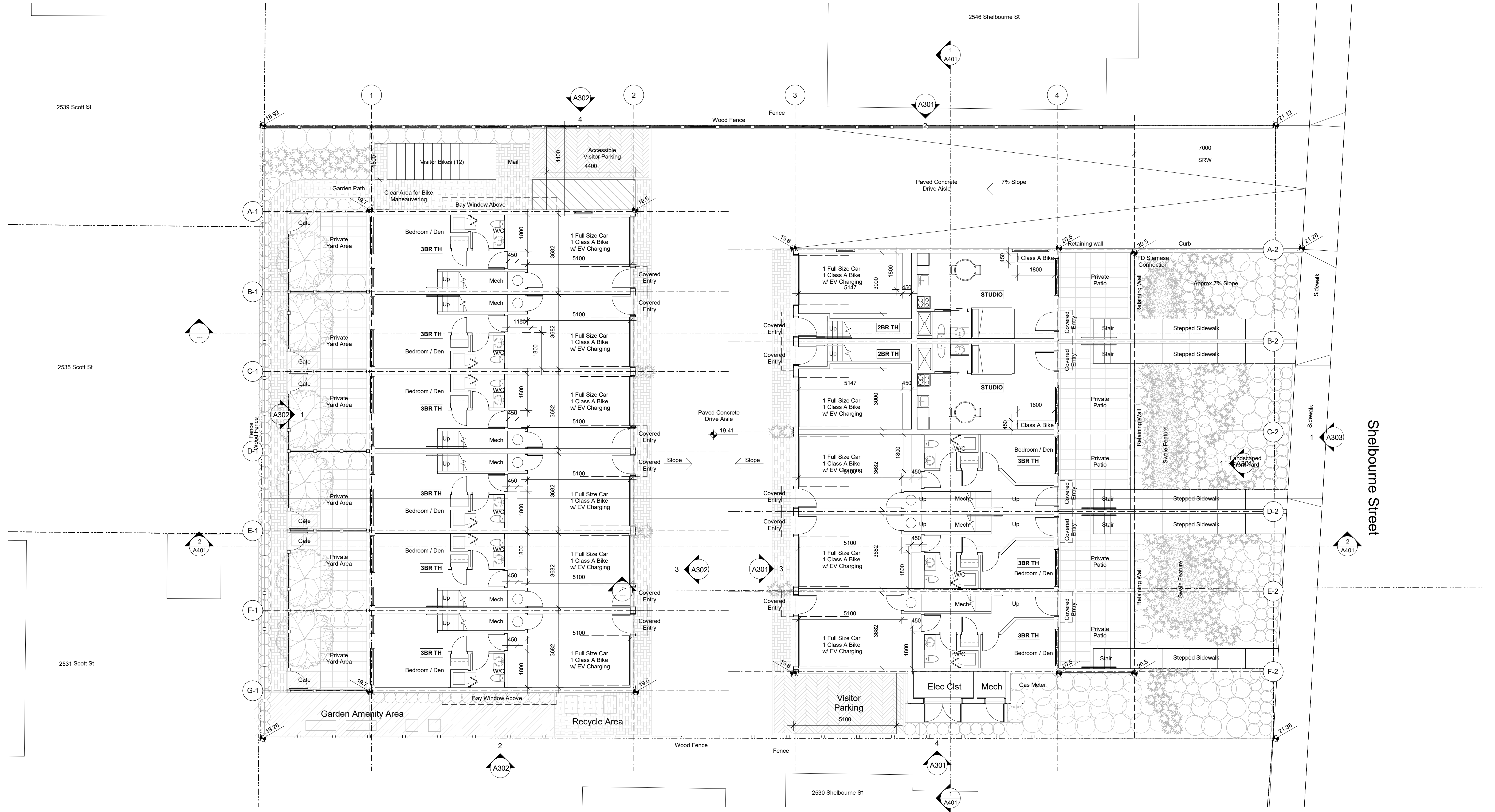
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 Victoria  
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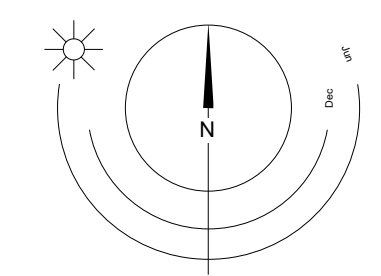


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Plot Date 2022/10/24 Drawing File  
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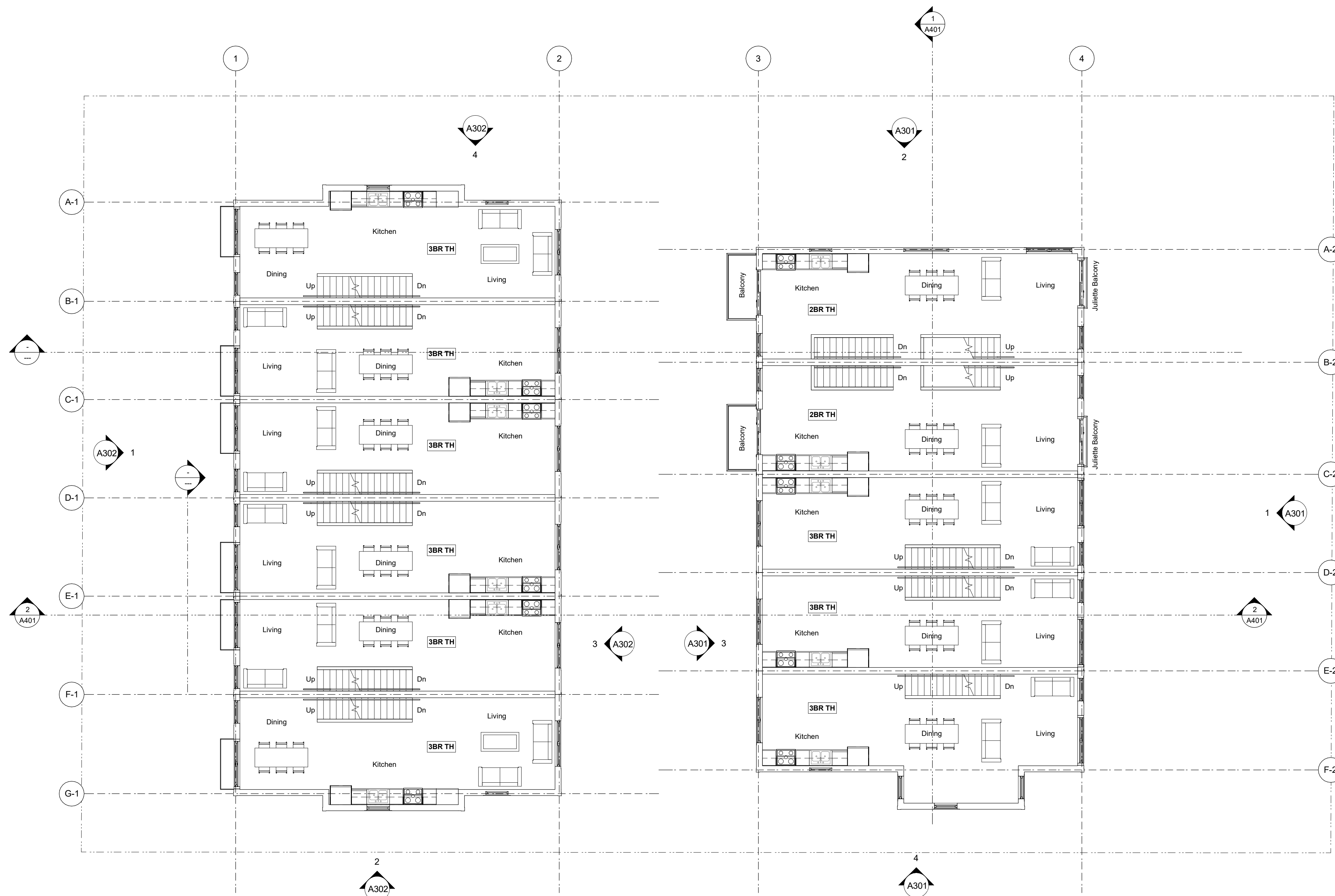
NOTE: All dimensions are shown in millimeters.

**FERNWOOD  
 TOWNHOMES**  
 2540 & 2542 Shelbourne  
 Street, Victoria, BC  
**L1 Plan**



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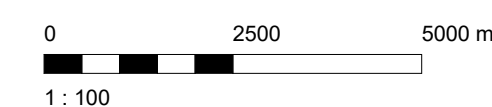
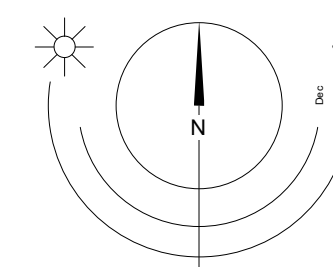
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22/07/18

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ISSUED FOR REZONING

Plot Date: 2022/10/24 Drawing File:  
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 Scale: 1 : 100 Project Number:

NOTE: All dimensions are shown in millimeters.

**FERNWOOD  
TOWNHOMES**  
 2540 & 2542 Shelbourne  
 Street, Victoria, BC  
**L2 Plan**



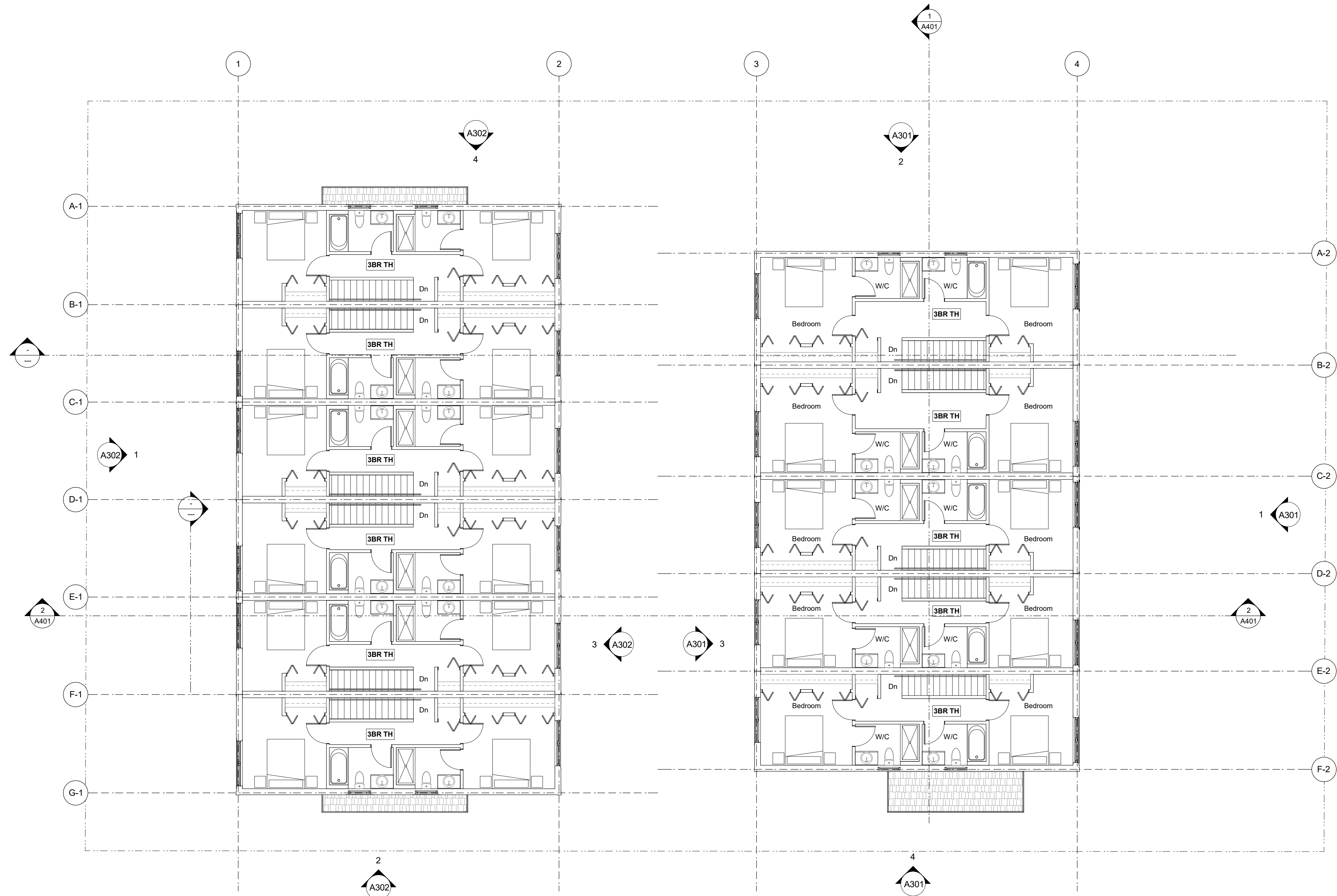
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**A202**

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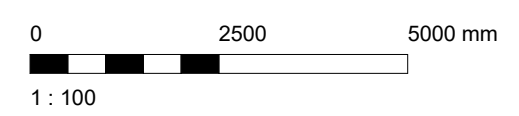
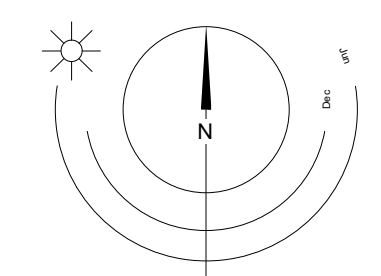
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22/07/18

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Plot Date: 2022/10/24 Drawing File:  
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 Scale: 1 : 100 Project Number:

NOTE: All dimensions are shown in millimeters.

**FERNWOOD  
TOWNHOMES**  
 2540 & 2542 Shelbourne  
 Street, Victoria, BC  
**L3 Plan**

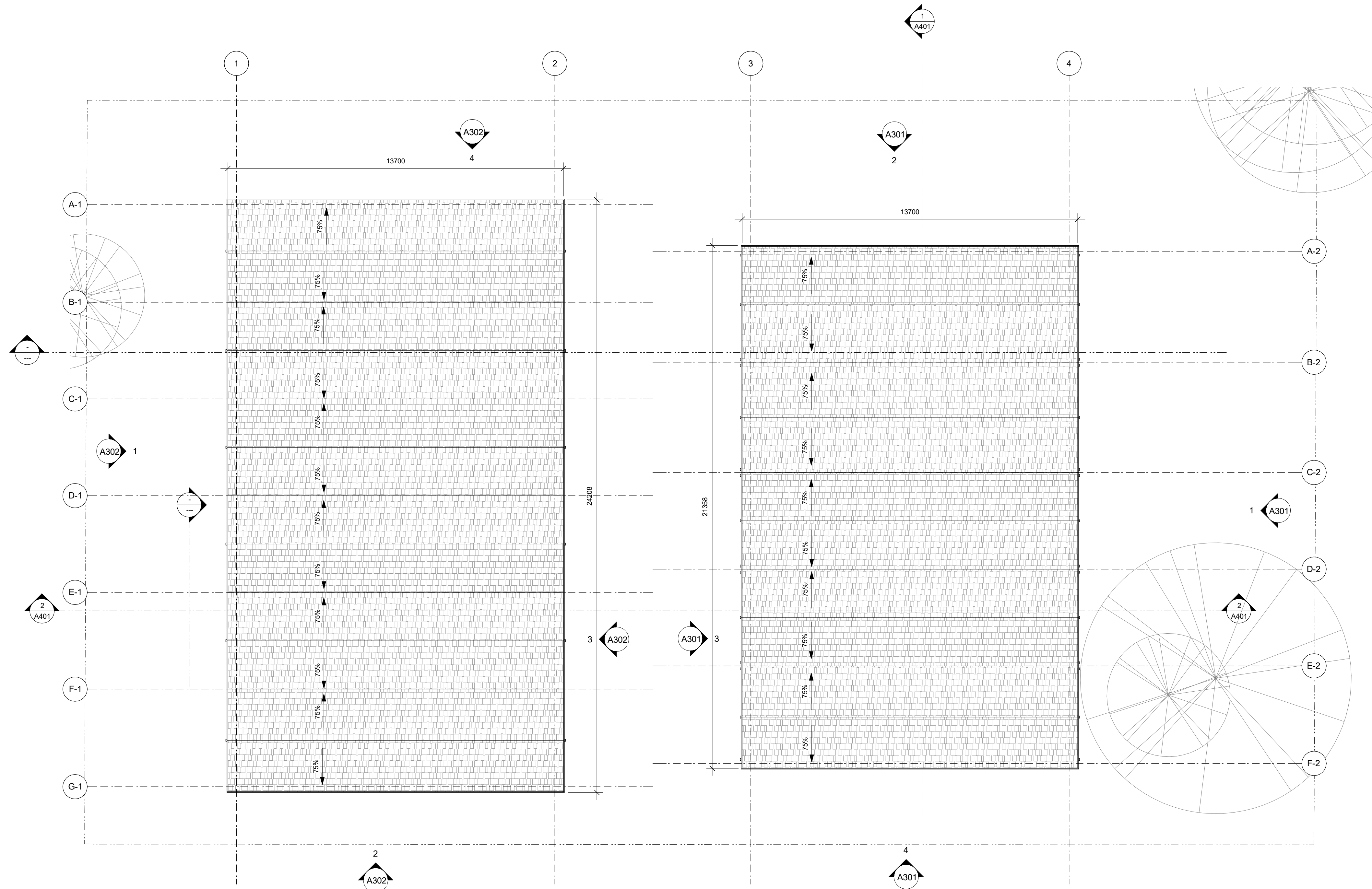


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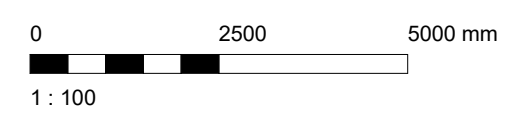
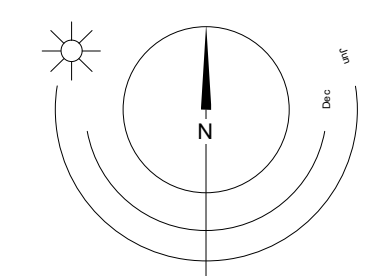


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 Drawn By: Author Checked By:  
 Scale: 1 : 100 Project Number:

NOTE: All dimensions are shown in millimeters.

**FERNWOOD  
 TOWNHOMES**  
 2540 & 2542 Shelbourne  
 Street, Victoria, BC  
**Roof Plan**



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**A204**  
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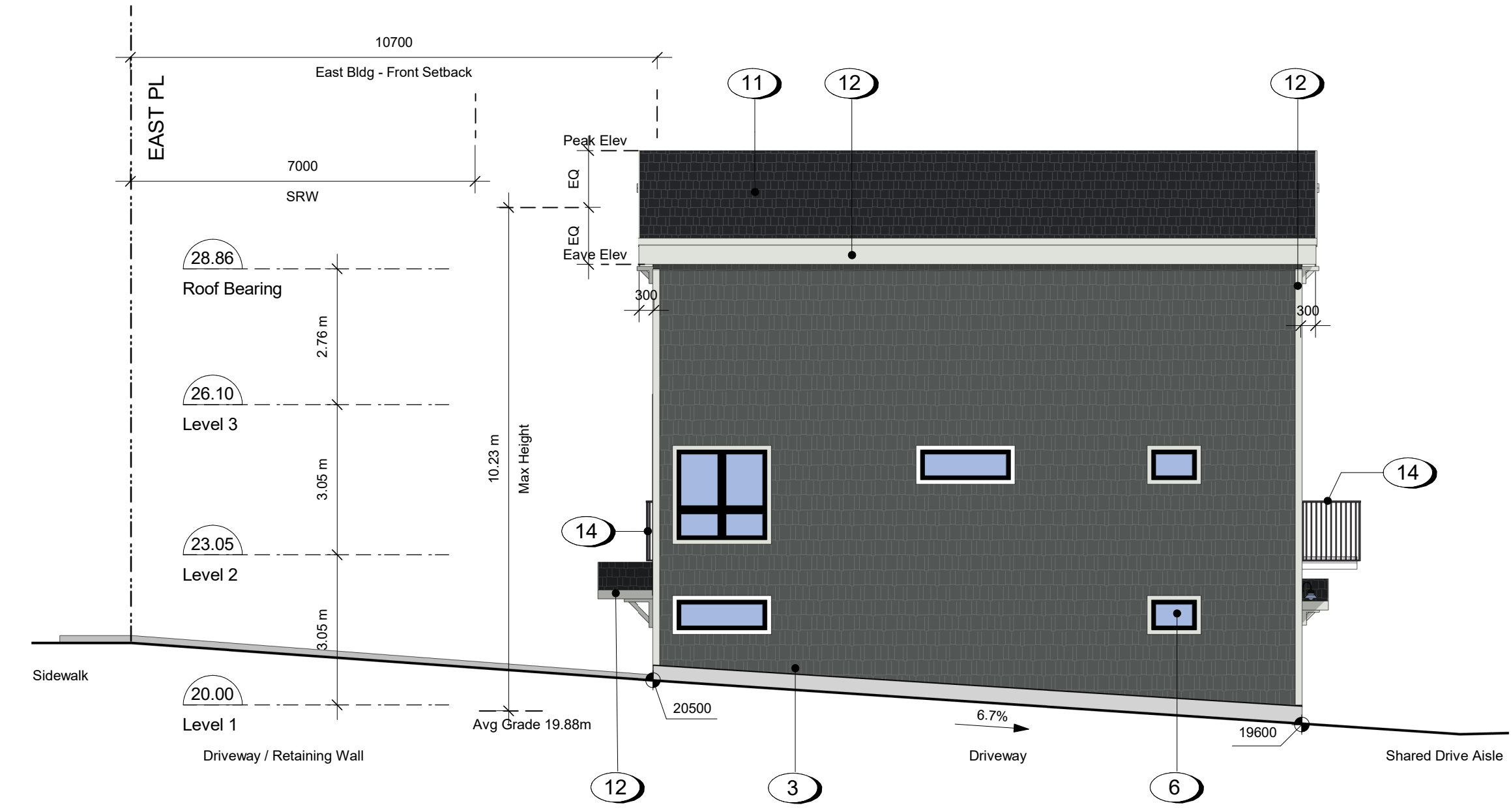
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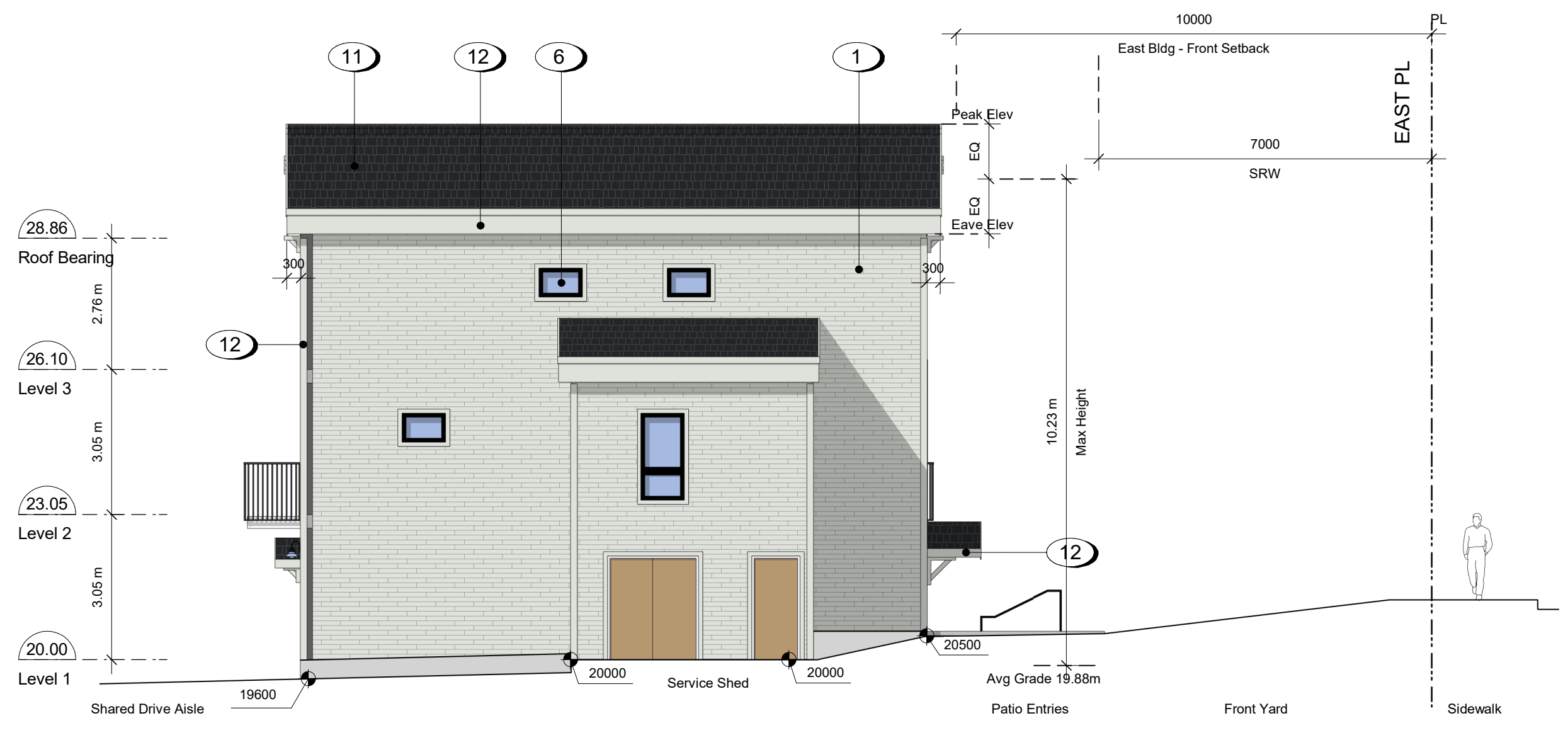
1 East Building - East Elevation  
A301 SCALE: 1 : 100



2 East Building - North Elevation  
A301 SCALE: 1 : 100



3 East Building - West Elevation  
A301 SCALE: 1 : 100



4 East Building - South Elevation  
A301 SCALE: 1 : 100

- 1 Fibre Cement Lap Siding - White
- 2 Fibre Cement Lap Siding - Slate Gray
- 3 Fibre Cement Shingles - Iron Gray
- 4 Fibre Cement Panels - White
- 5 Fibre Cement Panels - Slate Gray
- 6 Windows - Prefinished Vinyl w/ Low-E Glazing
- 9 Doors - Prefinished Vinyl Sliding w/ Low-E Glazing
- 11 Asphalt Shingles - Black
- 12 Prefinished Fibre Cement Trim
- 13 Wood Tone Finish
- 14 Pickets - Pre-finished Aluminum

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Plot Date 2022/10/24 Drawing File  
Drawn By ADM/MVR Checked By ADM  
Scale 1 : 100 Project Number  
NOTE: All dimensions are shown in millimeters.

**FERNWOOD TOWNHOMES**  
2540 & 2542 Shelbourne Street, Victoria, BC  
East Building Elevations

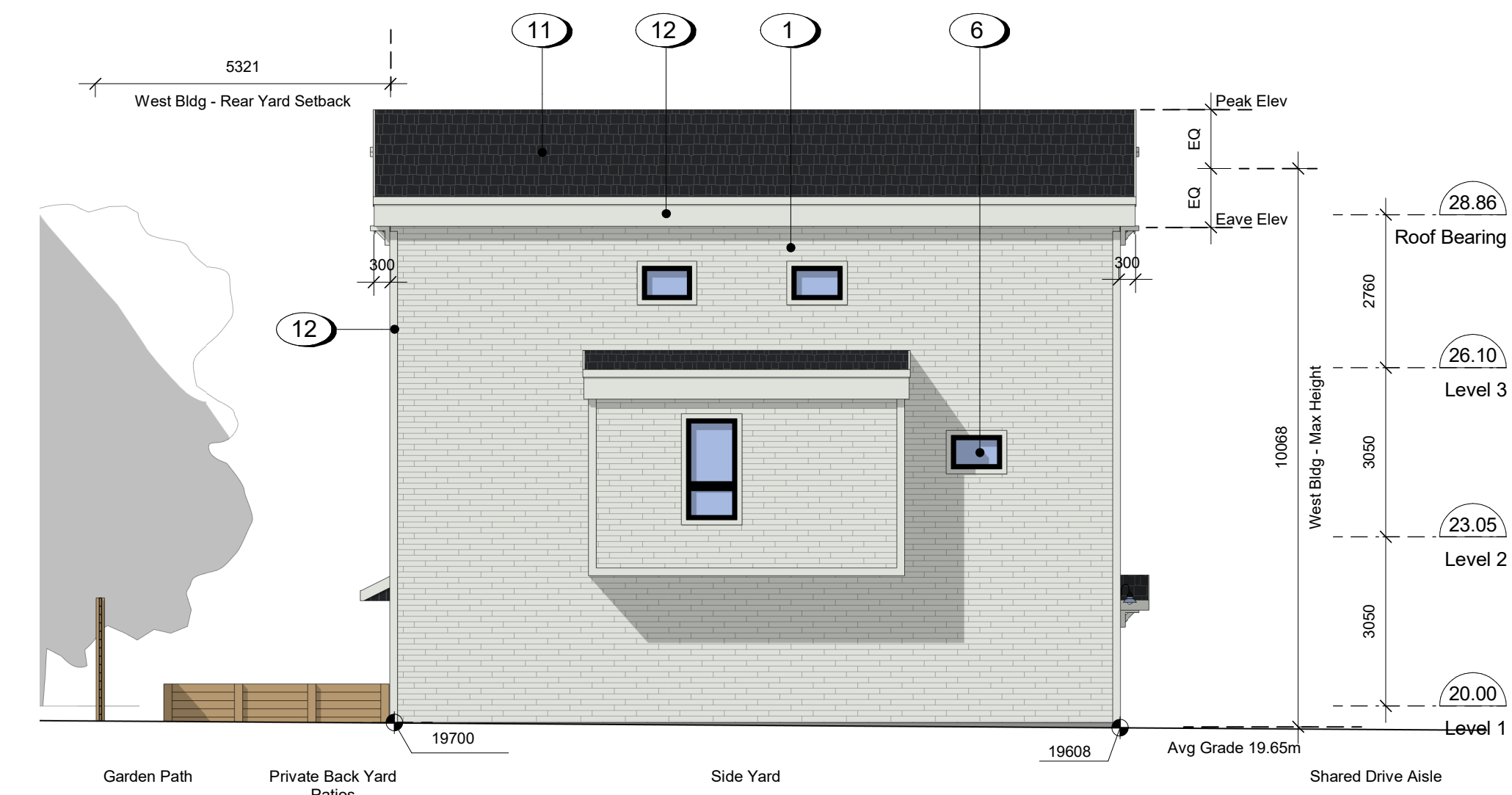


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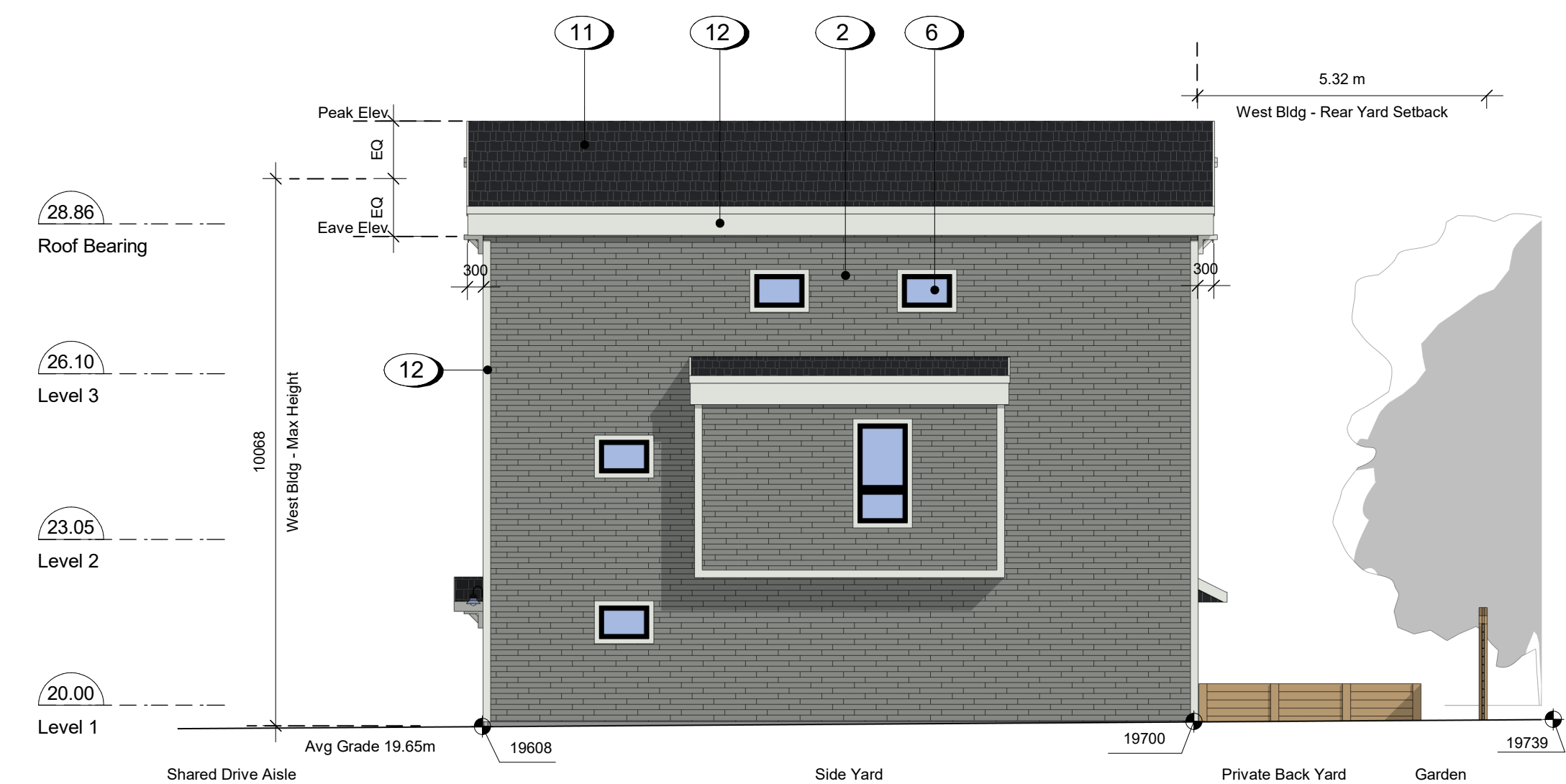
1 West Building - West Elevation  
A302 SCALE: 1 : 100



2 West Building - South Elevation  
A302 SCALE: 1 : 100



3 West Building - East Elevation  
A302 SCALE: 1 : 100



4 West Building - North Elevation  
A302 SCALE: 1 : 100

- 1 Fibre Cement Lap Siding - White
- 2 Fibre Cement Lap Siding - Slate Gray
- 3 Fibre Cement Shingles - Iron Gray
- 4 Fibre Cement Panels - White
- 5 Fibre Cement Panels - Slate Gray
- 6 Windows - Prefinished Vinyl w/ Low-E Glazing
- 9 Doors - Prefinished Vinyl Sliding w/ Low-E Glazing
- 11 Asphalt Shingles - Black
- 12 Prefinished Fibre Cement Trim
- 13 Wood Tone Finish
- 14 Pickets - Pre-finished Aluminum

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Plot Date 2022/10/24 Drawing File  
Drawn By ADM/MVR Checked By ADM  
Scale 1 : 100 Project Number

NOTE: All dimensions are shown in millimeters.

**FERNWOOD  
TOWNHOMES**  
2540 & 2542 Shelbourne  
Street, Victoria, BC  
West Building  
Elevations



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2524 Shelbourne St



2530 Shelbourne St



Side Yard

Private Entry

Private Entry

Private Entry

Private Entry

Private Entry

Drive Aisle / Site Access



2546 Shelbourne St

2550 Shelbourne St

22/10/24  
22/07/18

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ISSUED FOR REZONING

Plot Date	2022/10/24	Drawing File	
Drawn By	Author	Checked By	Checker
Scale	1 : 125	Project Number	

NOTE: All dimensions are shown in millimeters.

1 East Elevation on Shelbourne Street  
A303 SCALE: 1 : 125

**FERNWOOD  
TOWNHOMES**  
2540 & 2542 Shelbourne  
Street, Victoria, BC  
Street Elevation



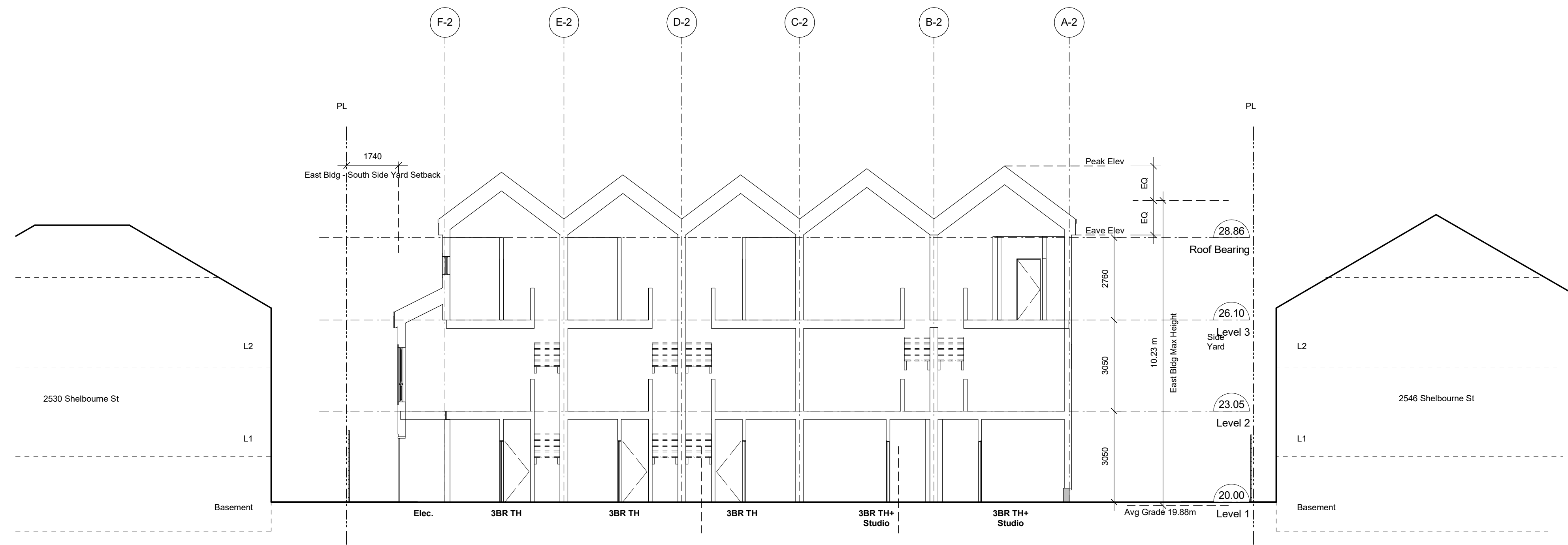
dHk Architects  
Victoria  
977 Fort Street V8V 3K3 T 1-250-658-3367  
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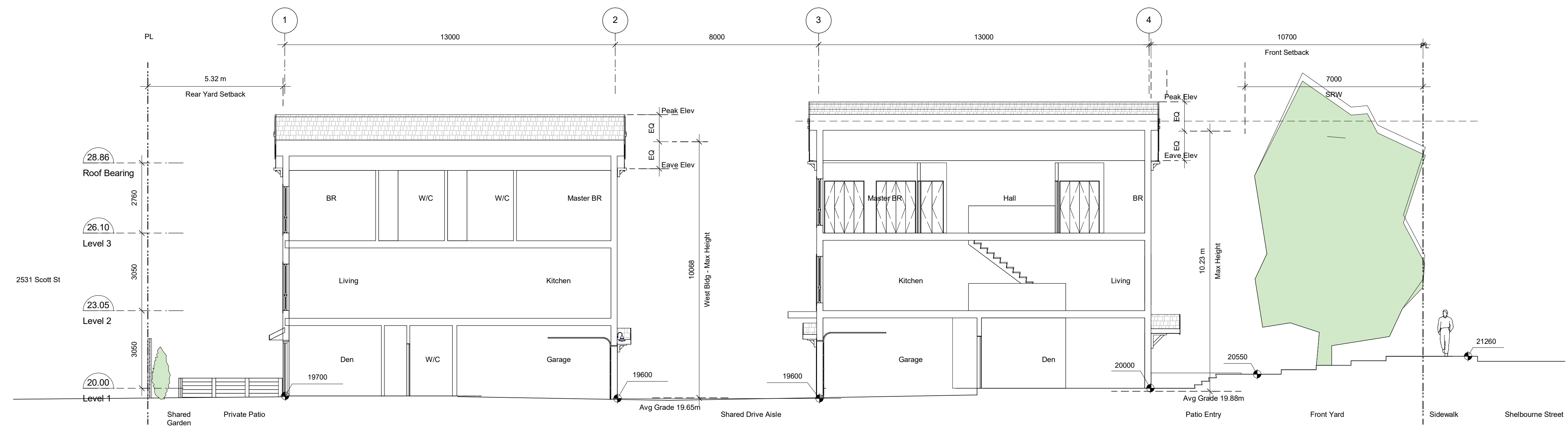
2022-11-04 10:53:07 AM







1 South to North Site Section  
A401 SCALE: 1 : 100

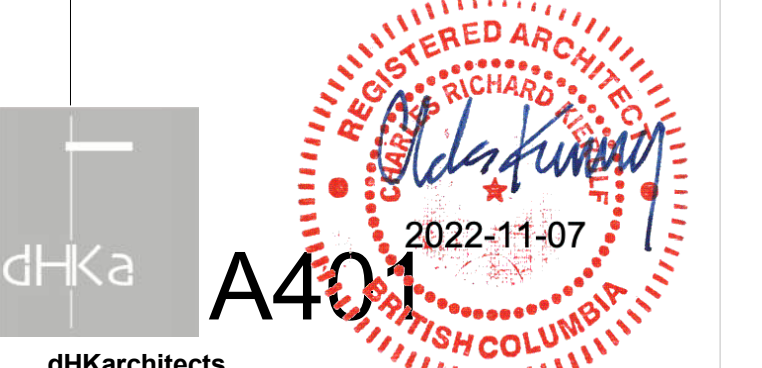


2 West to East Site Section  
A401 SCALE: 1 : 100

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22/10/24 ISSUED FOR ADP  
22/07/18 ISSUED FOR REZONING

Plot Date 2022/10/24 Drawing File  
Drawn By ADM/VR Checked By ADM  
Scale 1 : 100 Project Number  
NOTE: All dimensions are shown in millimeters.

**FERNWOOD TOWNHOMES**  
2540 & 2542 Shelbourne Street, Victoria, BC  
Site Sections

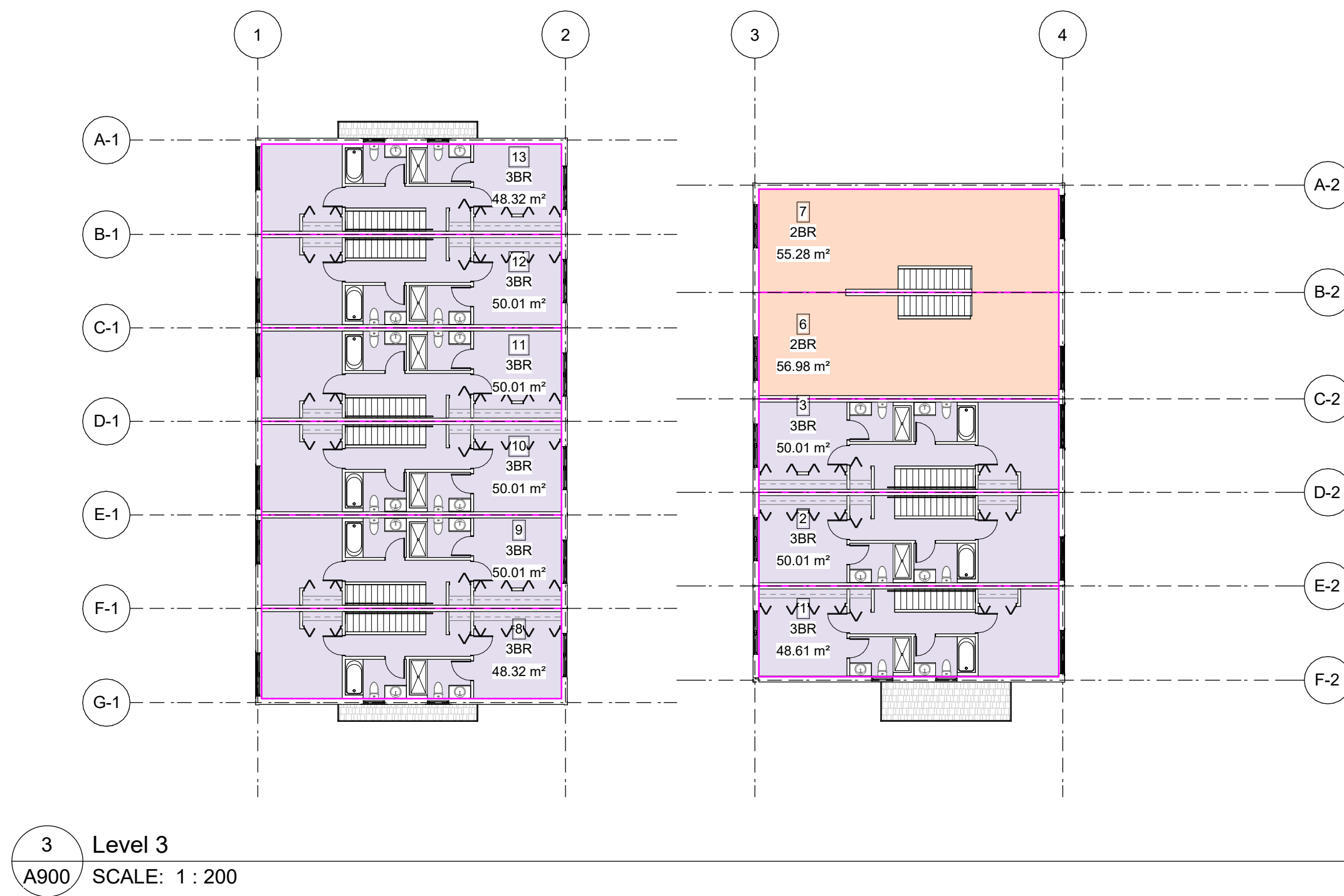
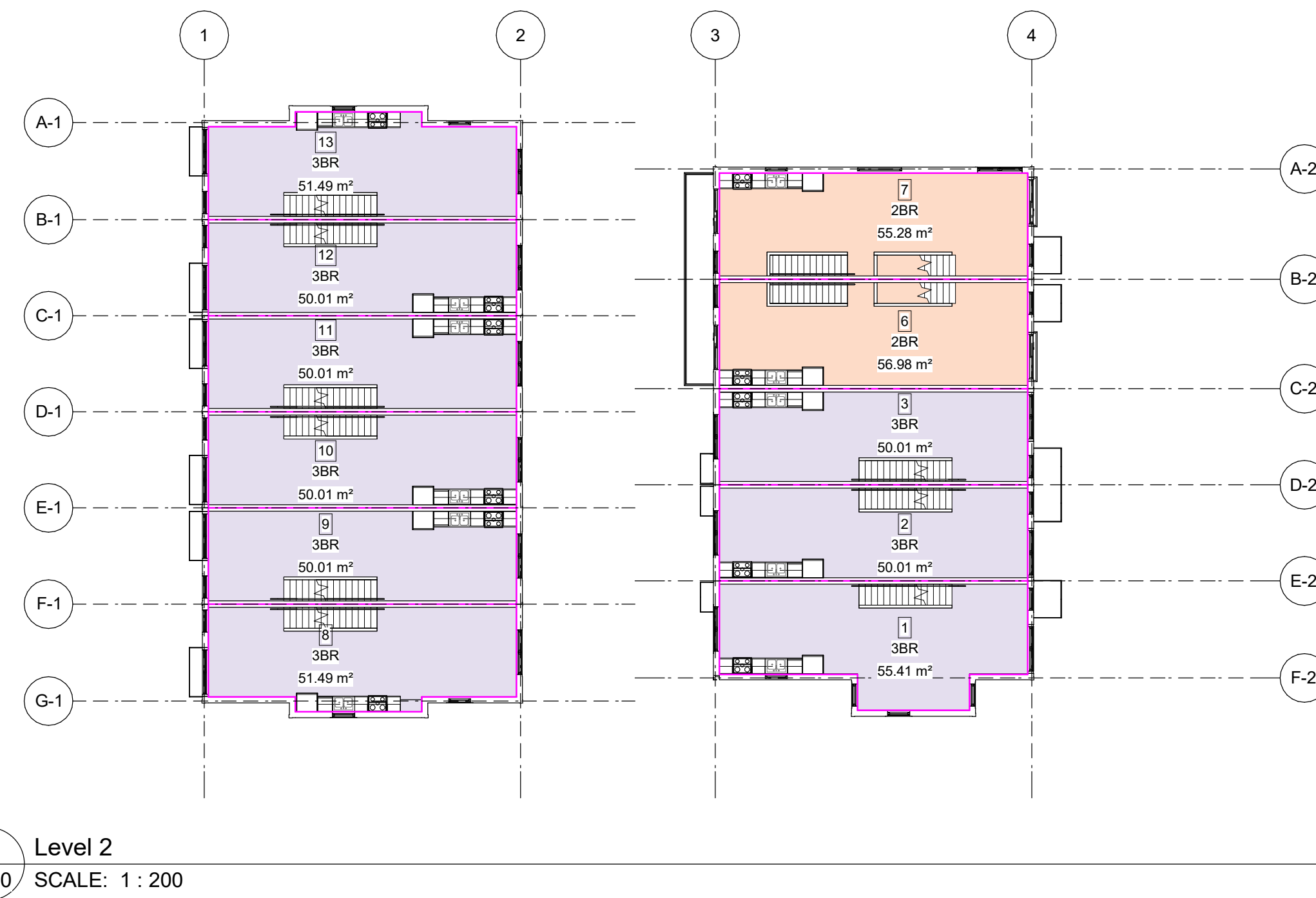
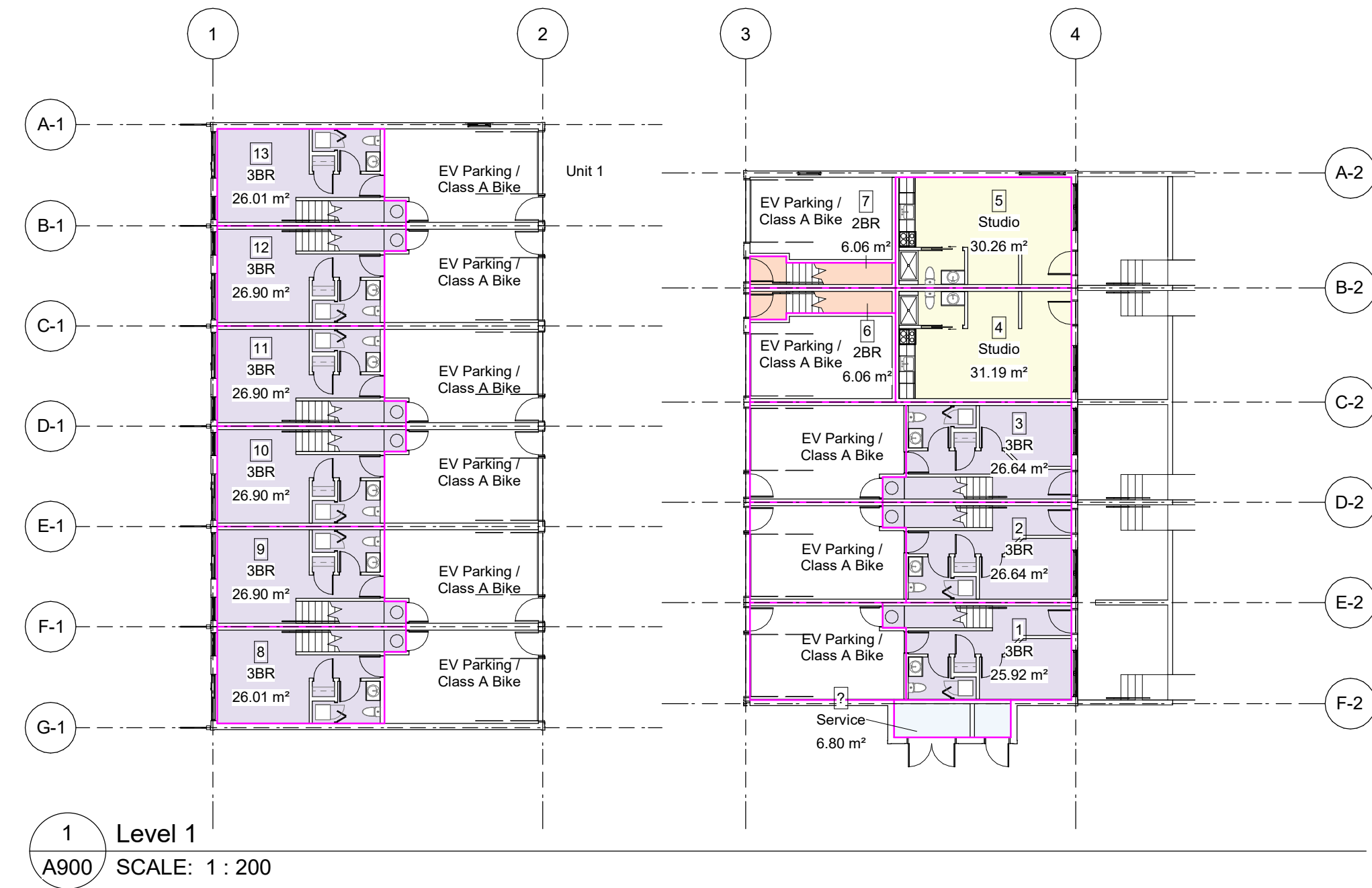


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Area Schedule (FAR Contributing)	
Unit Type	Area
<b>Service</b>	
Service	6.80 m <sup>2</sup>
	6.80 m <sup>2</sup>
<b>Unit 1</b>	
3BR	25.92 m <sup>2</sup>
3BR	48.61 m <sup>2</sup>
3BR	55.41 m <sup>2</sup>
	129.94 m <sup>2</sup>
<b>Unit 2</b>	
3BR	26.64 m <sup>2</sup>
3BR	50.01 m <sup>2</sup>
3BR	50.01 m <sup>2</sup>
	126.67 m <sup>2</sup>
<b>Unit 3</b>	
3BR	26.64 m <sup>2</sup>
3BR	50.01 m <sup>2</sup>
3BR	50.01 m <sup>2</sup>
	126.67 m <sup>2</sup>

Area Schedule (FAR Contributing)	
Unit Type	Area
<b>Unit 4</b>	
Studio	31.19 m <sup>2</sup>
	31.19 m <sup>2</sup>
<b>Unit 5</b>	
Studio	30.26 m <sup>2</sup>
	30.26 m <sup>2</sup>
<b>Unit 6</b>	
2BR	6.06 m <sup>2</sup>
2BR	56.98 m <sup>2</sup>
2BR	56.98 m <sup>2</sup>
	120.01 m <sup>2</sup>
<b>Unit 7</b>	
2BR	6.06 m <sup>2</sup>
2BR	55.28 m <sup>2</sup>
2BR	55.28 m <sup>2</sup>
	116.62 m <sup>2</sup>

Area Schedule (FAR Contributing)	
Unit Type	Area
<b>Unit 8</b>	
3BR	26.01 m <sup>2</sup>
3BR	48.32 m <sup>2</sup>
3BR	51.49 m <sup>2</sup>
	125.82 m <sup>2</sup>
<b>Unit 9</b>	
3BR	26.90 m <sup>2</sup>
3BR	50.01 m <sup>2</sup>
3BR	50.01 m <sup>2</sup>
	126.93 m <sup>2</sup>
<b>Unit 10</b>	
3BR	26.90 m <sup>2</sup>
3BR	50.01 m <sup>2</sup>
3BR	50.01 m <sup>2</sup>
	126.93 m <sup>2</sup>

Area Schedule (FAR Contributing)	
Unit Type	Area
<b>Unit 11</b>	
3BR	26.90 m <sup>2</sup>
3BR	50.01 m <sup>2</sup>
3BR	50.01 m <sup>2</sup>
	126.93 m <sup>2</sup>
<b>Unit 12</b>	
3BR	26.90 m <sup>2</sup>
3BR	50.01 m <sup>2</sup>
3BR	50.01 m <sup>2</sup>
	126.93 m <sup>2</sup>
<b>Unit 13</b>	
3BR	26.01 m <sup>2</sup>
3BR	48.32 m <sup>2</sup>
3BR	51.49 m <sup>2</sup>
	125.82 m <sup>2</sup>
<b>Grand total:</b>	<b>1447.51 m<sup>2</sup></b>
<b>36</b>	

AREA CALCULATIONS	
<b>SITE AREA:</b>	1,526m <sup>2</sup> (16,426 s.f.)
<b>TOTAL PROPOSED:</b>	1,447 m <sup>2</sup> (15,575 s.f.)
<b>FLOOR SPACE RATIO:</b>	0.95 : 1 FSR
<b>SITE COVERAGE</b>	39%
<b>OPEN SITE SPACE</b>	35%

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 Scale: 1 : 200 Project Number

NOTE: All dimensions are shown in millimeters.

**FERNWOOD TOWNHOMES**  
 2540 & 2542 Shelbourne Street, Victoria, BC  
**Area Plans**



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 Victoria  
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 102-5190 Dublin Way V9T 0H2 T 1-250-585-5810

**VIA EMAIL: zoning@victoria.ca**

July 20, 2022

1 Centennial Square  
Victoria BC V8W 1P6

**RE: 2540 - 2542 Shelbourne Street – Rezoning Application – Project Rationale**

Dear Mayor Helps, Council, and Staff:

We are pleased to present this Rezoning application for the re-development of 2540 and 2542 Shelbourne Street. The proposal includes the rezoning and consolidation of two single-family lots to permit the development of 15 infill townhomes. Our application is guided by the Official Community Plan (OCP), the Fernwood Neighbourhood Plan (2021), as well as the established development patterns seen along the Shelbourne Corridor. The proposal focuses on addressing housing attainability under the guidelines of the Missing Middle Housing Initiative through a contextually appropriate form of development.

Following early Staff review and consultation with our neighbours, this proposal was presented to the Fernwood Land Use Committee on April 7, 2022 and June 2, 2022. Comments and recommendations have been reviewed and the proposal has been updated to reflect what we have heard.

## **PROPOSAL**

This proposal contemplates the future rezoning of 2540-2542 Shelbourne Street from an R1-B to an RT zone, permitting the proposed form of development under Policy guidelines described below.

Through our engagement with the Fernwood CALUC, and discussions with Planning Staff, we have heard and responded to comments from the neighbours and have reflected these changes in our proposal. Additionally, we have and will continue to meet with neighbours in close proximity to the site on a 1:1 basis.

The project has evolved to include 15 ground-oriented townhomes surrounding a central courtyard. The townhomes include a mix of 2 Bedroom + Den, and 3 Bedroom + Den homes, all with secured interior parking at grade. The townhomes are formed into three structures that run the length of the site, creating private patios behind each home, between the neighbours to the north and south. The orientation of the homes is consistent with existing 3-storey townhomes along the Shelbourne Corridor and includes street-facing facades and entryways that enhance the boulevard aesthetic and character. The street facing townhomes have been refined further to reflect comments from community members and Planning Staff.

## **HOUSING BENEFITS**

The Fernwood Neighbourhood has the city's highest total number of families with children at home, and one of the highest shares of young adults aged 15-34. Most of the housing in the neighbourhood is single family, at approximately 25% of dwelling units, and apartments at approximately 63% of dwelling units.

Between 2012 – 2020, a total of 56 new housing units were approved within the Fernwood neighbourhood. This proposed application would represent a 27% increase in the total number of housing units approved over this 9-year period. Beyond the direct community, the creation of Missing Middle Housing has been challenging when compared to the development of condominiums and single-family dwellings. From 2012 to 2019, fewer than 250 Missing Middle

homes were approved. Rising housing costs have left fewer opportunities for families to purchase their first home in Fernwood and Great Victoria.

## **SITE CONTEXT**

The site is located on the western side of Shelbourne Street within the Fernwood Neighbourhood, in close proximity to Jubilee and Oaklands. The proposed townhomes are situated within a sweeping canopy of trees along this transit corridor, and holds the grandeur of two Gerry Oak trees, framing the site. Single-family residential homes are bordering the south, west and north of the property, with higher density forms of development immediately south and north along Shelbourne Street. The amenity-rich surroundings include the future East Bay Street Village, the Royal Jubilee Hospital, and the Hillside Shopping Centre.

The neighbourhood of Fernwood contains an increasingly diversified housing stock, ranging from heritage homes and bungalows to low-rise multi-family residential. Although the area is predominantly zoned for ground oriented single-family homes, the neighbourhood directives outlined in the OCP envisions residential densification opportunities in the areas in and around Bay Street and Shelbourne.

The Shelbourne Corridor has experienced diverse change over the past decades with a range of building types. As a result of the community's built-form and character, the project team believes a three-storey, ground-oriented townhouse proposal will be best suited in further establishing this corridor and the housing diversity within the Fernwood community as well as meeting the needs of the individuals and growing number of families in the area.

## **POLICY CONTEXT**

In tandem with early engagement of the Fernwood CALUC and the Planning Department, our team has focused on the guidelines and objectives of several policies to shape the proposal. These guiding documents and policies are noted below with key summaries provided.

While two of the policies below are noted to have informed the design of the proposal, these policies have only recently been brought forward to Council; the applicant team has relied on adopted policy to guide the proposal, while considering the upcoming relevant Policies:

*The Official Community Plan;*  
*Fernwood Neighbourhood Plan (2022);*  
*Advisory Design Guidelines for Buildings, Signs and Awnings (1981);*  
*Design Guidelines for Multi-Unit Residential, Commercial and Industrial Development (revised 2019);*  
*Guidelines for Fences, Gates and Shutters (2010);*  
*Missing Middle Initiative (2022); and*  
*Tenant Assistance Policy*

### Official Community Plan

The site is currently zoned R1-B, Single Family Dwelling, and holds an Urban Place designation of Traditional Residential. This designation envisions multi-unit buildings up to three-storeys, including attached residential and apartments, at approximately 1.0 FSR. The proposal contemplates the two properties to be consolidated and rezoned to an RT designation to permit three-storey, ground-oriented townhomes with a density of 1.1 FSR, consistent with the objectives and guidelines in the OCP.

The subject property is within the *Development Permit Area 16 – General Form and Character*. The objective of this designation includes several guidelines our team has addressed, specifically:

1. Multi-unit residential developments that provide a sensitive transition to adjacent and nearby areas with built form that is often three storeys.
2. To integrate multi-unit residential buildings in a manner that is complementary to established place and character in a neighbourhood or other area, including its heritage character.
3. To enhance the place and character of established areas and their streetscapes through high quality architecture, landscape and urban design that responds to each distinctive setting through sensitive and innovative interventions.
4. To achieve more liveable environments through considerations for human-scaled design, quality of open spaces, privacy impacts, safety and accessibility.

The proposed building forms and character have been designed to align with the above objectives. The three-storey townhome form includes a varying and articulated roof line that is reminiscent and complementary to the more traditional forms of housing that are cherished within Fernwood and found along the Shelbourne Corridor. The gables and articulation of the Shelbourne Street facade serve to provide a street-facing character that enriches this block and creates a sensitive infill form through its orientation to reduce the massing along the boulevard.

A setback of approximately 7.7M from the boulevard serves to create a significant landscaped transition and opportunity for future road widening and bike lanes, consistent with recent projects along Shelbourne. The landscape treatment within this area will conform to the guidelines of the provided Statutory Right of Way; additionally, we are seeking to provide family-focused amenity space under the retained Gerry Oak within the SROW, in an area that will not be utilised for future road widening. The proposed programming will be further explored with City staff.

#### Fernwood Neighbourhood Plan (2022)

As noted in the Committee of the Whole report for Local Area Plan amendments, *“capacity for more housing choice was a top concern among residents... Beyond clear community desire, the need for more housing that meets a diversity of lifestyles, preferences, and incomes is illustrated in latent demand indicators, growth projections, and the gaps in existing Official Community Plan (OCP) Urban Place Designation capacity.”*

Within the Fernwood Neighbourhood Plan, the support of diverse, mixed housing is most relevant to this proposal. The intent of designing 15 townhomes on this site creates 2 bedroom + Den, and 3 bedroom + Den homes with an average habitable area of ~1,220 sq. ft. These highly liveable, functional homes are inherently more attainable than comparable single-family homes in the area. Additionally, they include secure interior parking, ample storage for bikes and strollers, private outdoor space for each home, and flexibility at grade for a bedroom to accommodate a growing family. This proposal targets young families that wish to stay in or move to this amenity rich community that supports a car-light lifestyle.

#### The Missing Middle Housing Initiative (2022)

At a time when housing is a pressing issue in Victoria, we seek to address this need by proposing ground-oriented townhomes for Victorians to call home. This project is largely about unlocking the potential for multi-family housing that meets the needs of those within a traditionally single-family neighbourhood. The proposal responds to the spatial limitations of the site and context along Shelbourne Street, while considering key issues such as walkability, transit, housing diversity and accessibility.

The specific objectives of the Missing Middle Housing Policy that have been addressed in this proposal include:

- *Improve options for families to stay in the City;* through the City’s Financial analysis for Missing Middle Housing, it is evident that *‘smaller unit sizes will keep the total unit price more affordable than larger units allowing the new units to appeal to a broader range of buyers’*. To achieve townhomes with an average habitable area of ~1,220 sf, the proposal has oriented the homes perpendicular to the street. This orientation has precedent along the Shelbourne Corridor with the closest relevant project located one block north of this site. The rationale is further described below.

- *Increase the supply and variety of housing*; this proposal and the orientation of the homes facilitates a net increase of 13 homes on this site. This form of housing includes multi-level living with flexibility at grade to provide an additional bedroom and private outdoor space.
- *Ensure the look and feel suit the character of the neighbourhood, support social interaction and foster a sense of place*; the proposal facilitates a common central courtyard with articulated pedestrian entryways and landscaping to soften what would otherwise be a hardscaped drive aisle. The two homes facing Shelbourne Street maintain a street-facing façade conforming to the Design Guidelines, while benefiting from a shared courtyard open for resident programming.

Paramount to the construction of missing middle housing here is affordability, appropriate sizing and orientation. In response to this initiative, neighbourhoods throughout the City, and in particular along the Shelbourne Corridor, will only achieve this type of missing middle housing through a variety of appropriately design forms, including sensitive ‘galley forms’, necessary to yield approximately 1.0 FSR with ~1,220 sq.ft. ground-oriented homes.

#### Sustainability

The proposal includes a commitment to achieve Step Code 3 of the BC Energy Step Code, equating to a performance target that is 50% better than the BC Building Code. The project team will employ such measures as the use of durable and sustainable building materials, low e-glazing throughout, bike parking for residents to encourage a car-lite lifestyle and EV infrastructure for car-charging.

The landscaping proposed includes the retention of two significant Gerry Oak trees along Shelbourne Street. The retention of these trees forms an integral piece of this project and its identity, frames the primary entry, and maintains the existing urban forest.

#### Tenant Assistance Policy

The two existing houses on the property are occupied by tenants. Through an approved rezoning Bylaw to facilitate 15 family-oriented townhomes, relocation will be required. We will continue to engage with the tenants and will follow the guidelines of the City’s TAP.

In tandem with this Rezoning application, a Tenant Assistance Plan is being drafted with Staff input for consideration and feedback. Through the CALUC process the importance of tenant protection was reinforced and is paramount for our proposal.

**Further to our community meeting and input from Community Development, we are committed to providing all of the tenants, including the 70% of existing tenants that are ineligible under the Policy, with compensation under the guidelines of the TAP. We look forward to continuing to engage with tenants as this project is developed.**

#### Housing Affordability

Through our community engagement the concerns around affordability have been evident and consistently discussed amongst our neighbours and community. Our objective in this proposal has been to facilitate the development of family-friendly, ground-oriented housing at a scale and form that is inherently more attainable than comparable single-family structures. To permit this type of housing, a galley-style development is paramount for this site.

**Layered in with the creation of attainable housing, and following Council, Staff and Community feedback, we are proposing to offer two of the new townhomes in this proposal at 10% below market value. In doing so, this proposal will include a range of housing types with various levels of affordability for a greater number of residents in the community. We believe there is an acute need for these affordable homes within the community and we are committed to providing this housing under this proposal and will work with Staff to ensure it’s delivered successfully.**



## **DESIGN RATIONALE**

Following early consultation with Planning, the applicant team has revised the proposal and space planning accordingly to address the following two concerns:

- Locate homes toward the street; and
- Proposed homes to be sensitive to neighbour outlook and privacy.

### Orientation

The Shelbourne Corridor is characterised by a diverse set of housing typologies. Pockets of more recent construction along this corridor, including but not limited to the Pearl Block and London Arbour, include typologies that have been conceived largely due to site dimensions, namely the significant depth of the properties. These successful infill homes capture the full depth of the properties with reduced set-backs and contextually appropriate 'galley form' design.

The most significant challenge / opportunity within this neighbourhood, with respect to home building, is responding to this site depth in a manner that results in a sensitive built form and an economically viable project. Re-orienting the homes toward Shelbourne Street results in a significant increase in the sizing of the homes due to the site constraints, pushing the areas up to ~1,700 sf on average (in necessity to achieve ~1.0 FSR) becoming less and less attainable for young families.

The design team for this proposal has undertaken massing studies to orient homes in a manner that is consistent with the streetscape in this growing neighbourhood and aligned with OCP densities and heights. This Shelbourne Street elevation is designed to fully adhere to design guidelines through fenestration and gables that complement the architectural context of this area, with a roofline that sets back from the street reducing the overall massing along this frontage. This orientation is further enhanced through a continuous landscape buffer running perpendicular to the street along the north and south property lines. This landscape buffer is unique to this site and provides a substantial improvement to existing conditions and visual interest from the boulevard.

The homes oriented to the semi-private courtyard off Shelbourne are designed to respond to neighbour privacy (detailed below) while maintaining a high level of design and refined expression.

### Privacy and Neighbourliness

Through design iterations and staff feedback, the applicant team explored several housing options for this site. Following precedent projects along the Shelbourne Corridor, some within a single block from the property, the proposal for two rows of townhomes oriented east/west, and perpendicular to the street, limits the overall shadowing impact on the neighbouring properties and reduces the massing of a street wall in this residential neighbourhood.

With respect to addressing potential privacy and outlook concerns, the design team has provided the following changes:

- Fenestration has been designed to address the outlook over neighbours, specifically to the north and south.
- Window heights and widths overlooking neighbours have been sensitively placed with respect to privacy and design considerations.
- The interior programming of the townhomes has been revised to create living space with outlooks over the shared courtyard. This response creates several positive outcomes including: prime living space and circulation through the home, which is located away from the neighbours' property lines; limiting outlook and improving privacy; and creating prime living space on the courtyard side allowing for limited glazing towards the neighbours.
- Living spaces have been designed to overlook the shared courtyard providing architectural opportunities for expressing the space with more significant glazing / bay windows to increase daylighting.

- Living space has been designed over the shared courtyard, with direct pedestrian entries below, creating an outlook over a shared semi-private residential space, fostering a secure, family-friendly courtyard.
- The interstitial space between the townhomes and neighbours will be programmed with private patios and internal access only. Pedestrian circulation will happen within the shared courtyard. Layered landscaping between the patio and neighbours will promote privacy for both, while fencing and screens will create a second layer of privacy between all neighbours.

## **CONCLUSION**

The applicant team believes the proposal outlined above successfully addresses the objectives of the noted City Policies and Design Guidelines through a built form that provides a Missing Middle typology consistent with its context. Through the rezoning process we look forward to refining this proposal through continued work with Staff and neighbours to permit the development of family-oriented homes within this community.

Sincerely,

Frame Properties