



Advisory Design Panel Report For the Meeting of June 28, 2023

To: Advisory Design Panel **Date:** June 14, 2023
From: Patrick Carroll, Senior Planner
Subject: **Development Permit Application No. 000568 for 2850/2852 Douglas Street, 2706 Government Street, 670/680 Gorge Road East**
(Concurrent with Rezoning Application No. REZ00717)

EXECUTIVE SUMMARY

The Advisory Design Panel (ADP) is requested to review a Development Permit Application for 2850/2852 Douglas Street, 2706 Government Street, 670/680 Gorge Road East and provide advice to Council.

The proposal is to demolish two existing commercial buildings, retain an existing 100-unit hotel and construct a new six-storey, 177-room hotel with a 370m² restaurant. The proposed building contains an 87-space underground parking area and an additional 84 surface parking stalls. A concurrent Rezoning Application seeks to increase the floor space ratio (FSR) from 1.2 to 1.67 and create a single site-specific zone for the properties, which would be consolidated if the rezoning is approved.

The site is located within Development Permit Area (DPA) 7A: Corridors and the following documents were considered in assessing this application:

- *Official Community Plan (2012)*
- *Burnside Gorge Neighbourhood Plan (2017)*
- *Revitalization Guidelines for Corridors, Villages and Town Centres (2019)*
- *Design Guidelines for Multi-Unit Residential, Commercial and Industrial Development (2012)*
- *Advisory Design Guidelines for Buildings, Signs and Awnings (1981).*

Staff are looking for commentary from the ADP with regard to:

- street wall to street width ratio
- opportunities to acknowledge a prominent location
- opportunities to improve the commercial street front
- parking and drive aisle impacts
- appropriateness of proposed building materials
- any other aspects of the proposal on which the ADP chooses to comment.

The Options section of this report provides guidance on possible recommendations that the ADP may make, or use as a basis to modify, in providing advice on this application.

BACKGROUND

Applicant:	Mr. Scott Harwood Northland Properties Corporation
Architect:	Mr. Paul Kwasnicky, Architect AIBC Pacific Coast Architecture
Development Permit Area:	Development Permit Area 7A, Corridors
Heritage Status:	n/a

Description of Proposal

The proposed site contains three existing buildings, including a four-storey, 100-unit hotel with 623m² of ground floor commercial space (previously used as a restaurant) and two additional commercial buildings. The proposal is to demolish the commercial buildings, retain the existing hotel and construct a new six-storey, 177-room hotel with 370m² of an additional ground floor commercial space (proposed for a second restaurant).

Major design components include:

- proposed building sited in the southern portion of the site and built up to flanking streets (Government Street and Gorge Road East)
- six storeys with a flat roof and parapets, 4.55m first storey height, covered vehicle entry and pedestrian doors from Douglas Street and Gorge Road
- ground floor restaurant with pedestrian entry from Government Street and outdoor patio in prominent south corner
- three vehicle accesses (two on Douglas Street, one on Gorge Road East)
- 87 underground parking spaces and 84 surface parking spaces, accessed via a ramp from Douglas Street.

Exterior materials include:

- brick veneer at ground level, painted composite panels above ground floor
- faux wood canopy at main entry, metal awnings, black aluminum window frames.

Site and landscaping details include:

- 50.9m² restaurant patio
- landscaped islands, ornamental trees, retained landscaped area (rear of existing hotel), new landscaped area (between existing hotel and Gorge Road East)
- 47 new trees proposed onsite, in addition to 5 proposed new boulevard trees (Gorge Road East) and 5 retained boulevard trees (Douglas Street)
- all onsite existing trees are proposed for removal, in addition to 10 offsite trees.

The following data table compares the proposal with the T-1 Zone, Limited Transient Accommodation District. An asterisk is used to identify where the proposal is less stringent than

the T-1 Zone. Additionally, the applicable Official Community Plan policy has been included in this table.

Zoning Criteria	Proposal	Zone Standard (T-1)	OCP Policy (General Employment)
Site area (m ²) (min.)	9089.21	1850	-
Density (Floor Space Ratio) (max.)	1.57*	1.20	2:1
Total floor area (m ²) (max.)	14,281.96*	10,907.05	-
Unit floor area (m ²) (min)	26.38*	33.00	-
Height (m) (max.)	24.99*	21.50	-
Storeys (max.)	6	n/a	Up to 6 (approx.)
Site coverage (%) (max.)	32.51*	20.00	-
Open site space (%) (min.)	28.15*	30.00	-
Setbacks (m) (min.)	-	-	Close to sidewalk
	0.40* (proposed)		
Front (Douglas)	7.50 (existing hotel)	7.50	-
Rear (Gorge)*	5.10*	7.50	-
Side (west)	TBC*	7.50	-
Side (north)	7.70 (existing hotel)	7.50	-
Between buildings (m) (min.)	8.20*	18.00	-
Vehicle parking (min.)	171*	189	84 surface 87 underground
Accessible parking (min.)	6	6	-

Zoning Criteria	Proposal	Zone Standard (T-1)	OCP Policy (General Employment)
Accessible van parking (min.)	0*	2	-
EV ready spaces (min.)	2 TBC*	9	-
Surface parking street boundary setback (m) (min.)	0.00- Douglas* 1.00- Gorge*	7.50	-
Surface parking landscape strip (m) (min.)	0.00- Douglas* 1.00- Gorge	1.00	-
Bicycle parking stalls (min.)	-	-	-
Long term	14	13	-
Short term	18	17	-

Sustainability Features

The applicant has indicated a range of sustainability features associated with the development, including:

- permeable pavers for a portion of paved areas
- stormwater retention through a combination of landscaped surface storage, delayed percolation troughs, and below grade storage manifolds
- heat recovery system for indoor pool area.

Consistency with Policies and Design Guidelines

Official Community Plan (2012)

This property is designated General Employment in the *Official Community Plan* (OCP). The General Employment designation envisions primarily employment-generating uses and accessory mixed-uses including light industrial, commercial, and institutional uses contained within a wide range of low to medium-rise building forms. The designation envisions buildings up to approximately six storeys adjacent to the Douglas-Hillside-Gorge-Government intersection, with total FSR up to approximately 2:1.

Burnside Gorge Neighbourhood Plan (2017)

This property is designated General Employment in the *Burnside Gorge Neighbourhood Plan*. The General Employment areas between Mayfair Town Centre and Humber Green Village are

identified as an important reserve of general employment and industrial employment lands. In the section of the Douglas Corridor that includes the subject properties, general employment uses are envisioned with building heights between approximately four and six storeys.

Specific urban design objectives are contained in the plan, including incorporating small transit plazas in locations of future rapid transit stations and encouraging prominent buildings at terminating vistas at street-ends and triangular blocks, which are both potential opportunities for the properties under consideration.

Design Guidelines applicable to Development Permit Area (DPA) 7A: Corridors

The applicable design guidelines for DPA 7A that apply to the subject properties include:

- *Revitalization Guidelines for Corridors, Villages and Town Centres (2019)*
- *Design Guidelines for Multi-Unit Residential, Commercial and Industrial Development (2012)*
- *Advisory Design Guidelines for Buildings, Signs and Awnings (1981)*.

Regulatory Considerations

It should be noted that the proposal strays significantly from the requirements contained in the T-1 Zone, as outlined in the data table. Staff assessment is that the surface parking/street boundary setback of 0m on Douglas Street and of 1m on Gorge Road East, as well as the lack of a surface parking landscape strip on Douglas Street are a problematic site design concern given the importance of landscaping and trees to soften the experience along these busy corridors.

ISSUES AND ANALYSIS

The following sections identify and provide a brief analysis of the areas where the Panel is requested to provide commentary. The Panel's commentary on any other aspects of the proposal is also welcome.

Street Wall Ratio

The *Revitalization Guidelines for Corridors, Villages and Town Centres* emphasize that buildings flanking streets should create a sense of enclosure, mitigate shading impacts and ensure human scale at street level. To achieve these objectives, street walls should not exceed approximately 1/3 to 1/2 the width of the flanking street. Where buildings exceed the preferred street wall ratio, the upper portions of buildings above the street wall should be set back by at least two metres. The proposed building would be built to the sidewalk on Government Street and Gorge Road East, without providing a setback for the portion of the building above the street wall. Staff assessment of the proposal is that revisions are recommended to better align with objectives related to street wall to street width ratio. The Panel is asked to comment on the appropriateness of the proposed building height and massing.

Visually Prominent Location

The *Revitalization Guidelines for Corridors, Villages and Town Centres* encourage unique rooflines for taller buildings that have a visually prominent location (e.g. at corners, or at terminating vistas of streets) in order to create a distinct landmark. Additionally, the corner design should include an architectural feature that addresses and emphasizes the corner. Staff assessment is that the location of the proposed hotel is a visually prominent location and a

terminating vista, and that the proposal would benefit from design elements to acknowledge the significance. The Panel is asked to comment on opportunities for design elements or revisions that could better realize the objectives for prominent sites in the OCP and *Burnside Gorge Neighbourhood Plan*.

Pedestrian Experience

The *Revitalization Guidelines for Corridors, Villages and Town Centres* encourage a series of modulated storefronts and/or entrances where ground-oriented commercial uses are proposed, even where the building has a single tenant or use. Given the large floor plate and building dimensions, staff recommend further consideration of elements to improve the commercial streetscape, such as additional entrances and/or increased emphasis on existing building entrances. The Panel is asked to comment on opportunities to improve the building design at street level.

Parking and Drive Aisles

The *Revitalization Guidelines for Corridors, Villages and Town Centres* outline that parking be located underground or to the rear of buildings to provide human scale pedestrian environments. Where rear yard surface parking is proposed, building designs and landscaping interventions should be employed so that parking is integrated into sites in a manner that results in an attractive and safe environment. Staff assessment is that the provision of surface parking, and in particular the proposed drive aisles, reduces the space available for open space and trees and creates conflicts between pedestrians and vehicles. The Panel is asked to comment on recommendations to reduce paved areas, screen parking and improve pedestrian separation from vehicular movement.

Building Materials

The *Design Guidelines for Multi-Unit Residential, Commercial and Industrial Development* encourage high quality materials that are capable of weathering gracefully. Specifically, the importance of rich and varied architectural materials along street frontages are identified as particularly important. The Panel is asked to comment on the quality and range of building materials and identify opportunities to better reflect surrounding context, including but not limited to nearby buildings of heritage value.

OPTIONS

The following are three potential options that the Panel may consider using or modifying in formulating a recommendation to Council:

Option One

That the Advisory Design Panel recommend to Council that Development Permit Application No. DP000568 for 2850/2852 Douglas Street, 2706 Government Street, 670/680 Gorge Road East be approved as presented.

Option Two

That the Advisory Design Panel recommend to Council that Development Permit Application Development Permit Application No. DP000568 for 2850/2852 Douglas Street, 2706 Government Street, 670/680 Gorge Road East be approved with the following changes:

- as listed by the ADP.

Option Three

That the Advisory Design Panel recommend to Council that Development Permit Application Development Permit Application No. DP000568 for 2850/2852 Douglas Street, 2706 Government Street, 670/680 Gorge Road East does not sufficiently meet the applicable design guidelines and polices and should be declined (and that the key areas that should be revised include:)

- as listed by the ADP, if there is further advice on how the application could be improved.

ATTACHMENTS

- Subject Map
- Aerial Map
- Plans date stamped June 1, 2023
- Applicant's letter dated November 9, 2021.

cc: Scott Harwood; Paul Kwasnicky

VICTORIA SIGNATURE HOTEL

MATERIALS PALLET



H1

PEARL GRAY
HARDIE PANEL



H2

AGED PEWTER
HARDIE PANEL



H3

RICH ESPRESSO
HARDIE PANEL



H4

BLACK JACK
HARDIE PANEL



H5

IRONSTONE
BRICK VENEER



H6 H7

CLEAR GLASS
DOOR & WINDOW

H8 H10

BLACK
LIGHT FIXTURE & A/C COVER



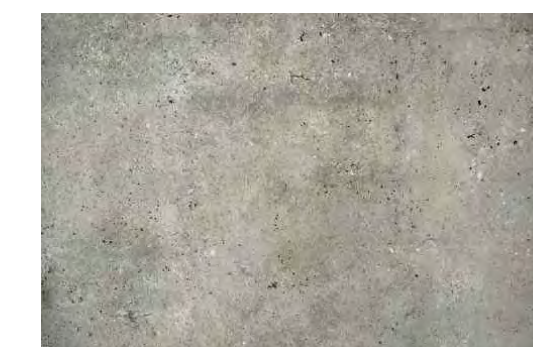
H9

ILLUMINATED
SIGNAGE



H11 H12

LIGHT CHERRY
WOOD PRINT SIDING



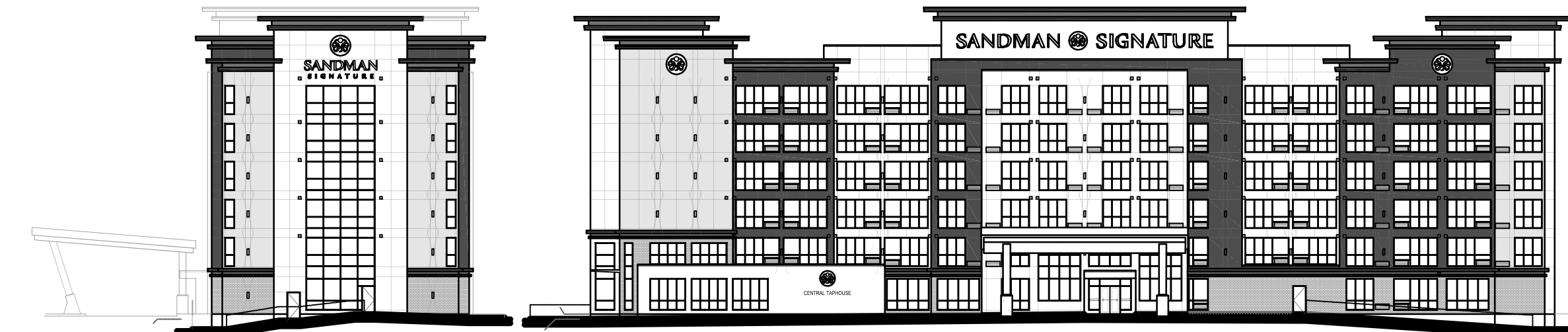
H13

NATURAL CONCRETE
FINISH



SOUTH - A-2.01

EAST - A-2.03



WEST - A-2.03

NORTH - A-2.02



SOUTH-EAST PERSPECTIVE

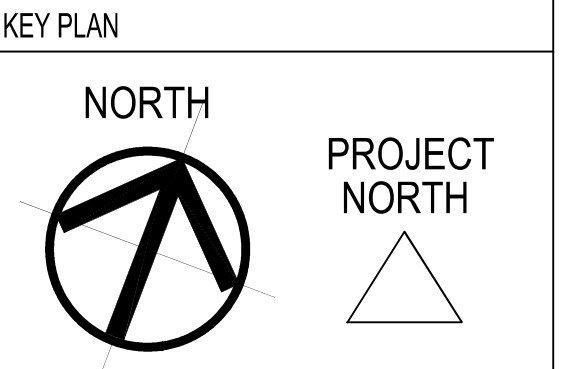
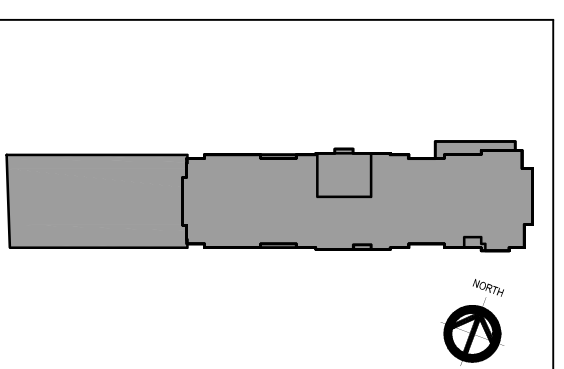


NORTH-EAST PERSPECTIVE

VICTORIA EXTERIOR FINISHES	
H1	PAINTED HARDIPANELS C/W REVEALS 'PEARL GRAY'
H2	PAINTED HARDIPANELS C/W REVEALS 'AGED PEWTER'
H3	PAINTED HARDIPANELS C/W REVEALS 'RICH ESPRESSO'
H4	PAINTED HARDIPANELS C/W REVEALS BENJAMIN MOORE BLACK JACK 2133-20
H5	BRICK VENEER SYSTEM - RUNNING BOND COLOR: 'IRONSTONE' MD 2140
H6	CLEAR GLASS WINDOW IN BLACK ALUMINUM FRAME
H7	CLEAR GLAZED DOOR IN BLACK ALUM FRAME
H8	UP / DOWN LIGHT
H9	ILLUMINATED SIGNAGE - SEPARATE SIGNAGE PERMITS ARE REQUIRED. SEE A-2.04 FOR DETAILS
H10	A/C UNIT COVERS PAINTED TO MATCH SURROUNDING WALL
H11	PERFORATED 'LUX' METAL WOOD PRINT SOFFIT COLOR 1406/01-716 'LIGHT CHERRY'
H12	'LUX' METAL WOOD PRINT SIDING COLOR 1406/01-716 'LIGHT CHERRY'
H13	NATURAL CONCRETE FINISH
H14	METAL CAP FLASHING PAINTED COLOR TO MATCH SURROUNDING WALL
F9	PAINTED METAL 'C' CHANNEL AWNING COLOR: BENJAMIN MOORE BLACK JACK 2133-20
F10	GLASS GUARDRAIL



The drawings and design are and shall at all times remain the property of Pacific Coast Architecture Inc. and cannot be used or reproduced in any manner without written consent. We warrant drawings shall have procedure over-sold dimensions. Contractors shall verify and shall be responsible for dimensions and conditions on the job, and the Architect shall be relieved of any liability from the dimensions and conditions as shown on the drawings.



JUNE 28th, 2022

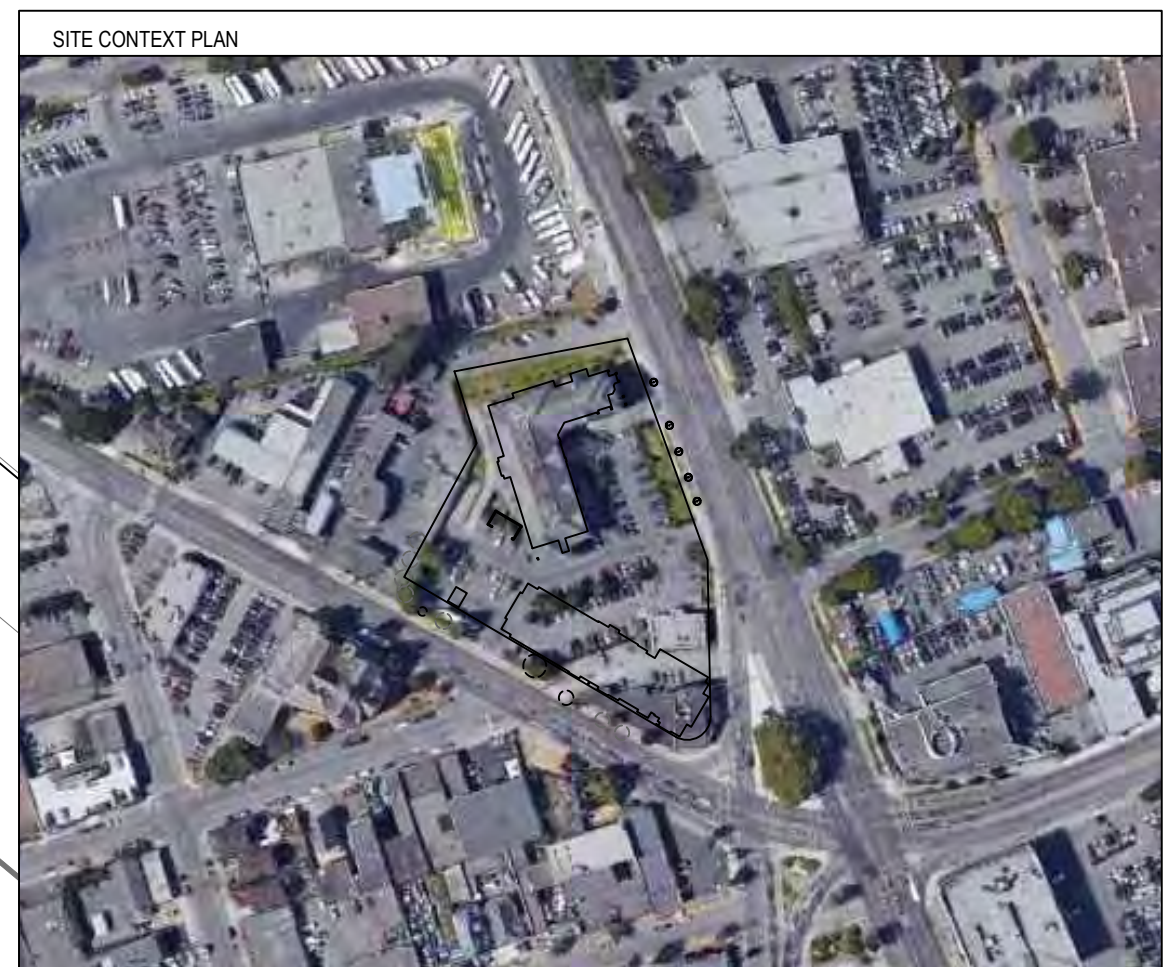
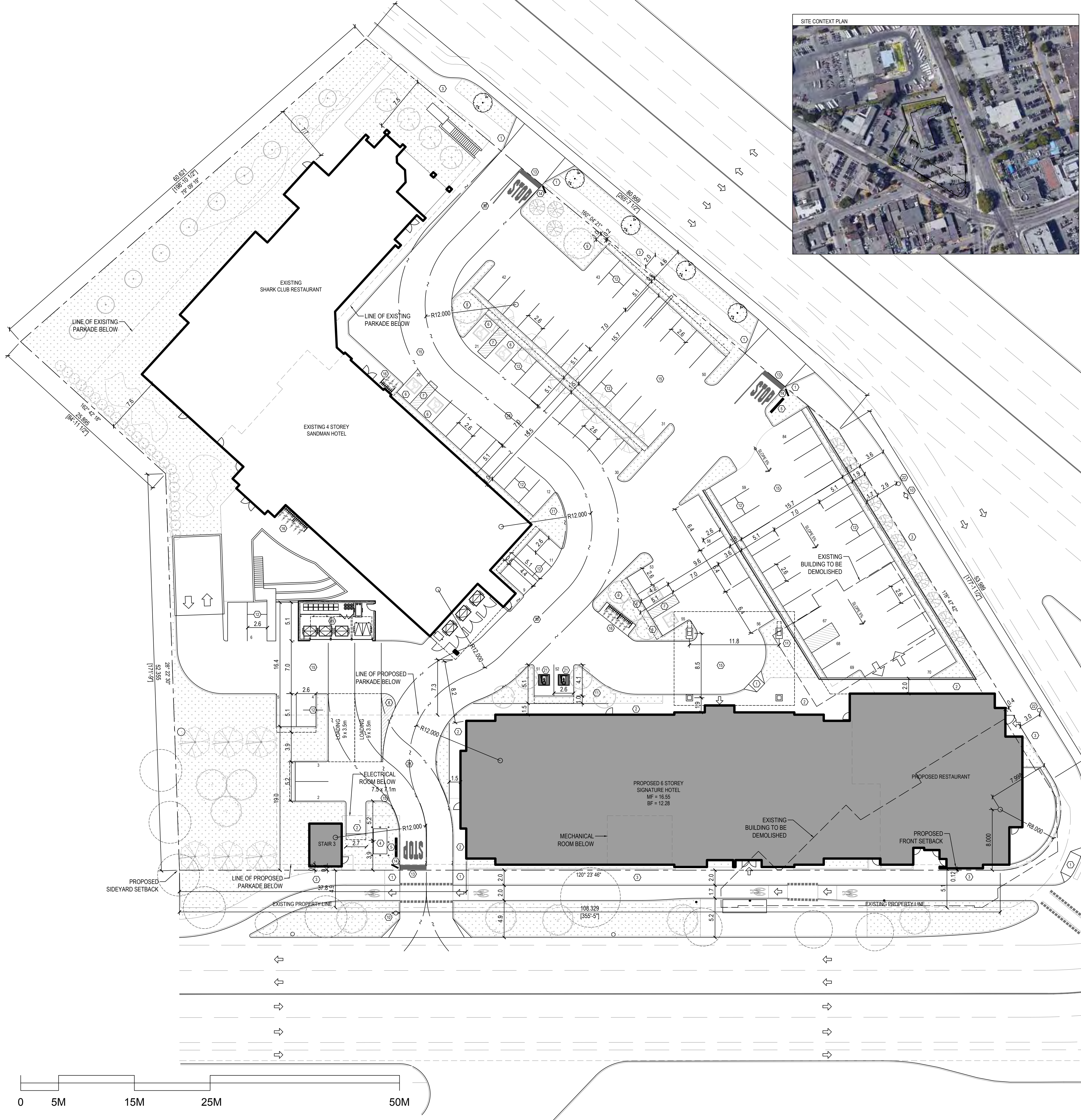
1	ISSUED FOR DEVELOPMENT PERMIT	11.04.2021
No.	Revision/Issue	Date mm.dd.yyyy

Pacific Coast Architecture Inc.
501-2292 Production Way
Burnaby, B.C.
Canada, V5A 3R3
office: 303.368.7317
fax: 303.320.9559

PROPOSED SIGNATURE HOTEL
2706 GOVERNMENT STREET
VICTORIA BRITISH COLUMBIA

MATERIALS BOARD	
Scale	NTS
Date	April 20th, 2021
Drawn	J.Mutis
Checked	P.Kwassnicky
A-0.02	
R	





PROJECT SUMMARY

PROJECT NAME: HOTEL + RESTAURANT AND CONFERENCE CENTER
 CIVIC ADDRESS: 2706 GOVERNMENT STREET & 2852 DOUGLAS STREET VICTORIA, BC
 LEGAL DESCRIPTION: LOT 1, SECTION 4 | VICTORIA DISTRICT, PLAN 33154
 LOT A, SECTION 4 | VICTORIA DISTRICT, PLAN VP98803

ZONE: = SITE SPECIFIC
 SITE AREA: = 97,835.44 SQFT - 9,089.21 M2 - 2.25 ACRES
 FLOOR SPACE INDEX: = 153,729.37 SQFT - 14,281.96 M2 - 1.57
 LOT COVERAGE: = 31,808.85 SQFT - 2,955.12 M2 - 32.51%
 OPEN SITE SPACE: = 27,537.10 SQFT - 2,558.28 M2 - 28.19%

NEW BUILDING TOTAL GROSS FLOOR AREA

GROUND FLOOR = 15,948.04 SQFT - 1,481.82 M2
 SECOND FLOOR = 14,271.37 SQFT - 1,325.85 M2
 THIRD FLOOR = 15,385.96 SQFT - 1,429.40 M2
 FOURTH FLOOR = 15,385.96 SQFT - 1,429.40 M2
 FIFTH FLOOR = 15,385.96 SQFT - 1,429.40 M2
 SIXTH FLOOR = 15,385.96 SQFT - 1,429.40 M2

TOTAL GROSS FLOOR AREA = 91,763.25 SQFT - 8,525.08 M2
 BELOW GRADE PARKADE = 21,347.25 SQFT - 1,983.22 M2
 OUTDOOR PATIO = 547.47 SQFT - 50.86 M2

EXISTING BUILDING TOTAL GROSS FLOOR AREA

GROUND FLOOR = 15,313.38 SQFT - 1,422.86 M2
 SECOND FLOOR = 15,039.55 SQFT - 1,397.22 M2
 THIRD FLOOR = 15,808.09 SQFT - 1,468.62 M2
 FOURTH FLOOR = 15,808.09 SQFT - 1,468.62 M2

TOTAL GROSS FLOOR AREA = 61,969.12 SQFT - 5,757.12 M2
 BELOW GRADE PARKADE = 22,902.05 SQFT - 2,127.67 M2
 OUTDOOR PATIO = 315.92 SQFT - 29.35 M2

PROJECT INFORMATION TABLE
PROPOSED SITE

ZONING (EXISTING)	T-19	C1-S
SITE AREA	9,089.21	
TOTAL FLOOR AREA	14,282.24 SQM	
EXISTING HOTEL	5,757.12 SQM	
PROPOSED HOTEL	8,525.12 SQM	
FLOOR SPACE RATIO	0.64	
SITE COVERAGE	31.9%	
OPEN SITE SPACE	28.15% (2,558.28 SQM)	
HEIGHT OF BUILDING	23.57 M	
NUMBER OF STOREYS	6	
PARKING STALLS	171 (84 SURFACE, 87 U/GROUND)	
BICYCLE PARKING	14 CLASS A 18 CLASS B	

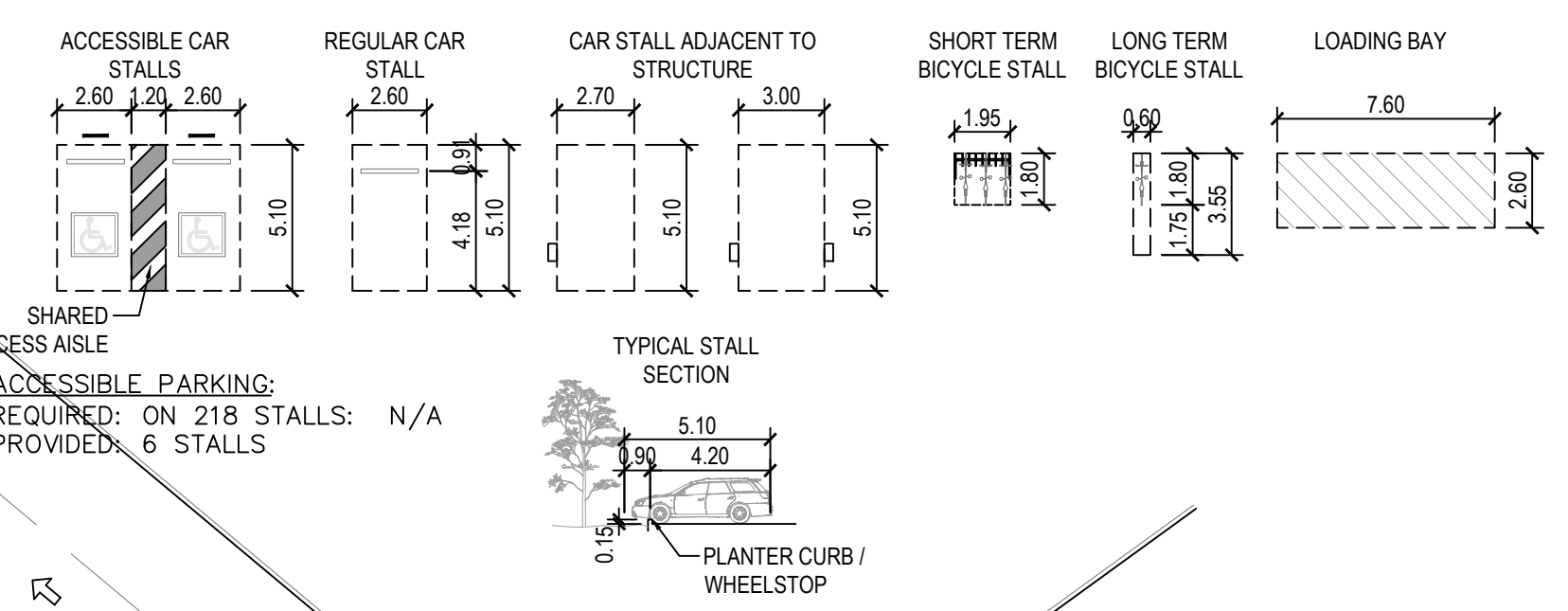
BUILDING SETBACKS		
	PROVIDED	REQUIRED
FRONT YARD	0.12 M	7.50 M
SIDE YARD	0.00 M	3.00 M
SIDE YARD	14.19 M	6.00 M
REAR YARD	29.06 M	12.00 M

PARKING CALCULATION:
(AS PER THE CITY OF VICTORIA, ZONING BY-LAW No. 80-159 SCHEDULE C)

	REQUIRED	PROVIDED
HOTEL		
NEW HOTEL	GROUND FLOOR = 0 ROOMS SECOND FLOOR = 28 ROOMS THIRD FLOOR = 36 ROOMS FOURTH FLOOR = 36 ROOMS FIFTH FLOOR = 36 ROOMS SIXTH FLOOR = 36 ROOMS SUB-TOTAL = 177 ROOMS	
EXISTING HOTEL	GROUND FLOOR = 0 ROOMS SECOND FLOOR = 32 ROOMS THIRD FLOOR = 34 ROOMS FOURTH FLOOR = 34 ROOMS SUB-TOTAL = 100 ROOMS	
HOTEL TOTAL = 177 + 100 ROOMS = 277 x 0.5 STALLS PER ROOM	139 STALLS	
EXISTING RESTAURANT	623 SQM	
NEW RESTAURANT	370 SQM	
RESTAURANT TOTAL = 623 + 370 SQM = 993 SQM / 20 (1 STALL PER 20 SQM GFA)	47 STALLS	
	186 STALLS	171 STALLS
		-15 STALLS

BICYCLE PARKING CALCULATION:
(AS PER THE CITY OF VICTORIA, ZONING BY-LAW No. 80-159 SCHEDULE C)

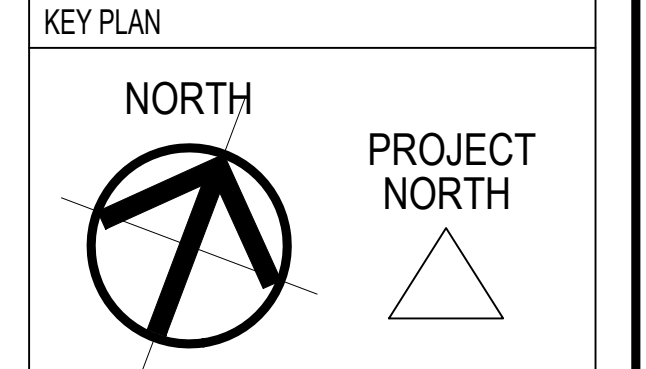
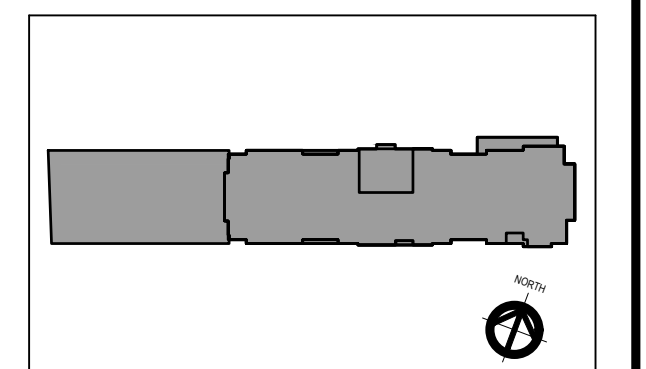
	REQUIRED	PROVIDED
NEW HOTEL	GROUND FLOOR = 1 ROOMS SECOND FLOOR = 28 ROOMS THIRD FLOOR = 36 ROOMS FOURTH FLOOR = 36 ROOMS FIFTH FLOOR = 36 ROOMS SIXTH FLOOR = 36 ROOMS TOTAL = 177 ROOMS x 1 CLASS A STALL PER 25 ROOMS TOTAL = 177 ROOMS x 1 CLASS B STALL PER 40 ROOMS	7.08 STALLS 4.43 STALLS
NEW RESTAURANT	1 CLASS A STALL PER 400 SQM = 415 / 400 1 CLASS B STALL PER 100 SQM = 415 / 100	1.04 STALLS 4.15 STALLS
EXISTING HOTEL	GROUND FLOOR = 0 ROOMS SECOND FLOOR = 32 ROOMS THIRD FLOOR = 34 ROOMS FOURTH FLOOR = 34 ROOMS TOTAL = 100 ROOMS x 1 CLASS A STALL PER 25 ROOMS TOTAL = 100 ROOMS x 1 CLASS B STALL PER 40 ROOMS	4 STALLS 2.5 STALLS
EXISTING RESTAURANT	1 CLASS A STALL PER 400 SQM = 623 / 400 1 CLASS B STALL PER 100 SQM = 623 / 100	1.56 STALLS 6.23 STALLS
	14 CLASS A STALLS	+0 STALLS
	18 CLASS B STALLS	+0 STALLS



- SITE NOTES**
- DEPRESSED CONCRETE CURB AND SLOPED RAMP (LETDOWN) CW EXPANSION JOINTS
 - PROPOSED BROOM FINISH CONCRETE WALKWAY
 - SIDEWALK
 - PAD MOUNT TRANSFORMER
 - PYLON SIGN
 - ACCESSIBLE PARKING SPACE AND SIGN (TYP.)
 - 1.2M (4'-0") SHARED ACCESS AISLE (TYP.)
 - PAINTED ISLAND
 - LANDSCAPED ISLAND (TYP.) AS SHOWN
 - EXISTING FIRE HYDRANT
 - LANDSCAPE AREA
 - 90° PARKING STRIPING (TYP.) AS SHOWN
 - PARKING STRIPING PAINTED WHITE 4" THICK (TYP.)
 - STOP BAR
 - STOP SIGN
 - ASPHALT PAVING AS PER THE GEOTECH REPORT
 - SHORT TERM BICYCLE RACK
 - LONG TERM BICYCLE ENCLOSURE (SEE A-1.01)
 - FIRE DEPARTMENT CONNECTION
 - ELECTRIC VEHICLE CHARGING LOCATION AND PAINTED SIGN ON ASPHALT
 - EXISTING HYDRO POLES



The drawings and design are and shall at all times remain the property of Pacific Coast Architecture Inc. and cannot be used or reproduced in any manner without our written consent. We warrant dimensions shall have precedence over verbal dimensions. Contractors shall verify and shall be responsible for dimensions and conditions on the job and the Architect shall be relieved of any variation from the dimensions and conditions on issue in the drawings.



9	REVISED PER CITY COMMENTS	05.25.2023
8	REVISED PER CITY COMMENTS	03.27.2023
7	REVISED PER CITY COMMENTS	12.12.2022
6	REVISED PER CITY COMMENTS	9.07.2022
5	REVISED PER CITY COMMENTS	5.04.2022
4	REVISED FOR STRUCTURAL COORDINATION	1.26.2022
3	REVISED PER CITY COMMENTS	12.09.2021
2	REVISED RESTAURANT	11.24.2021
1	ISSUED FOR DEVELOPMENT PERMIT	11.04.2021
No.	Revision/Issue	Date mm.dd.yyyy

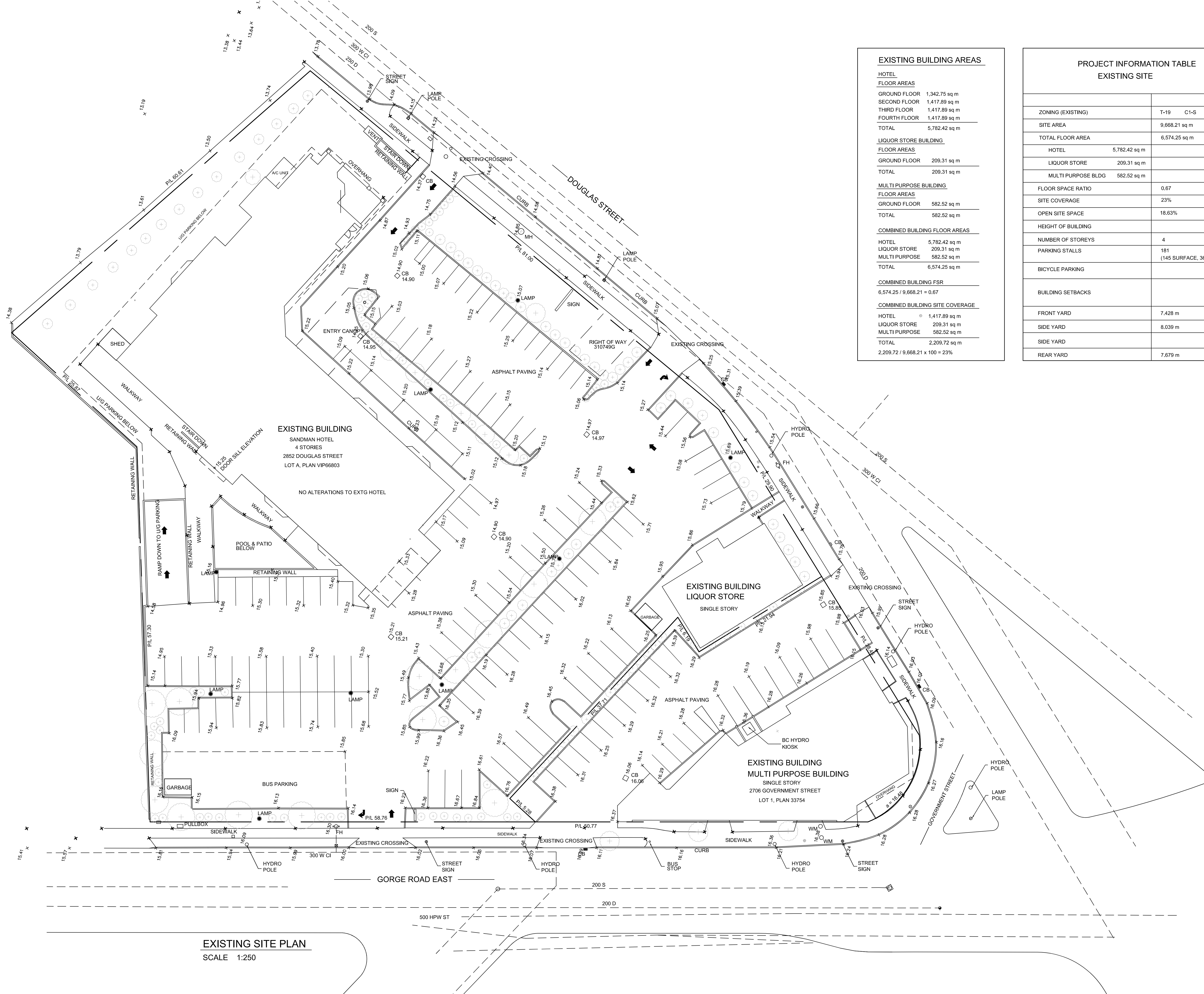
Pacific Coast Architecture Inc.
 501-2292 Production Way
 Burnaby, B.C.
 Canada, V5A 3K3
 office: 303.568.7217
 fax: 303.520.9559

PROPOSED SIGNATURE HOTEL
 2706 GOVERNMENT STREET
 VICTORIA BRITISH COLUMBIA

SITE PLAN

Scale	1:250
Date	April 20th, 2021
Drawn	T.Ng
Checked	P.Kwasnicky

A-1.00



EXISTING SITE PLAN
SCALE 1:250

EXISTING BUILDING AREAS

HOTEL
FLOOR AREAS
GROUND FLOOR 1,342.75 sq m
SECOND FLOOR 1,417.89 sq m
THIRD FLOOR 1,417.89 sq m
FOURTH FLOOR 1,417.89 sq m
TOTAL 5,782.42 sq m

LIQUOR STORE BUILDING
FLOOR AREAS
GROUND FLOOR 209.31 sq m
TOTAL 209.31 sq m

MULTI PURPOSE BUILDING
FLOOR AREAS
GROUND FLOOR 582.52 sq m
TOTAL 582.52 sq m

COMBINED BUILDING FLOOR AREAS
HOTEL 5,782.42 sq m
LIQUOR STORE 209.31 sq m
MULTI PURPOSE 582.52 sq m
TOTAL 6,574.25 sq m

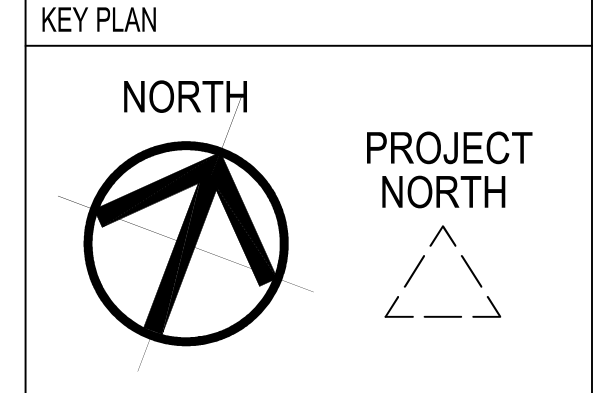
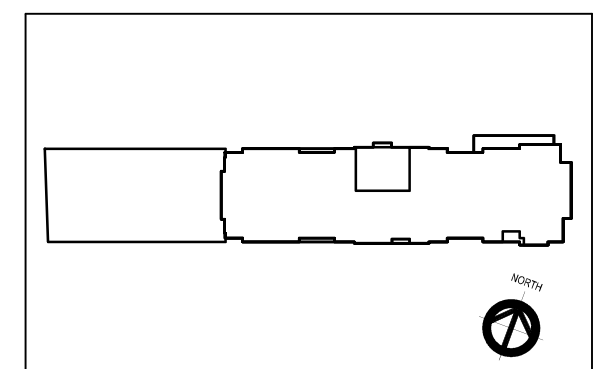
COMBINED BUILDING FSR
6,574.25 / 9,668.21 = 0.67

COMBINED BUILDING SITE COVERAGE
HOTEL 1,417.89 sq m
LIQUOR STORE 209.31 sq m
MULTI PURPOSE 582.52 sq m
TOTAL 2,209.72 sq m
2,209.72 / 9,668.21 x 100 = 23%

PROJECT INFORMATION TABLE
EXISTING SITE

ZONING (EXISTING)	T-19 C1-S
SITE AREA	9,668.21 sq m
TOTAL FLOOR AREA	6,574.25 sq m
HOTEL	5,782.42 sq m
LIQUOR STORE	209.31 sq m
MULTI PURPOSE BLDG	582.52 sq m
FLOOR SPACE RATIO	0.67
SITE COVERAGE	23%
OPEN SITE SPACE	18.63%
HEIGHT OF BUILDING	
NUMBER OF STOREYS	4
PARKING STALLS	181 (145 SURFACE, 36 U/GROUND)
BICYCLE PARKING	
BUILDING SETBACKS	
FRONT YARD	7.428 m
SIDE YARD	8.039 m
SIDE YARD	
REAR YARD	7.679 m

The drawings and design are the work of all the professionals of Pacific Coast Architects Inc. and cannot be used or reproduced in any manner without written consent. Written dimensions shall have precedence over scaled dimensions. Contractor shall verify and be responsible for dimensions and locations on the job and on the project. All dimensions are given from the dimensions and locations on these drawings.



JUNE 28th, 2022

1	ISSUED FOR DEVELOPMENT PERMIT	11.04.2021
No.	Revision/Issue	Date mm.dd.yyyy

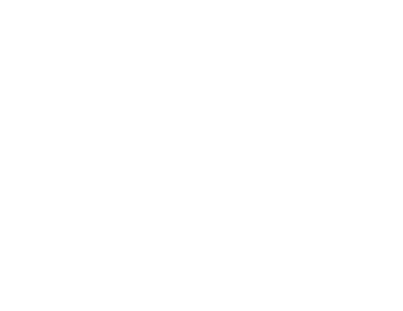
Pacific Coast
Architecture Inc.
501 - 3292 Production Way
Burnaby, B.C.
Canada, V5A 3R3
office 303.368.7317
fax 303.320.9559

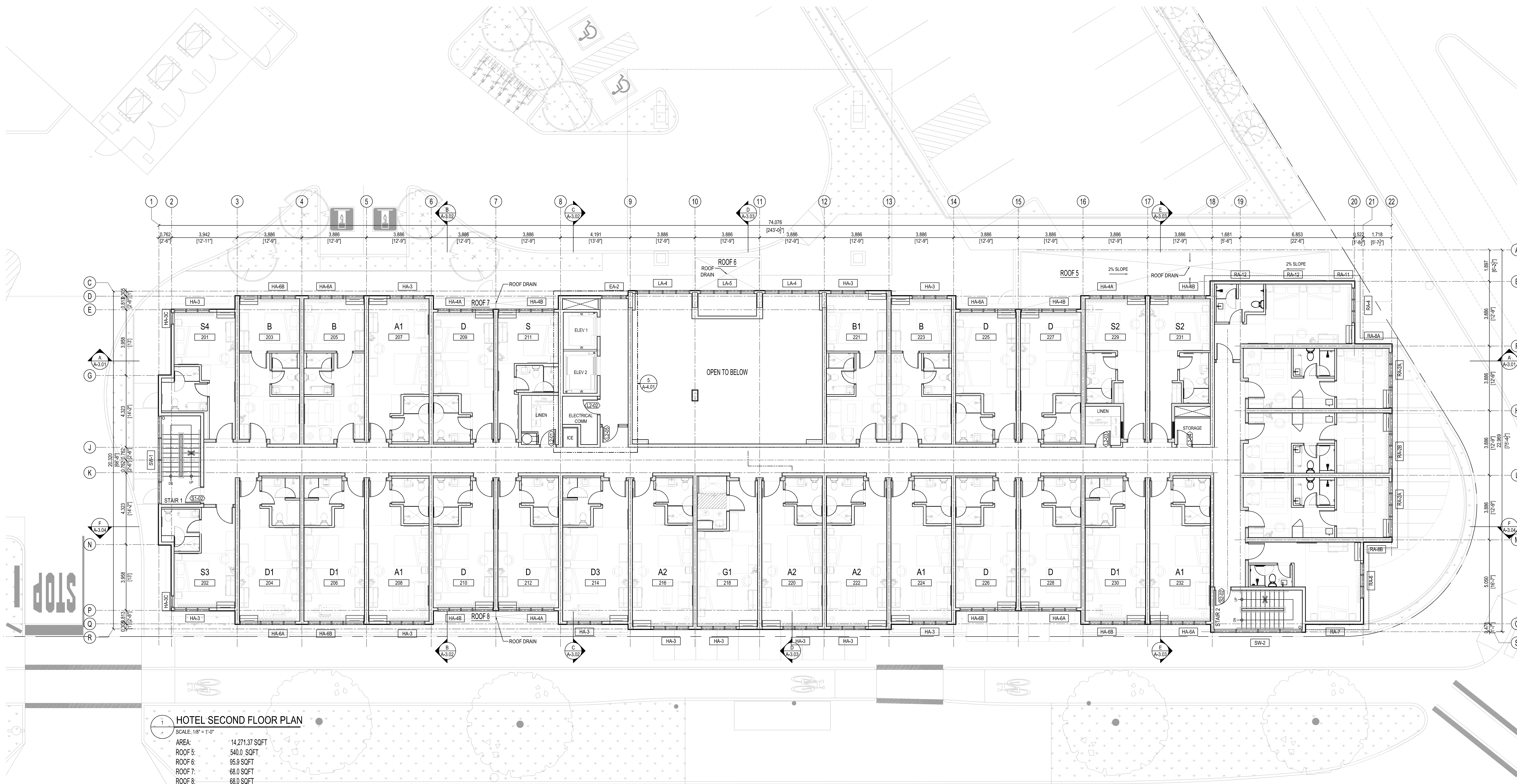
PROPOSED SIGNATURE HOTEL
2706 GOVERNMENT STREET
VICTORIA BRITISH COLUMBIA

EXISTING SITE PLAN
(INFORMATION ONLY)

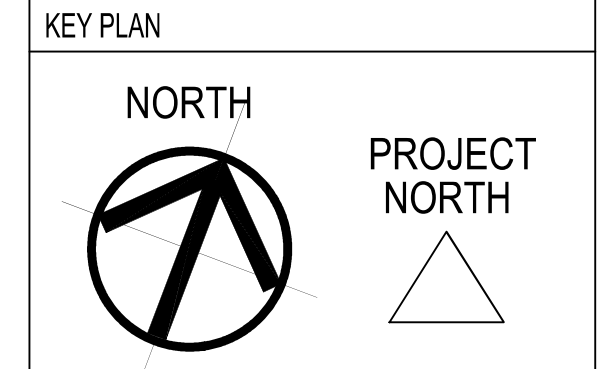
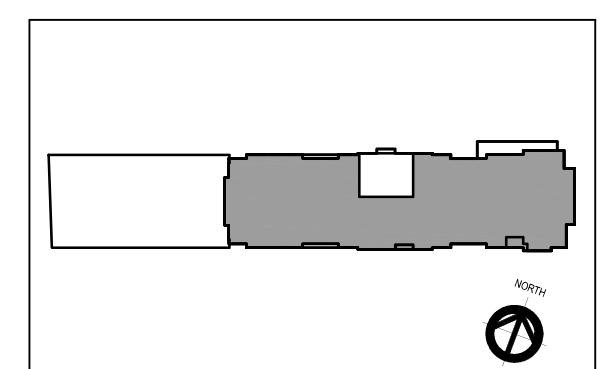
Scale	1:250
Date	April 20th, 2021
Drawn	J.Mulis
Checked	P.Kwasnicky

A-1.00a
R





The drawings and design are used and shall at all times remain the property of Pacific Coast Architecture Inc. and cannot be reproduced in any form without written consent.
 We warrant dimensions shall have precedence over verbal dimensions. Contractors shall verify and shall be responsible for dimensions and conditions on the job, and the Architect shall not be liable for any variations from the dimensions and conditions as shown on the drawings.



JUNE 20TH, 2022

4	REVISED FOR STRUCTURAL COORDINATION	1.26.2022
3	REVISED PER CITY COMMENTS	12.09.2021
2	REVISED RESTAURANT	11.24.2021
1	ISSUED FOR DEVELOPMENT PERMIT	11.04.2021
No.	Revision/Issue	Date mm.d4.yyyy

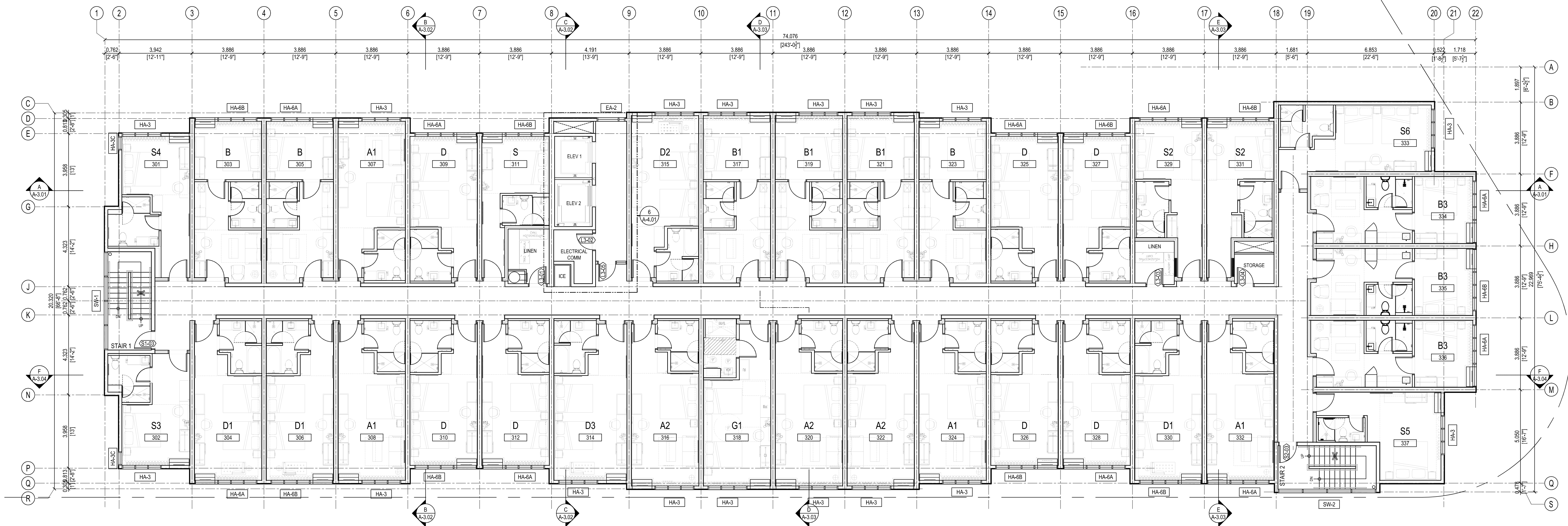
Pacific Coast
 Architecture Inc.
 501-2292 Production Way
 Burnaby, B.C.
 Canada, V5A 1R3
 office: 303.368.7317
 fax: 303.320.9559

PROPOSED SIGNATURE HOTEL
 2706 GOVERNMENT STREET
 VICTORIA BRITISH COLUMBIA

HOTEL SECOND FLOOR PLAN

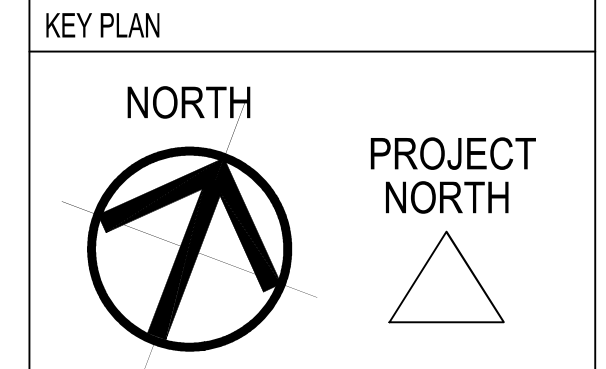
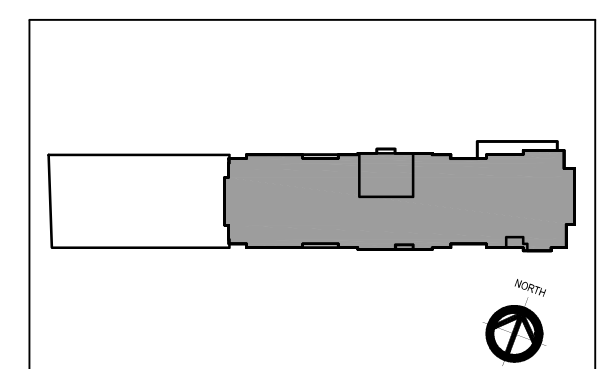
Scale	1/8" = 1'-0"	A-1.03
Date	April 20th, 2021	
Drawn	J.Muirs	
Checked	P.Kwasnicky	

HOTEL SECOND FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 AREA: 14,271.37 SQFT
 ROOF 5: 540.0 SQFT
 ROOF 6: 95.9 SQFT
 ROOF 7: 68.0 SQFT
 ROOF 8: 68.0 SQFT



1 HOTEL THIRD FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 AREA: 15,385.96 SQFT

The drawings and design are used and shall be used in accordance with the terms of the contract between the client and the architect. The architect shall not be responsible for any errors or omissions in the drawings or for any consequences arising therefrom.



JUNE 20TH, 2022

3	REVISED FOR STRUCTURAL COORDINATION	1.26.2022
2	REVISED PER CITY COMMENTS	12.09.2021
1	ISSUED FOR DEVELOPMENT PERMIT	11.04.2021
No.	Revision/Issue	Date mm.d4.yyyy

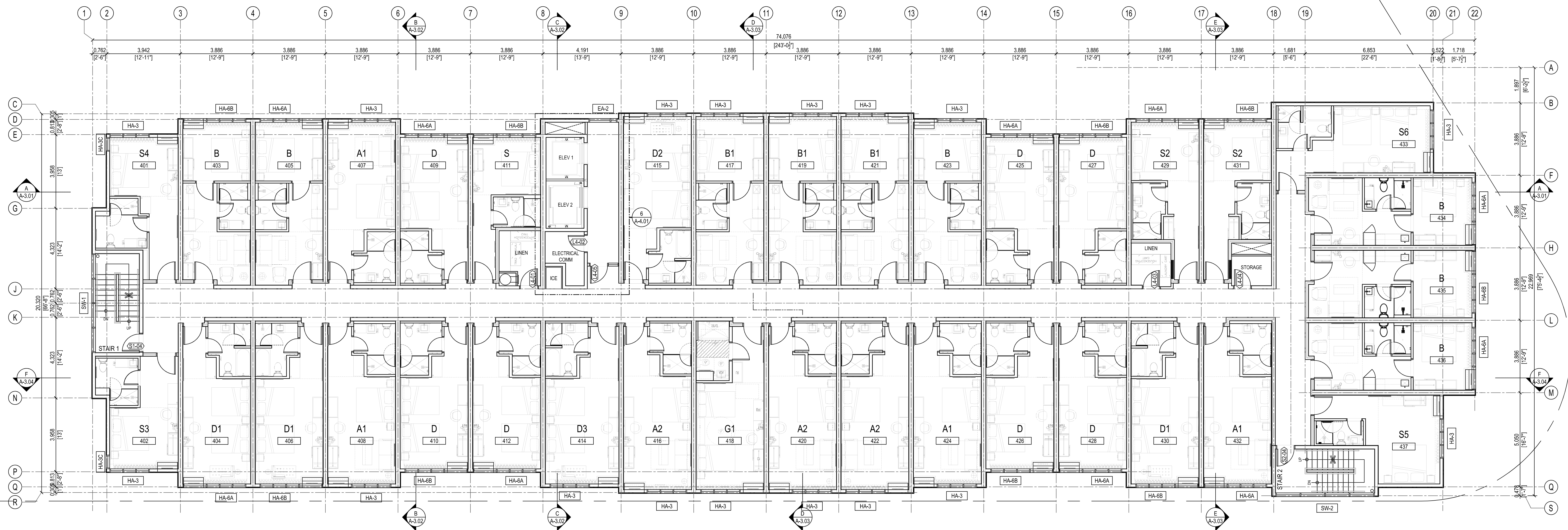
Pacific Coast
 Architecture Inc.
 501-3292 Production Way
 Burnaby, B.C.
 Canada, V5A 1R3
 office: 303.368.7317
 fax: 303.320.9559

PROPOSED SIGNATURE HOTEL
 2706 GOVERNMENT STREET
 VICTORIA BRITISH COLUMBIA

HOTEL THIRD FLOOR PLAN

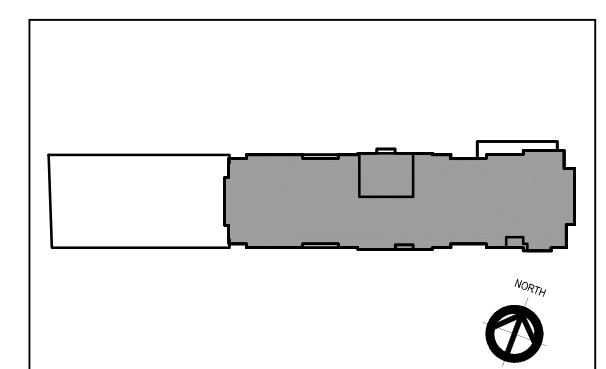
Scale	1/8" = 1'-0"	A-1.04
Date	April 20th, 2021	
Drawn	J.Mulis	
Checked	P.Kwassnick	

R



1 HOTEL FOURTH FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 AREA: 15,365.96 SQFT

The drawings and design are used and shall in all times remain the property of Pacific Coast Architecture Inc. and cannot be used or reproduced in any form without written consent.
 While the drawings shall have precedence over verbal dimensions, Contractors shall verify and shall be responsible for dimensions and conditions on the job, and the Architect shall be relieved of any liability from the dimensions and conditions as shown on the drawings.



KEY PLAN
 NORTH
 PROJECT NORTH



JUNE 20th, 2022

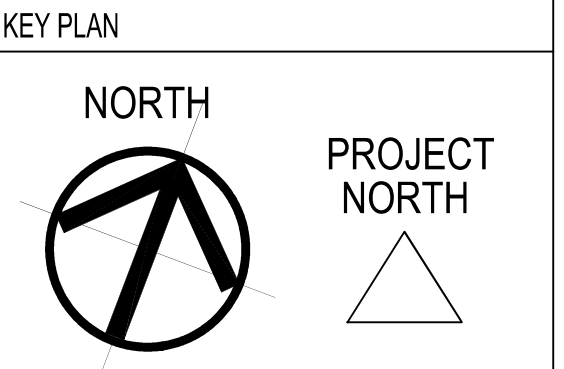
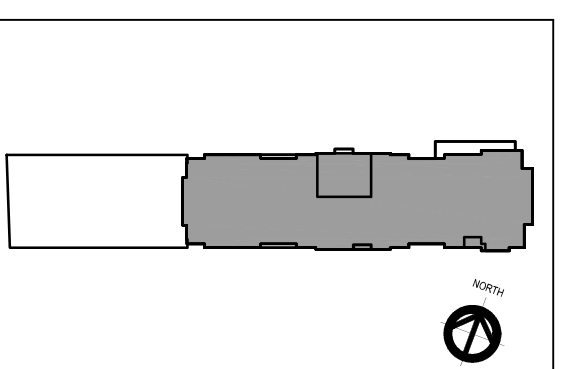
3	REVISED FOR STRUCTURAL COORDINATION	1.26.2022
2	REVISED PER CITY COMMENTS	12.09.2021
1	ISSUED FOR DEVELOPMENT PERMIT	11.04.2021
No.	Revision/Issue	Date mm.d4.yyyy

Pacific Coast
 Architecture Inc.
 501-2292 Production Way
 Burnaby, B.C.
 Canada, V5A 1R3
 office: 303.368.7317
 fax: 303.320.9559

PROPOSED SIGNATURE HOTEL
 2706 GOVERNMENT STREET
 VICTORIA BRITISH COLUMBIA

HOTEL FOURTH FLOOR PLAN	
Scale	1/8" = 1'-0"
Date	April 20th, 2021
Drawn	J.Mutis
Checked	P.Kwassnicky
A-1.05	
R	

The drawings and design are used and shall in all times remain the property of Pacific Coast Architecture Inc. and cannot be used or reproduced in any form without written consent.
 We warrant dimensions shall have precedence over verbal dimensions. Contractors shall verify and shall be responsible for dimensions and conditions on the job, and the Architect shall be relieved of any liability from the dimensions and conditions as shown on the drawings.



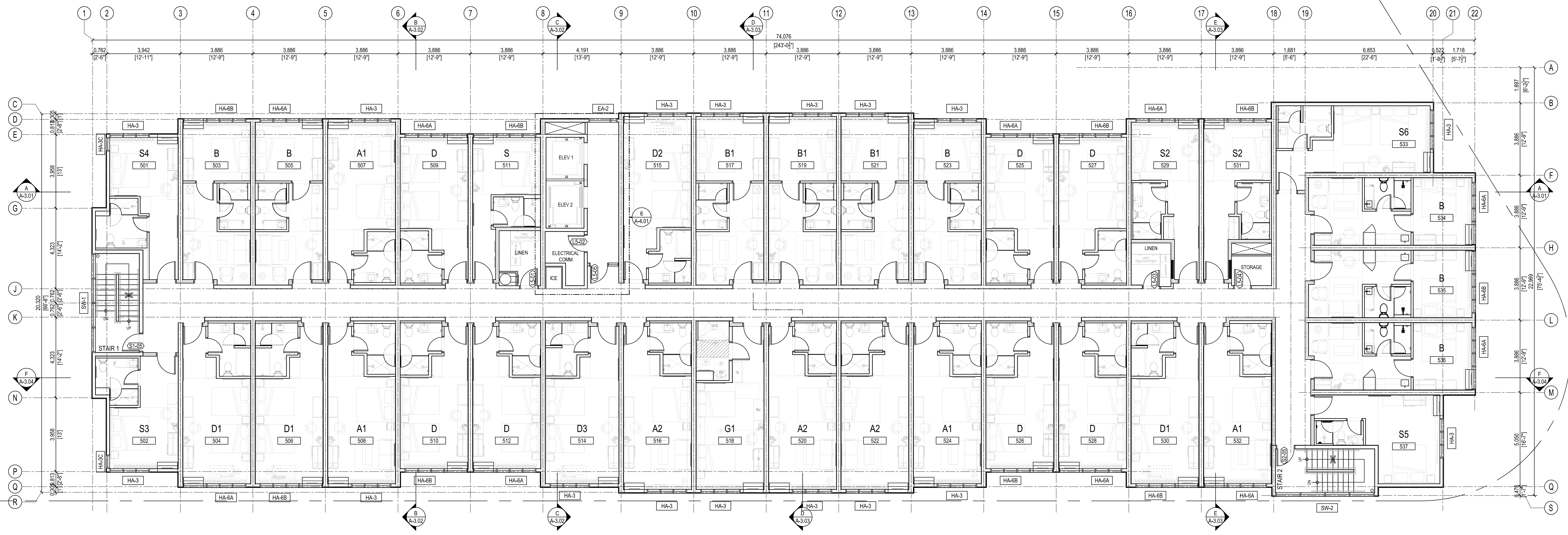
JUNE 20th, 2021

3	REVISED FOR STRUCTURAL COORDINATION	1.26.2022
2	REVISED PER CITY COMMENTS	12.09.2021
1	ISSUED FOR DEVELOPMENT PERMIT	11.04.2021
No.	Revision/Issue	Date mm.d4.yyyy

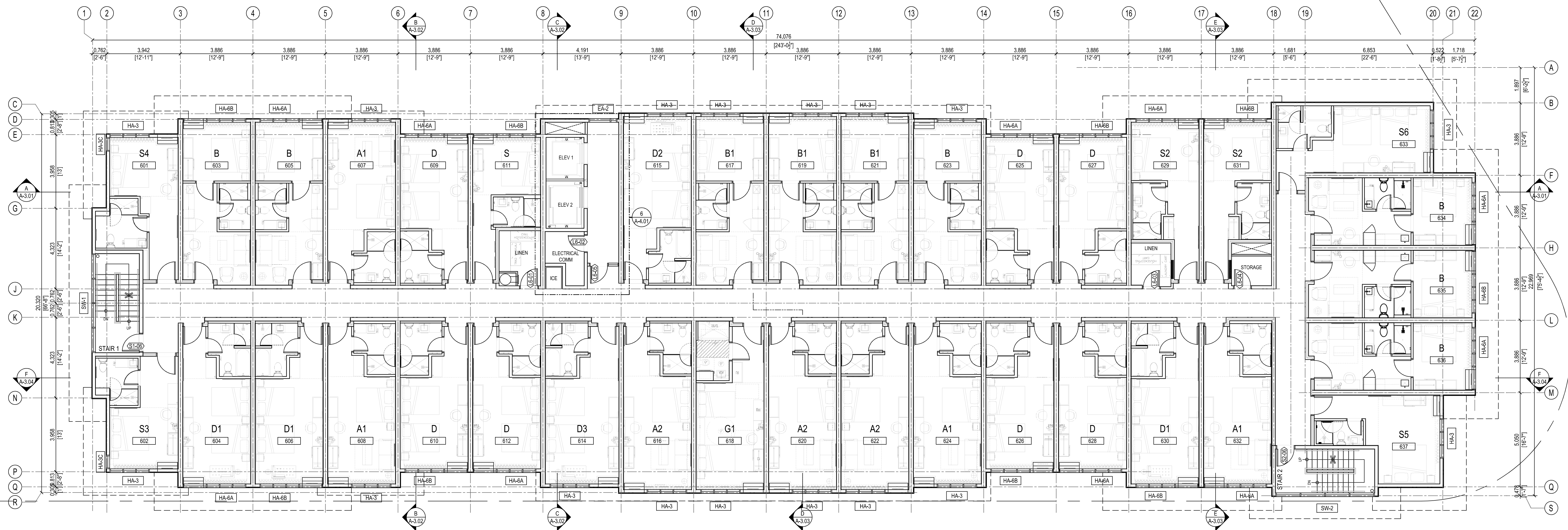
Pacific Coast
 Architecture Inc.
 501-3292 Production Way
 Burnaby, B.C.
 Canada, V5A 1R3
 office: 303.368.7317
 fax: 303.320.9559

PROPOSED SIGNATURE HOTEL
 2706 GOVERNMENT STREET
 VICTORIA BRITISH COLUMBIA

HOTEL FIFTH FLOOR PLAN	
Scale	1/8" = 1'-0"
Date	April 20th, 2021
Drawn	J.Mutis
Checked	P.Kwassnicky
A-1.06	
R	

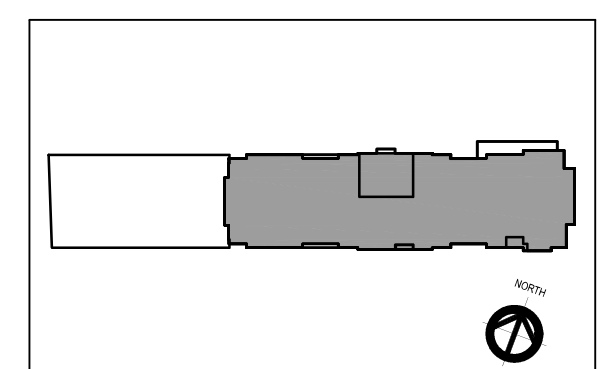


1 HOTEL FIFTH FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 AREA: 15,365.96 SQFT



1 HOTEL SIXTH FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 AREA: 15,385.96 SQFT

The drawings and design are used and shall in all times remain the property of Pacific Coast Architecture Inc. and cannot be used or reproduced in any manner without written consent.
 While dimensions shall take precedence over verbal dimensions, Contractors shall verify and shall be responsible for dimensions and conditions on the job, and the Architect shall be relieved of any liability from the dimensions and conditions as shown on the drawings.



KEY PLAN
 NORTH
 PROJECT NORTH



JUNE 20th, 2022

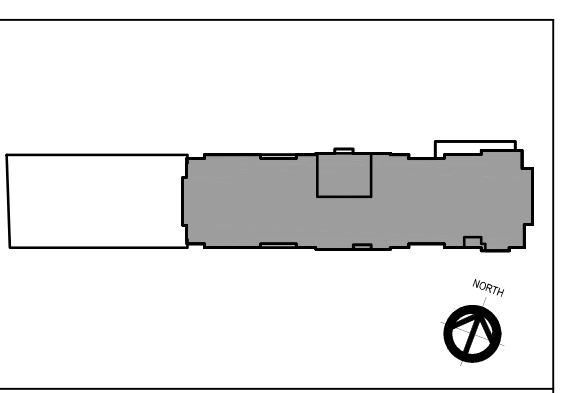
3	REVISED FOR STRUCTURAL COORDINATION	1.26.2022
2	REVISED PER CITY COMMENTS	12.09.2021
1	ISSUED FOR DEVELOPMENT PERMIT	11.04.2021
No.	Revision/Issue	Date mm.d4.yyyy

Pacific Coast
 Architecture Inc.
 501-2292 Production Way
 Burnaby, B.C.
 Canada, V5A 1R3
 office: 303.368.7317
 fax: 303.320.9559

PROPOSED SIGNATURE HOTEL
 2706 GOVERNMENT STREET
 VICTORIA BRITISH COLUMBIA

HOTEL SIXTH FLOOR PLAN	
Scale	1/8" = 1'-0"
Date	April 20th, 2021
Drawn	J.Mulis
Checked	P.Kwassnicky
A-1.07	
R	

The drawings and design are used and shall in all cases remain the property of Northland Properties Inc. and cannot be reproduced in any form without written consent.
 Where dimensions shall have precedence over verbal dimensions, Contractors shall verify and shall be responsible for dimensions and conditions on the job, and the Architect shall be relieved of any liability from the dimensions and conditions as shown on the drawings.



KEY PLAN
 NORTH
 PROJECT NORTH

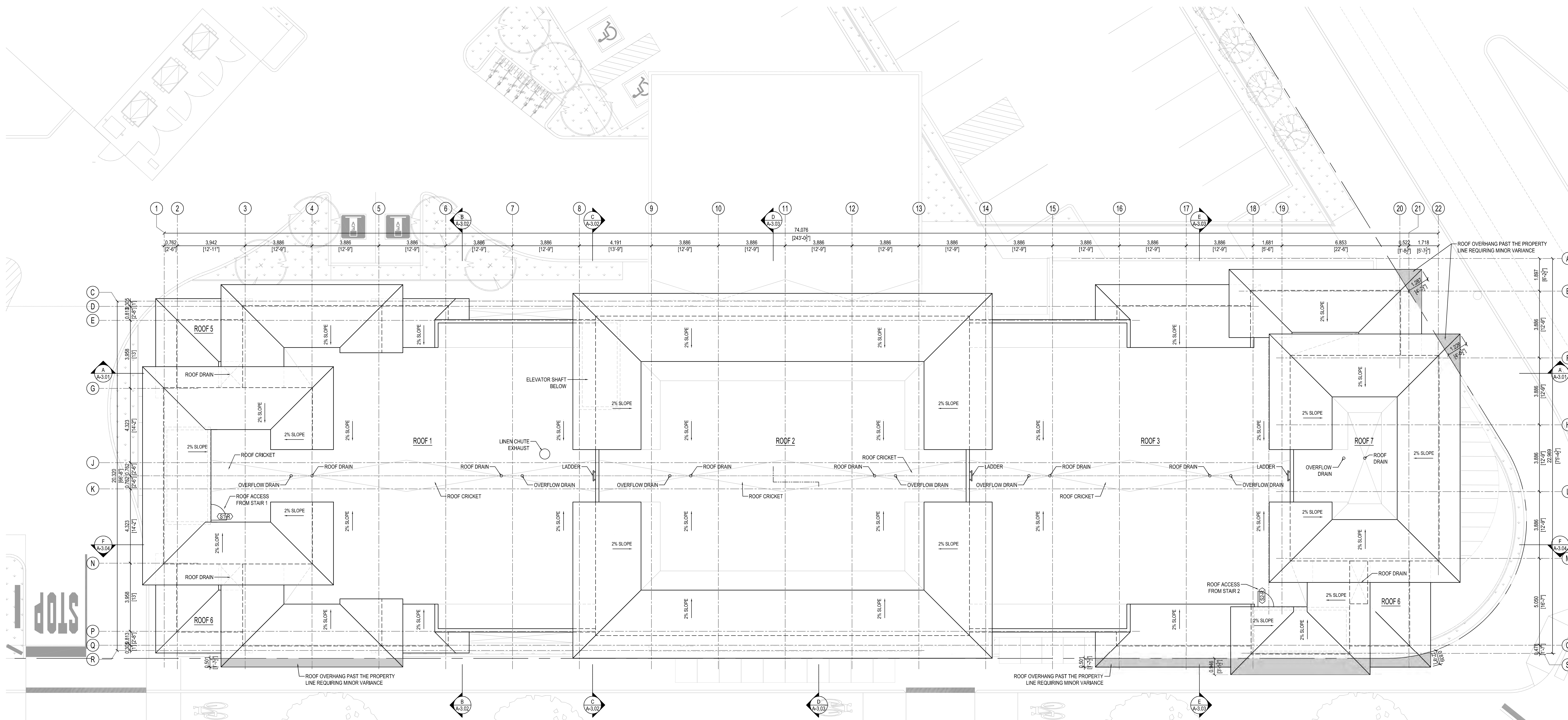


JUNE 28th, 2022

3	REVISED FOR STRUCTURAL COORDINATION	1.26.2022
2	REVISED RESTAURANT	11.24.2021
1	ISSUED FOR DEVELOPMENT PERMIT	11.04.2021
No.	Revision/Issue	Date mm.d4.yyyy

PROPOSED SIGNATURE HOTEL
 2706 GOVERNMENT STREET
 VICTORIA BRITISH COLUMBIA

HOTEL ROOF PLAN	
Scale	1/8" = 1'-0"
Date	April 20th, 2021
Drawn	J.Muirs
Checked	P.Kwasnicky
A-1.08	
R	

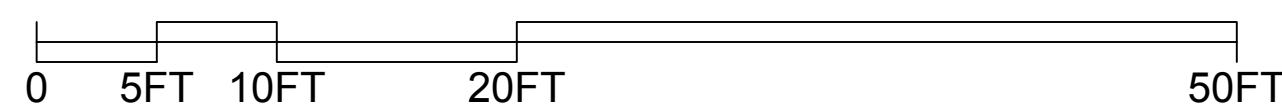


HOTEL ROOF PLAN
 SCALE: 1/8" = 1'-0"

ROOF 1:	4,734.68 SQFT
ROOF 2:	4,347.73 SQFT
ROOF 3:	4,347.38 SQFT
ROOF 4:	1,119.75 SQFT
ROOF 5:	162.30 SQFT
ROOF 6:	162.30 SQFT
ROOF 7:	169.43 SQFT
OVERALL AREA:	15,043.58 SQFT



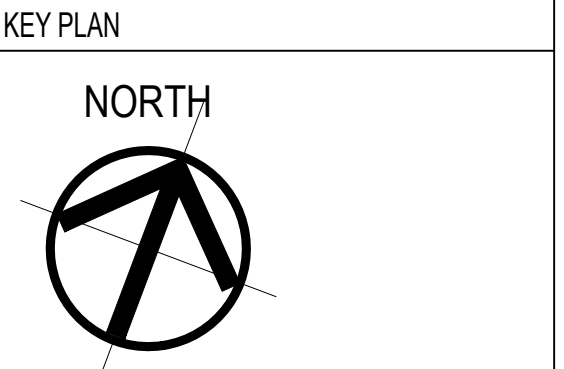
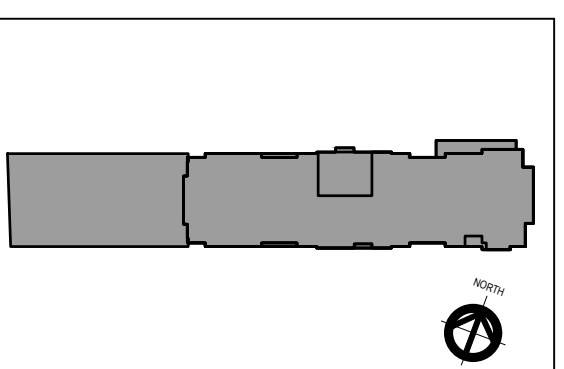
1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



VICTORIA EXTERIOR FINISHES

- H1 PAINTED HIGH DENSITY COMPOSITE PANELS
C/W REVEALS 'PEARL GRAY'
- H2 PAINTED HIGH DENSITY COMPOSITE PANELS
C/W REVEALS 'AGED PEWTER'
- H3 PAINTED HIGH DENSITY COMPOSITE PANELS
C/W REVEALS 'RICH ESPRESSO'
- H4 PAINTED HIGH DENSITY COMPOSITE PANELS
C/W REVEALS BENJAMIN MOORE BLACK JACK 2133-20
- H5 BRICK VENEER SYSTEM - RUNNING BOND
COLOR: 'IRONSTONE' MD 2140
- H6 CLEAR GLASS WINDOW IN BLACK ALUMINUM FRAME
- H7 CLEAR GLAZED DOOR IN BLACK ALUM FRAME
- H8 UP / DOWN LIGHT
- H9 ILLUMINATED SIGNAGE - SEPARATE SIGNAGE
PERMITS ARE REQUIRED. SEE A-2.04 FOR DETAILS
- H10 A/C UNIT COVERS PAINTED TO MATCH
SURROUNDING WALL
- H11 PERFORATED 'LUX' METAL WOOD PRINT SOFFIT
COLOR 1406/01-716 'LIGHT CHERRY'
- H12 'LUX' METAL WOOD PRINT SIDING
COLOR 1406/01-716 'LIGHT CHERRY'
- H13 NATURAL CONCRETE FINISH
- H14 METAL CAP FLASHING PAINTED COLOR
TO MATCH SURROUNDING WALL
- F9 PAINTED METAL "C" CHANNEL AWNING
COLOR: BENJAMIN MOORE BLACK JACK 2133-20
- F10 GLASS GUARDRAIL

This drawing and design are and shall be the property of Pacific Coast Architecture Inc. and cannot be used or reproduced in any manner without written consent. Written dimensions shall have precedence over scaled dimensions. Contractors shall verify, and shall be responsible for dimensions and conditions on the job and the Architect shall be relieved of any variation from the dimensions and conditions as shown on this drawing.



4	REVISED FOR STRUCTURAL COORDINATION	5.24.2023
3	REVISED FOR STRUCTURAL COORDINATION	1.26.2022
2	REVISED PER CITY COMMENTS	12.09.2021
1	ISSUED FOR DEVELOPMENT PERMIT	11.04.2021
No.	Revision/Issue	Date mm.dd.yyyy

Pacific Coast
Architecture Inc.
501-2292 Production Way
Burnaby, B.C.
Canada, V5H 3R3
office: 303.368.7317
fax: 303.320.9559

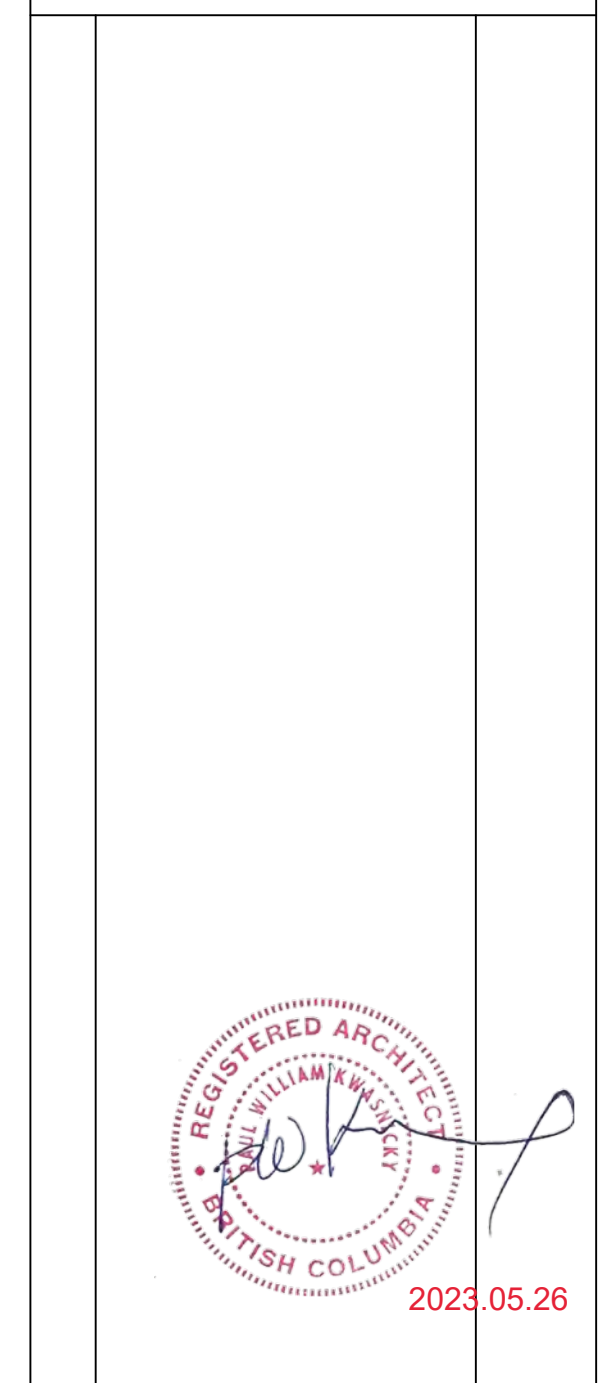
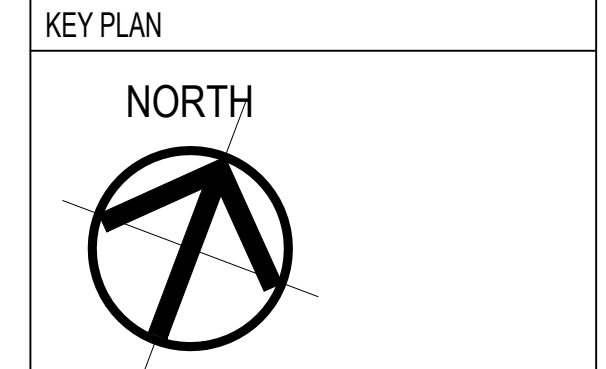
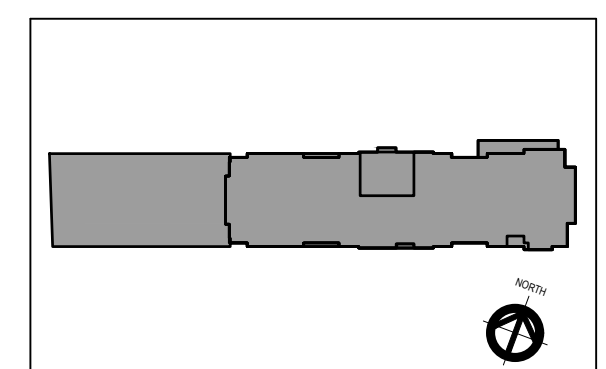
PROPOSED SIGNATURE HOTEL
2706 GOVERNMENT STREET
VICTORIA BRITISH COLUMBIA

SOUTH ELEVATION

Scale 1/8" = 1'-0"
Date April 20th, 2021
Drawn T.Ng
Checked P.Kwassnicky

A-2.01
R

This drawing and all other drawings are the property of Pacific Coast Architecture Inc. and cannot be used or reproduced in any manner without written consent. Written dimensions shall have precedence over verbal dimensions. Contractors shall verify and shall be responsible for dimensions and conditions on the job and the architect shall be relieved of any variation from the dimensions and conditions as shown on this drawing.

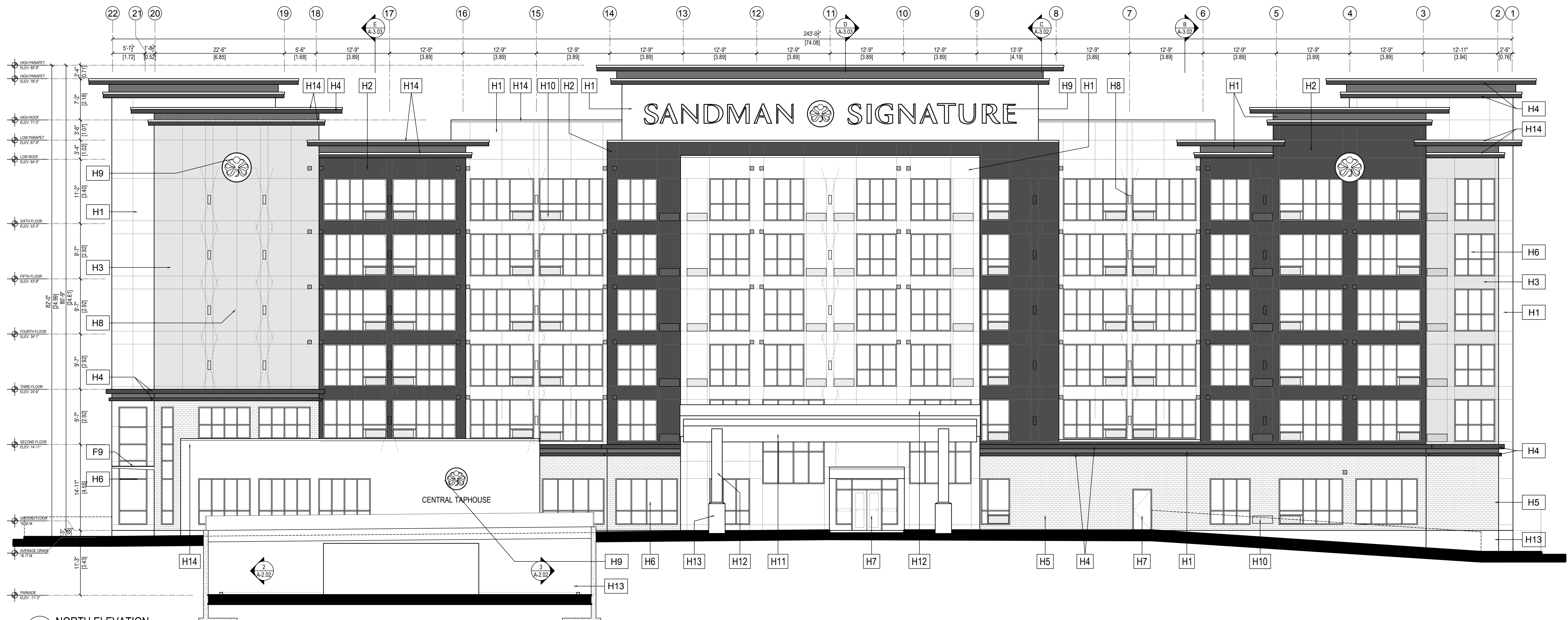


5	REVISED FOR STRUCTURAL COORDINATION	5.24.2023
4	REVISED FOR STRUCTURAL COORDINATION	1.26.2022
3	REVISED PER CITY COMMENTS	12.09.2021
2	REVISED RESTAURANT	11.24.2021
1	ISSUED FOR DEVELOPMENT PERMIT	11.04.2021
No.	Revision/Issue	Date mm.dd.yyyy

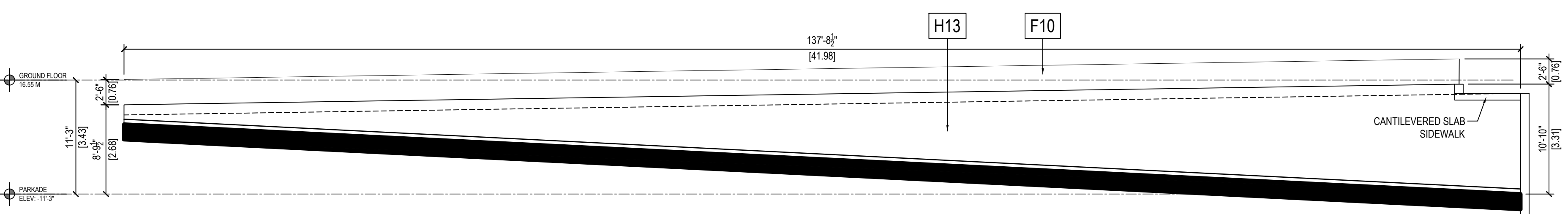
Pacific Coast Architecture Inc.
 501-2292 Production Way
 Burnaby, B.C.
 Canada, V5A 3K3
 office: 303.268.7317
 fax: 303.320.9559

PROPOSED SIGNATURE HOTEL
 2706 GOVERNMENT STREET
 VICTORIA BRITISH COLUMBIA

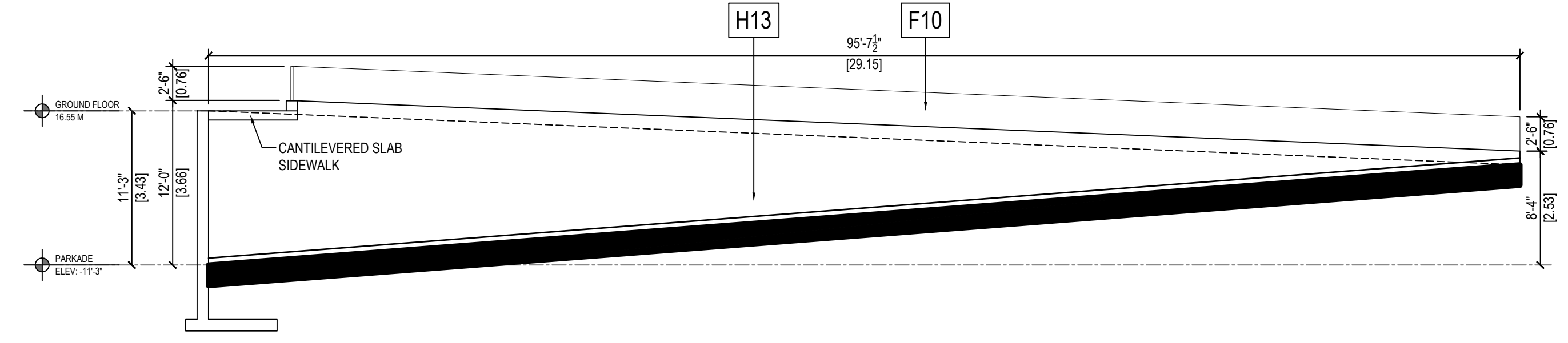
NORTH ELEVATION	
Scale	1/8" = 1'-0"
Date	April 20th, 2021
Drawn	T.Ng
Checked	P.Kwasnicky
A-2.02	
R	



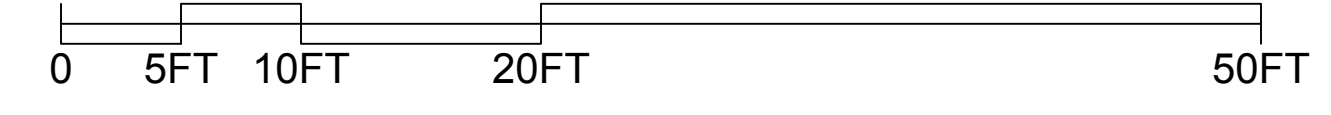
1 NORTH ELEVATION
 A-2.02 SCALE: 1/8" = 1'-0"



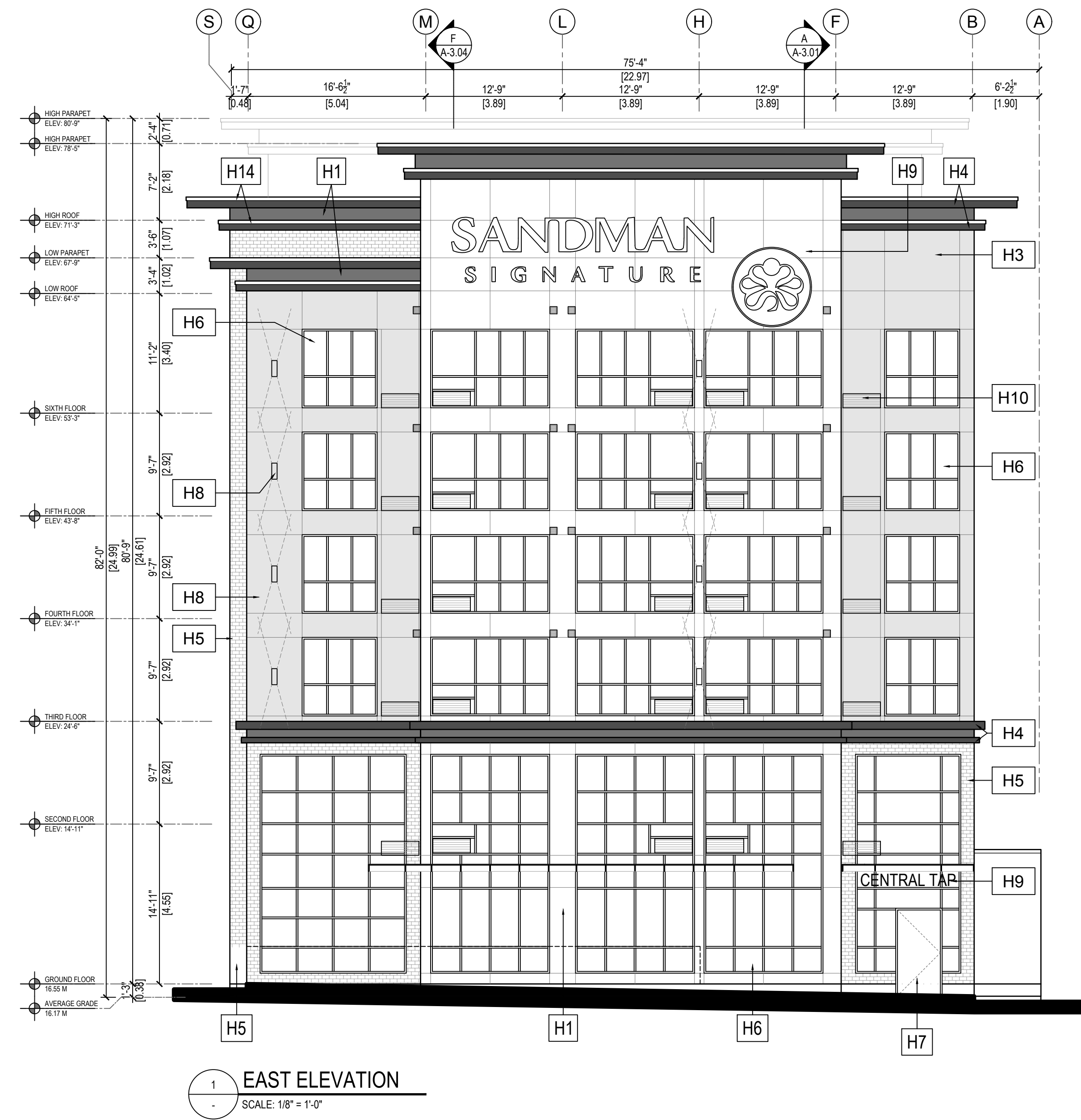
2 WEST RETAINING WALL
 A-2.02 SCALE: 1/8" = 1'-0"



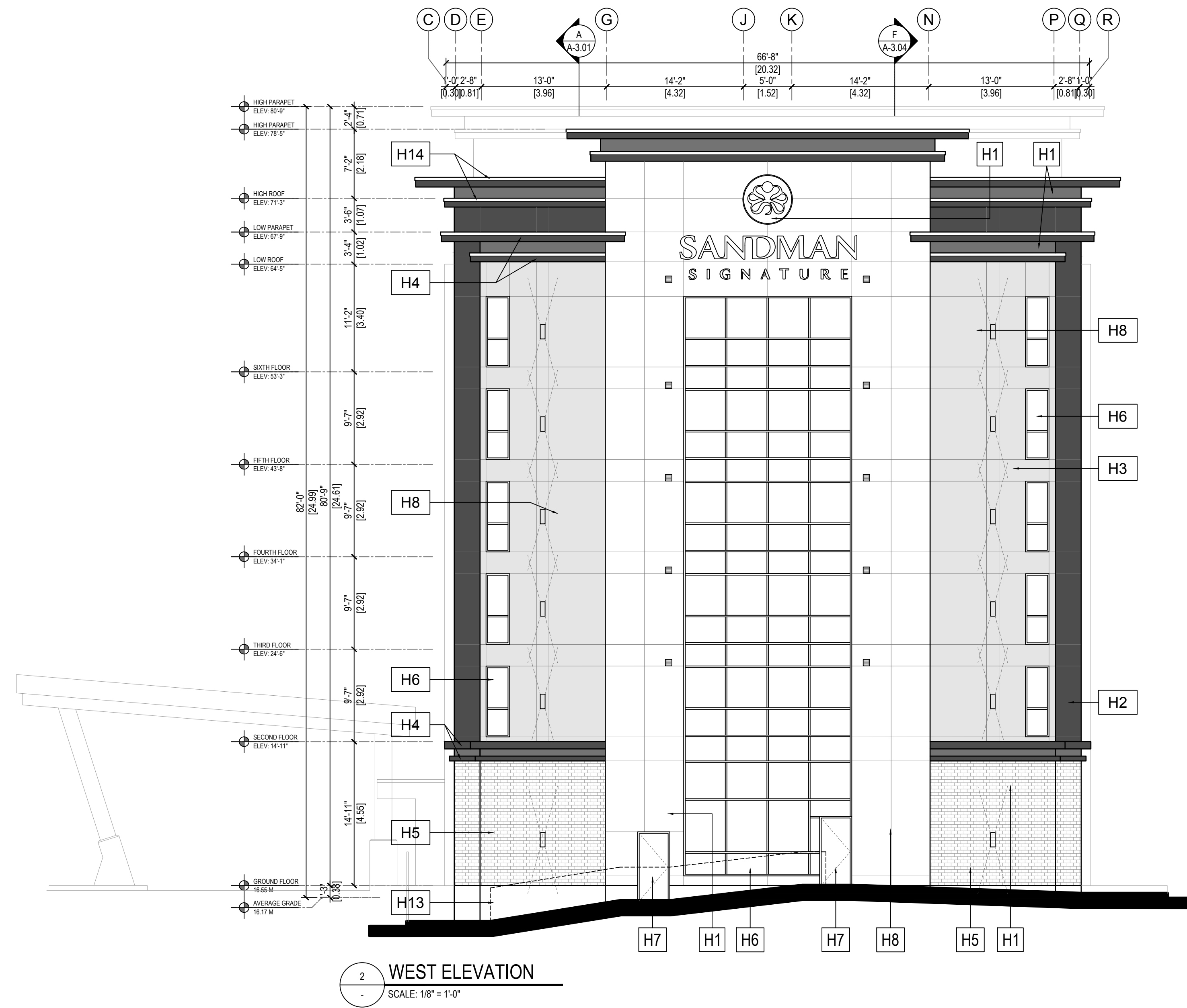
3 EAST RETAINING WALL
 A-2.02 SCALE: 1/8" = 1'-0"



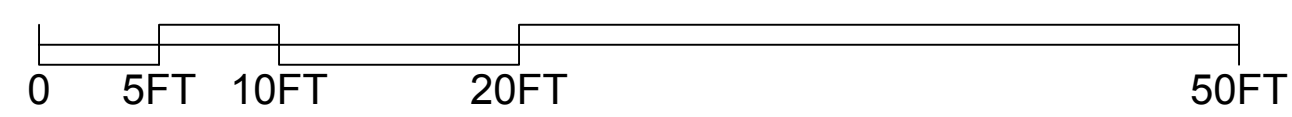
VICTORIA EXTERIOR FINISHES	
H1	PAINTED HIGH DENSITY COMPOSITE PANELS C/W REVEALS 'PEARL GRAY'
H2	PAINTED HIGH DENSITY COMPOSITE PANELS C/W REVEALS 'AGED PEWTER'
H3	PAINTED HIGH DENSITY COMPOSITE PANELS C/W REVEALS 'RICH ESPRESSO'
H4	PAINTED HIGH DENSITY COMPOSITE PANELS C/W REVEALS BENJAMIN MOORE BLACK JACK 2133-20
H5	BRICK VENEER SYSTEM - RUNNING BOND COLOR: 'IRONSTONE' MD 2140
H6	CLEAR GLASS WINDOW IN BLACK ALUMINUM FRAME
H7	CLEAR GLAZED DOOR IN BLACK ALUM FRAME
H8	UP / DOWN LIGHT
H9	ILLUMINATED SIGNAGE - SEPARATE SIGNAGE PERMITS ARE REQUIRED. SEE A-2.04 FOR DETAILS
H10	A/C UNIT COVERS PAINTED TO MATCH SURROUNDING WALL
H11	PERFORATED 'LUX' METAL WOOD PRINT SOFFIT COLOR 1406/01-716 'LIGHT CHERRY'
H12	'LUX' METAL WOOD PRINT SIDING COLOR 1406/01-716 'LIGHT CHERRY'
H13	NATURAL CONCRETE FINISH
H14	METAL CAP FLASHING PAINTED COLOR TO MATCH SURROUNDING WALL
F9	PAINTED METAL "C" CHANNEL AWNING COLOR: BENJAMIN MOORE BLACK JACK 2133-20
F10	GLASS GUARDRAIL



1 EAST ELEVATION
SCALE: 1/8" = 1'-0"

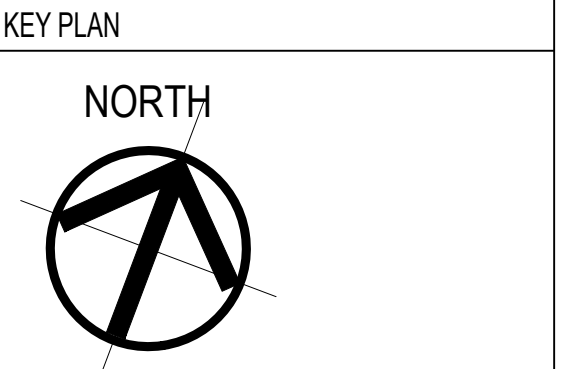
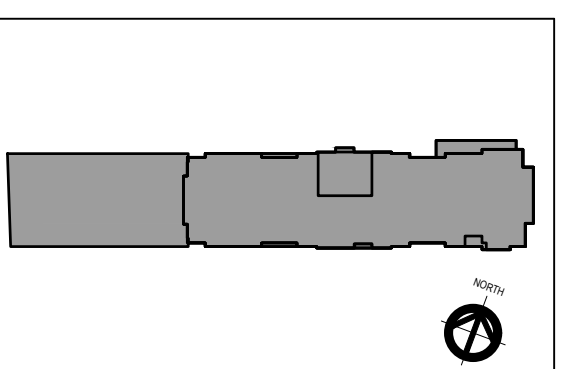


2 WEST ELEVATION
SCALE: 1/8" = 1'-0"



VICTORIA EXTERIOR FINISHES	
H1	PAINTED HIGH DENSITY COMPOSITE PANELS C/W REVEALS 'PEARL GRAY'
H2	PAINTED HIGH DENSITY COMPOSITE PANELS C/W REVEALS 'AGED PEWTER'
H3	PAINTED HIGH DENSITY COMPOSITE PANELS C/W REVEALS 'RICH ESPRESSO'
H4	PAINTED HIGH DENSITY COMPOSITE PANELS C/W REVEALS BENJAMIN MOORE BLACK JACK 2133-20
H5	BRICK VENEER SYSTEM - RUNNING BOND COLOR: 'IRONSTONE' MD 2140
H6	CLEAR GLASS WINDOW IN BLACK ALUMINUM FRAME
H7	CLEAR GLAZED DOOR IN BLACK ALUM FRAME
H8	UP / DOWN LIGHT
H9	ILLUMINATED SIGNAGE - SEPARATE SIGNAGE PERMITS ARE REQUIRED. SEE A-2.04 FOR DETAILS
H10	A/C UNIT COVERS PAINTED TO MATCH SURROUNDING WALL
H11	PERFORATED 'LUX' METAL WOOD PRINT SOFFIT COLOR 1406/01-716 'LIGHT CHERRY'
H12	'LUX' METAL WOOD PRINT SIDING COLOR 1406/01-716 'LIGHT CHERRY'
H13	NATURAL CONCRETE FINISH
H14	METAL CAP FLASHING PAINTED COLOR TO MATCH SURROUNDING WALL
F9	PAINTED METAL "C" CHANNEL AWNING COLOR: BENJAMIN MOORE BLACK JACK 2133-20
F10	GLASS GUARDRAIL

This drawing and design are the property of Pacific Coast Architecture Inc. and cannot be used or reproduced in any manner without written consent. Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and shall be responsible for dimensions and conditions on the job and the Architect shall be relieved of any variation from the dimensions and conditions as shown on this drawing.



REGISTERED ARCHITECT
BRITISH COLUMBIA
2023.05.26

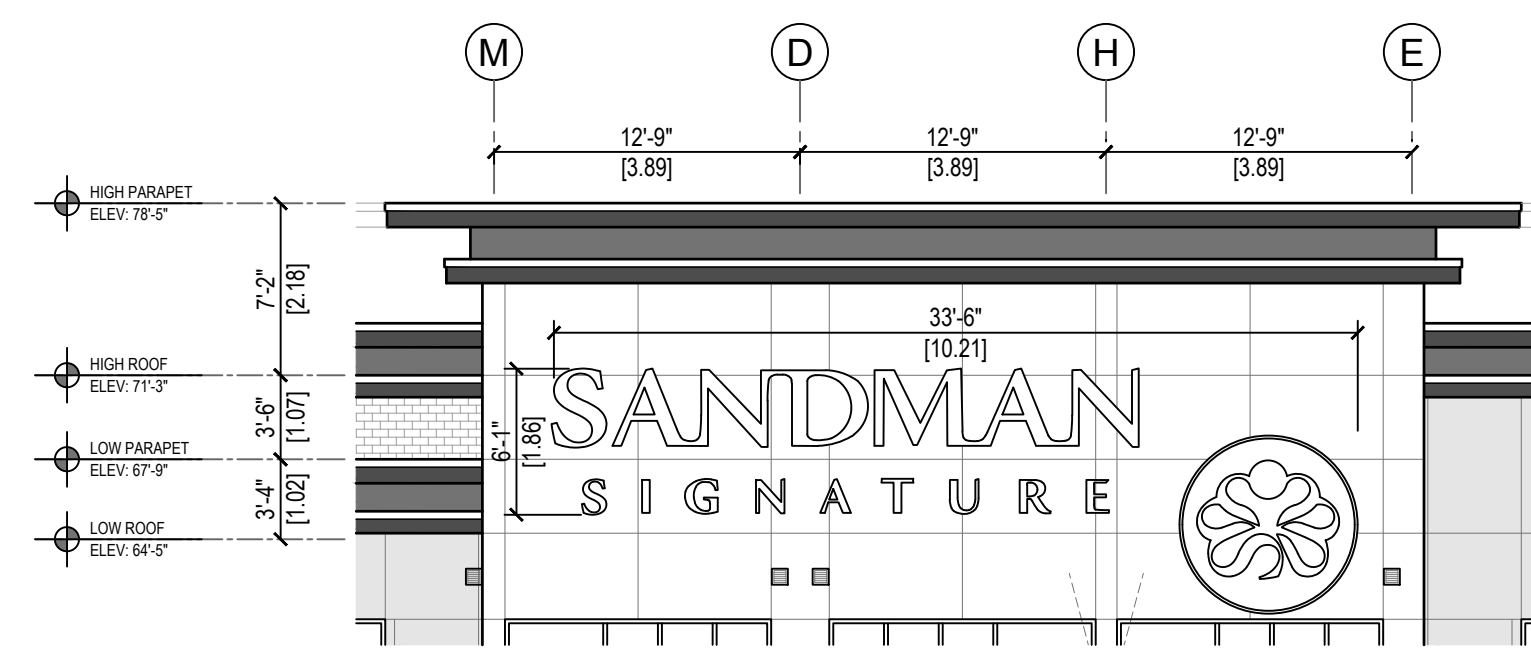
No.	Revision/Issue	Date mm.dd.yyyy
4	REVISED FOR STRUCTURAL COORDINATION	5.24.2023
3	REVISED FOR STRUCTURAL COORDINATION	1.26.2022
2	REVISED PER CITY COMMENTS	12.09.2021
1	ISSUED FOR DEVELOPMENT PERMIT	11.04.2021

Pacific Coast
Architecture Inc.
501-2221 Production Way
Burnaby, B.C.
Canada, V5H 3R3
office: 303.368.7317
fax: 303.320.9559

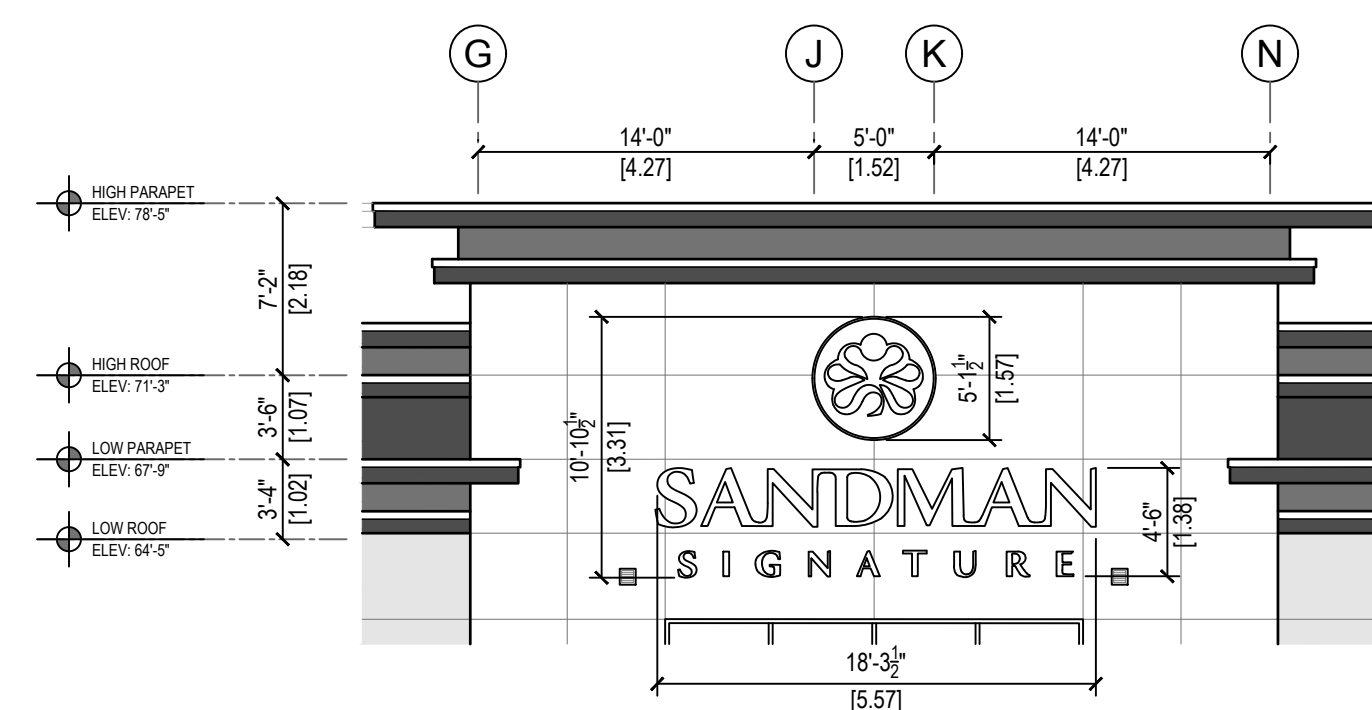
PROPOSED SIGNATURE HOTEL
2706 GOVERNMENT STREET
VICTORIA BRITISH COLUMBIA

EAST & WEST ELEVATIONS	
Scale	1/8" = 1'-0"
Date	April 20th, 2021
Drawn	T.Ng
Checked	P.Kwassnicky

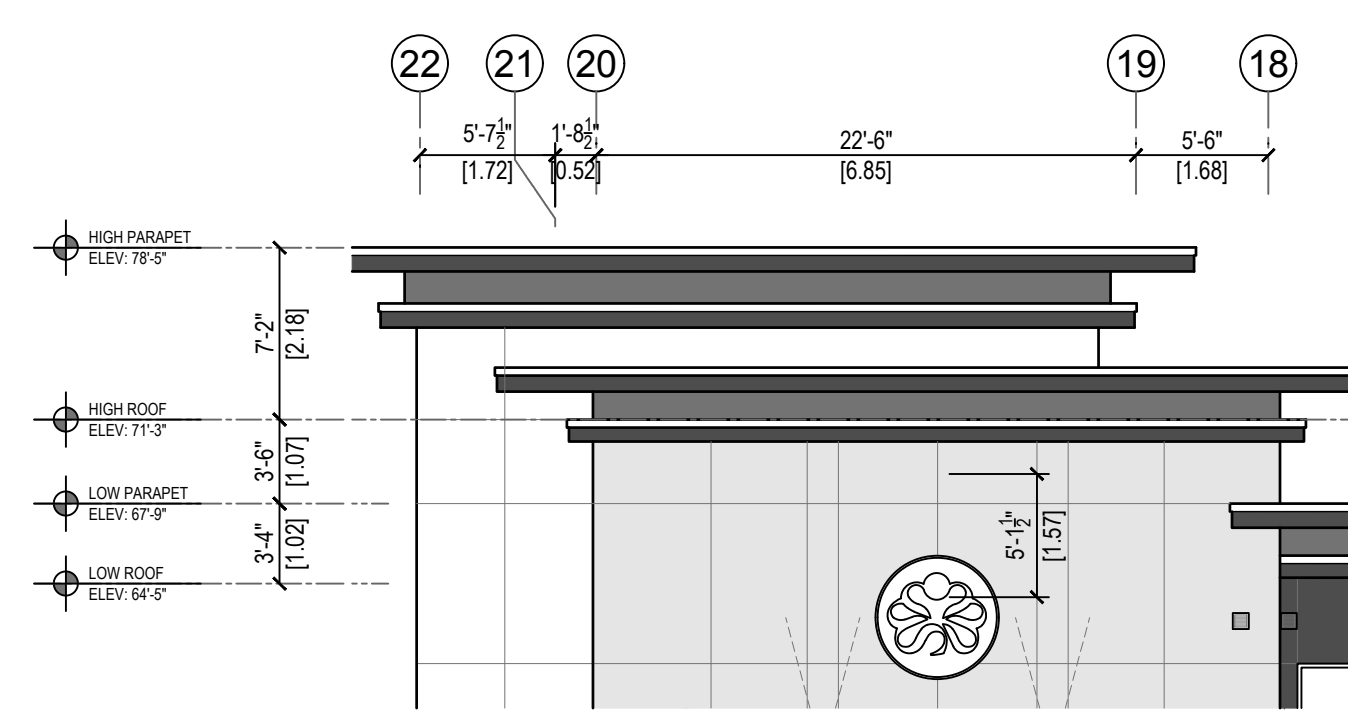
A-2.03
R



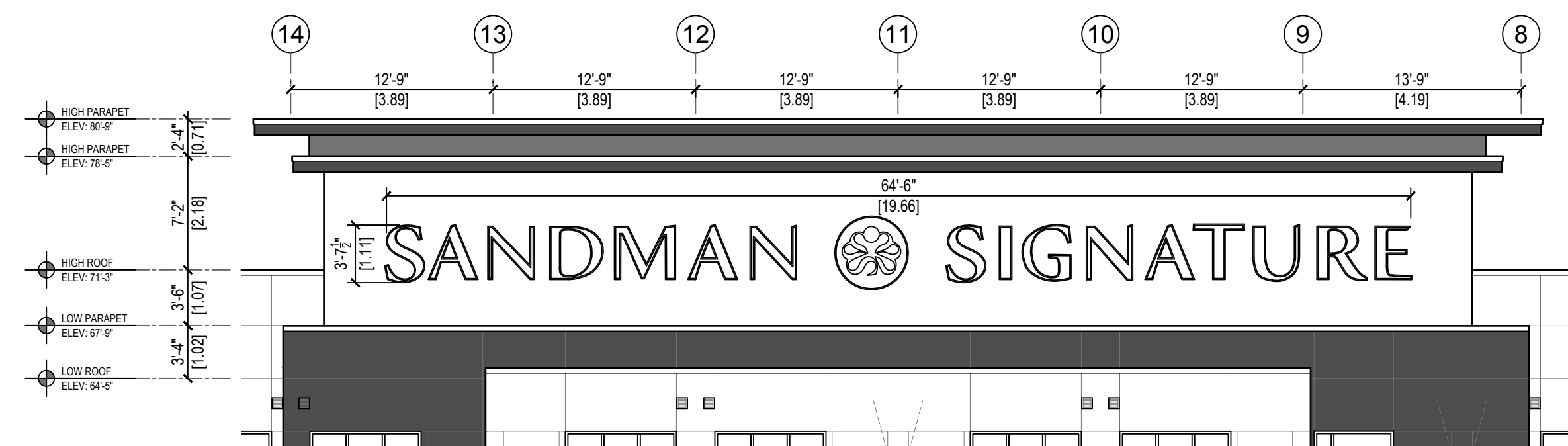
1 EAST ELEVATION
SCALE: 1/8" = 1'-0"



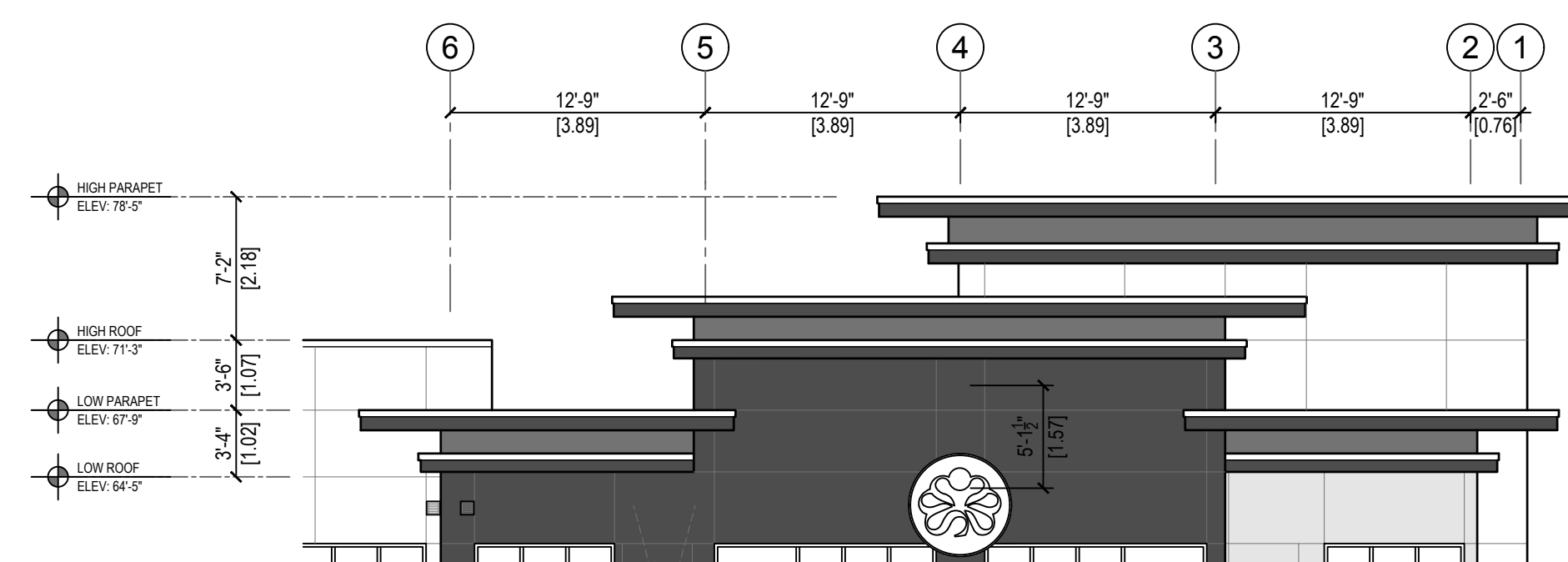
2 WEST ELEVATION
SCALE: 1/8" = 1'-0"



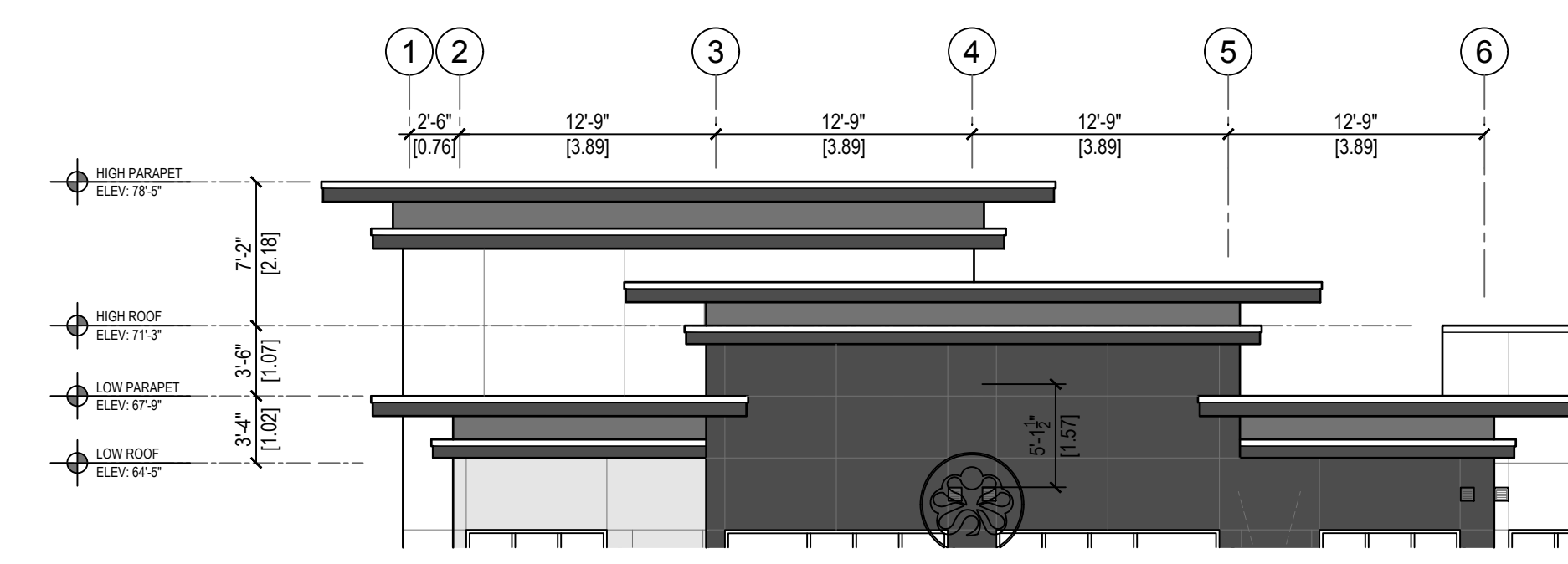
3 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



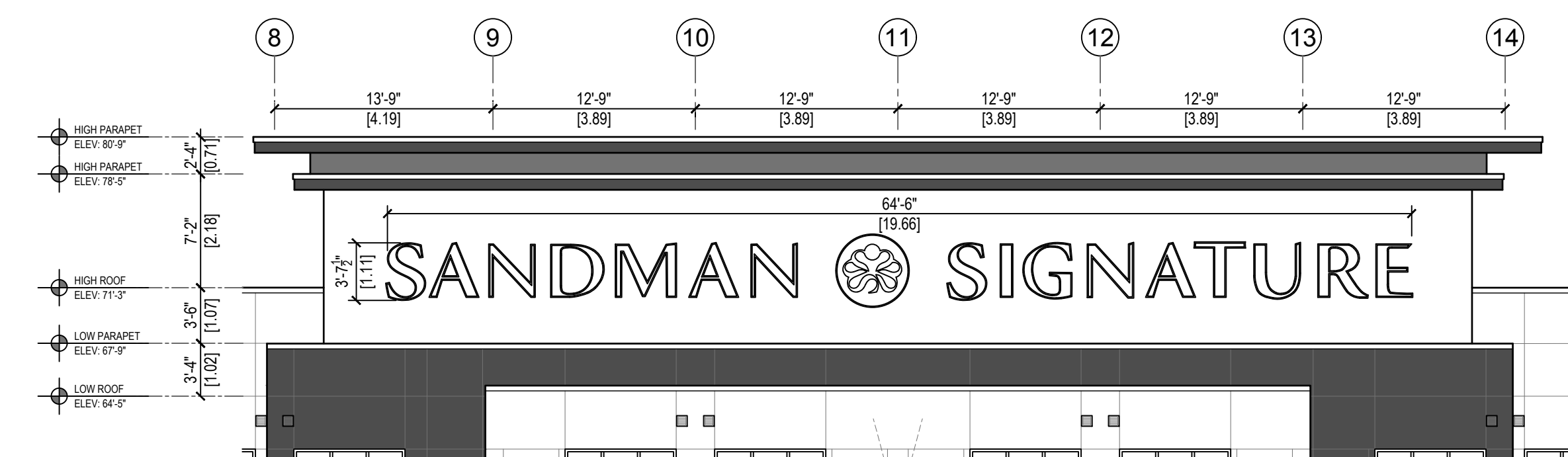
4 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



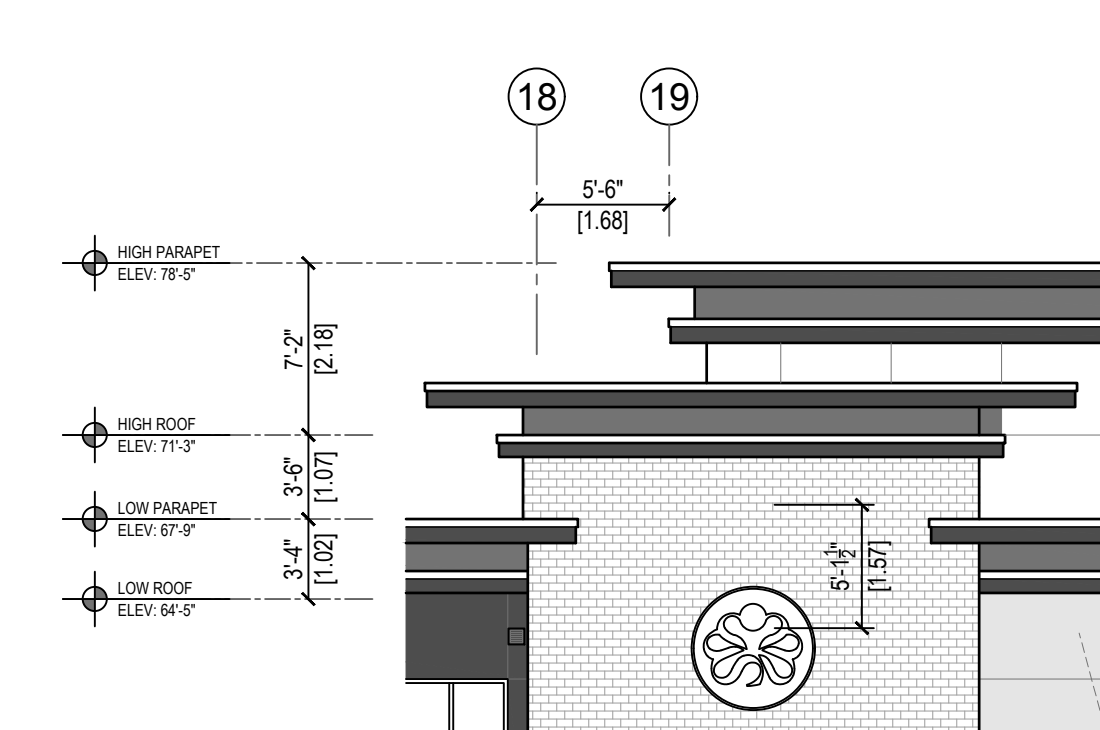
5 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



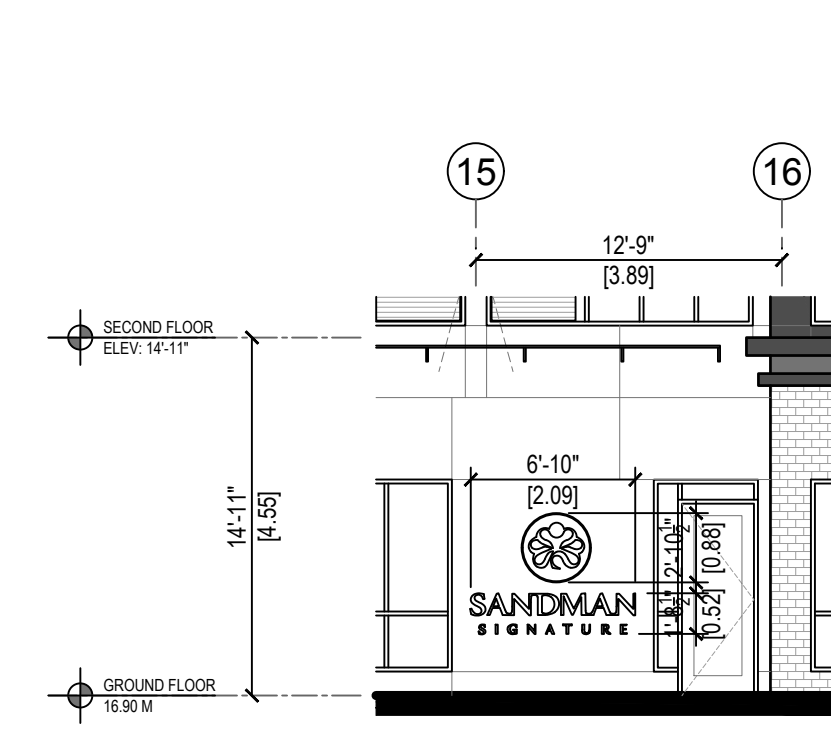
6 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



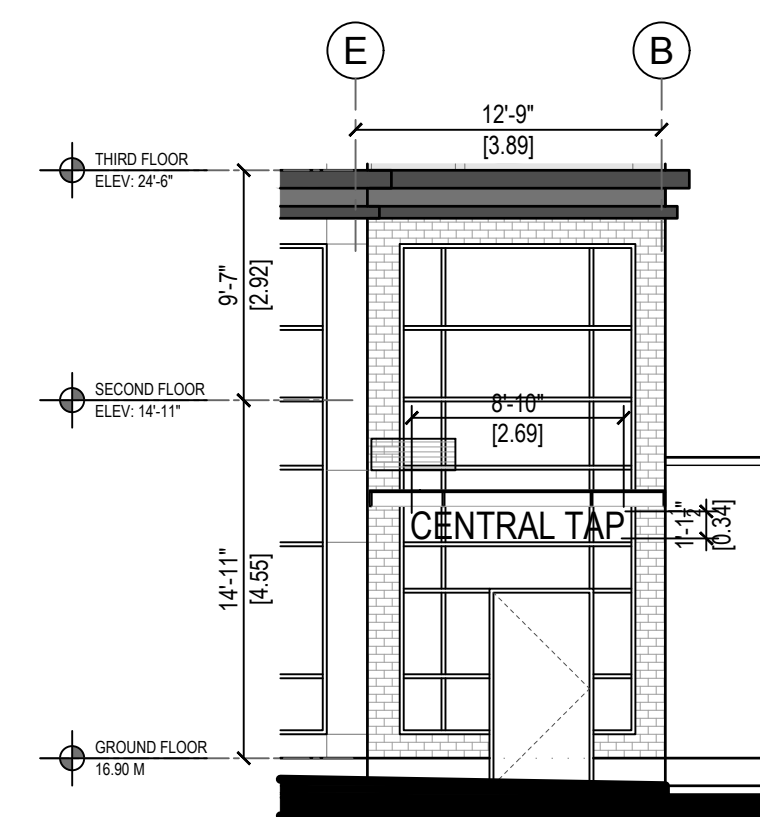
7 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



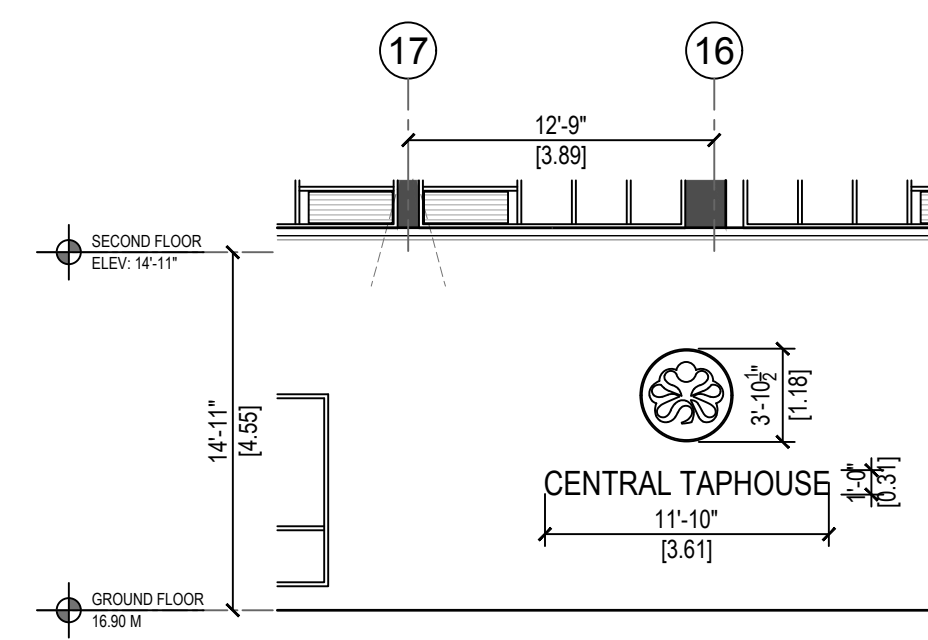
8 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



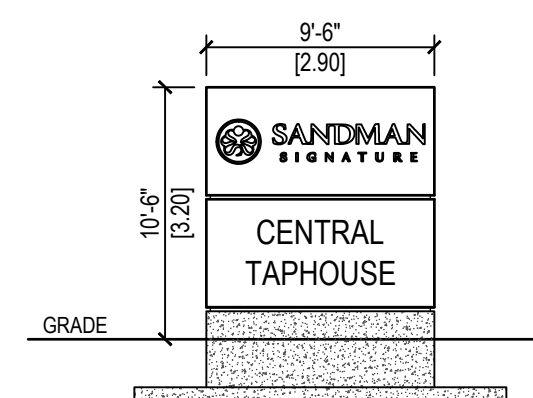
9 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



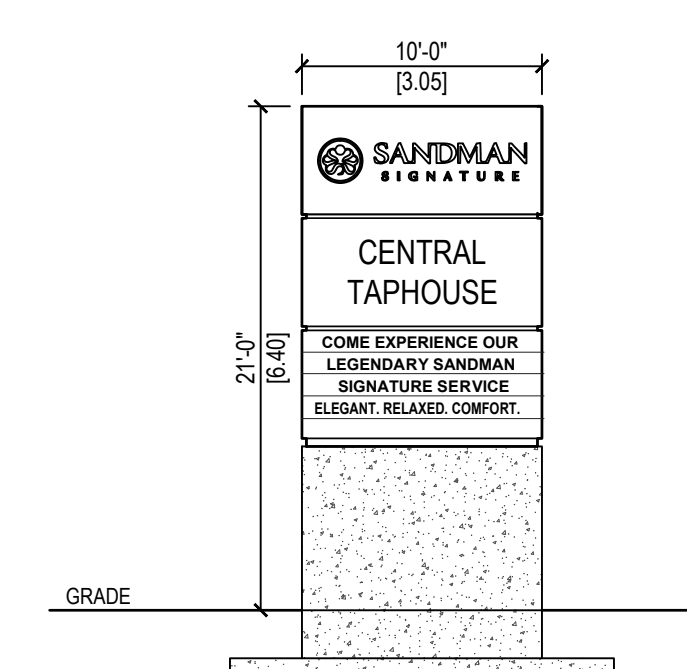
11 EAST ELEVATION
SCALE: 1/8" = 1'-0"



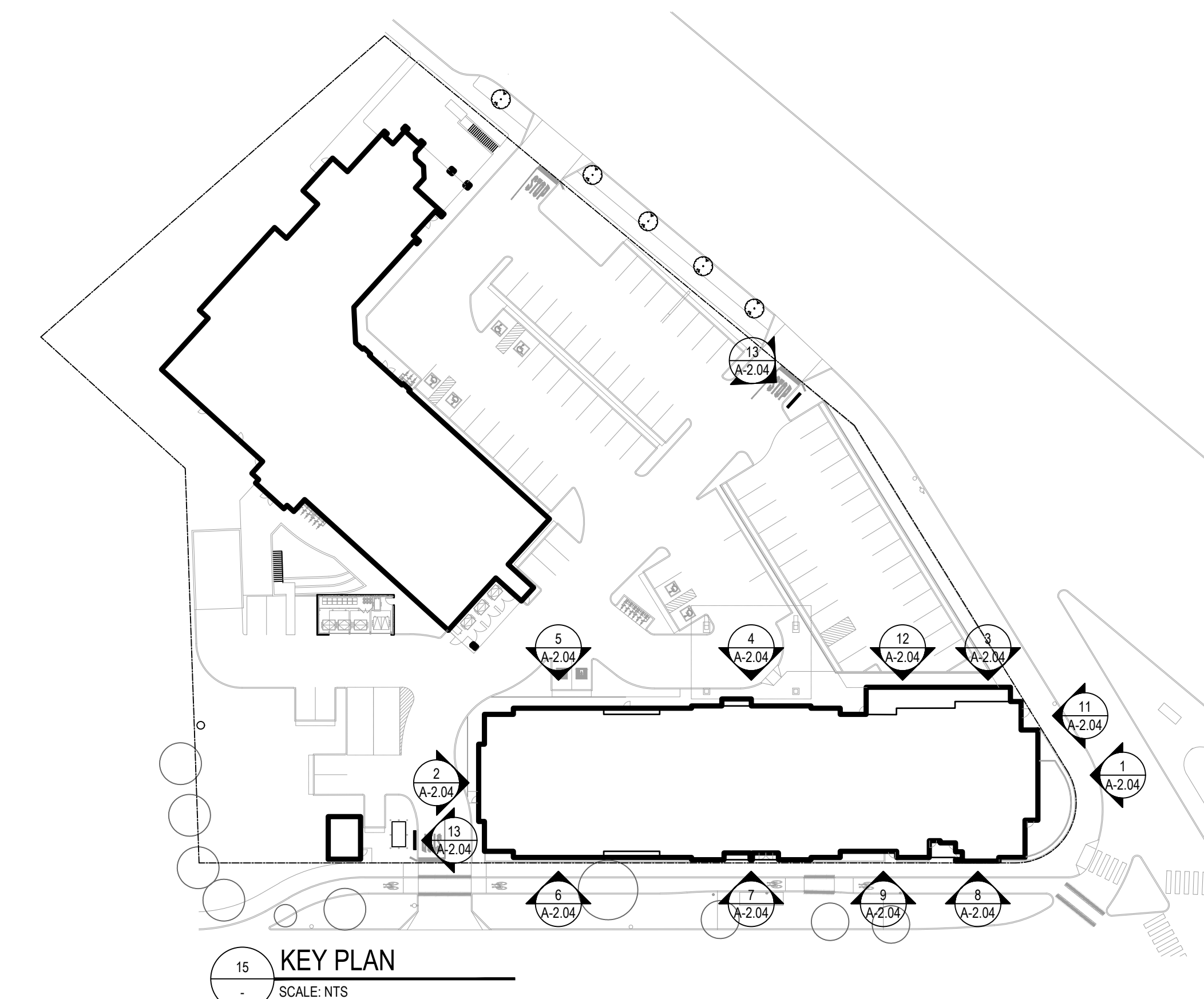
12 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



13 MONUMENT SIGN
SCALE: 1/8" = 1'-0"

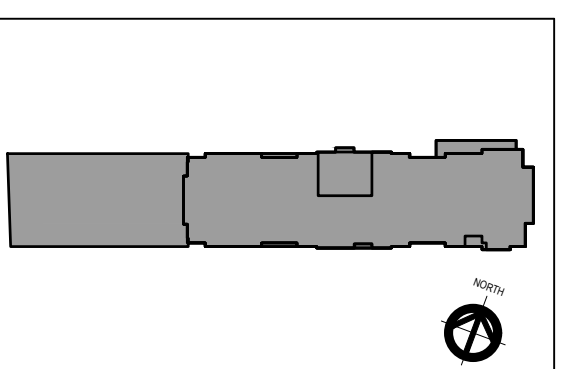


14 PYLON SIGN
SCALE: 1/8" = 1'-0"

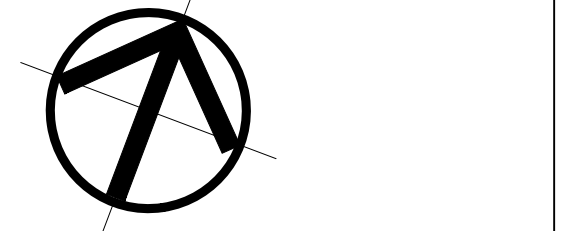


15 KEY PLAN
SCALE: NTS

This drawing and all other drawings are the property of Pacific Coast Architecture Inc. and cannot be used or reproduced in any manner without written consent. Written dimensions shall prevail over scaled dimensions. Contractors shall verify and shall be responsible for dimensions and conditions on the job and the Architect shall be relieved of any variations from the dimensions and conditions as shown in this drawing.



KEY PLAN



NORTH



3	REVISED PER STRUCTURAL COORDINATION	5/24/2023
2	REVISED PER CITY COMMENTS	12/09/2021
1	ISSUED FOR DEVELOPMENT PERMIT	11/04/2021
No.	Revision/Issue	Date mm.dd.yyyy

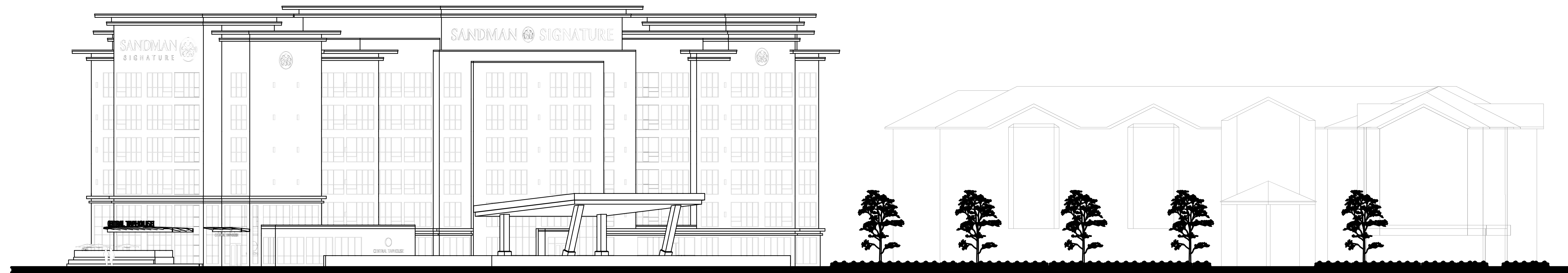
Pacific Coast Architecture Inc.
501-2292 Production Way
Burnaby, B.C.
Canada, V5H 3R3
office: 303.268.7317
fax: 303.201.9559

PROPOSED SIGNATURE HOTEL
2706 GOVERNMENT STREET
VICTORIA BRITISH COLUMBIA

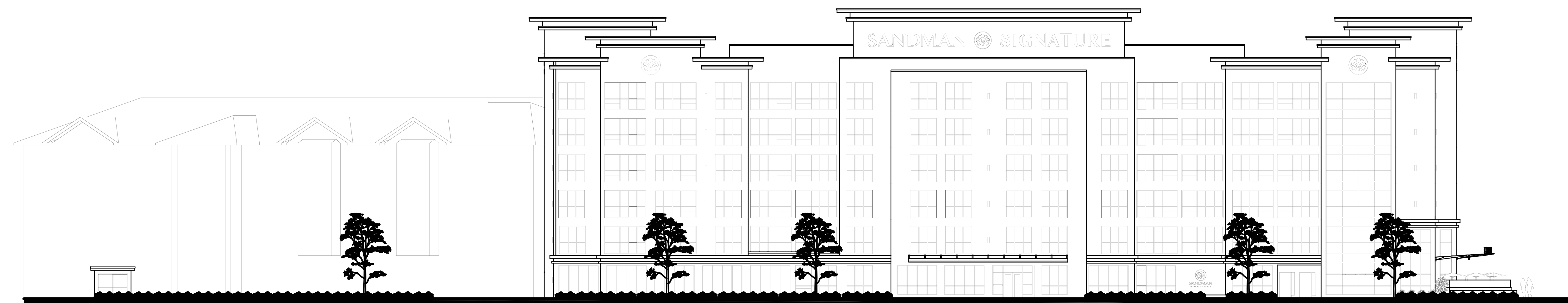
SIGNAGE PLAN

Scale	AS NOTED	A-2.04
Date	April 20th, 2021	
Drawn	T.Ng	
Checked	P.Kwasnicky	

SEPARATE SIGNAGE PERMITS ARE REQUIRED

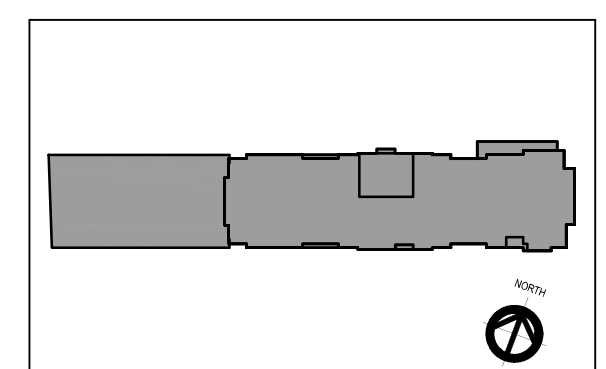


1 GOVERNMENT STREET
SCALE: 1/16" = 1'-0"



2 GORGE STREET
SCALE: 1/16" = 1'-0"

The drawings and design are the property of Pacific Coast Architecture Inc. and cannot be used or reproduced in any form without written consent.
Written dimensions shall take precedence over scaled dimensions. Contractors shall verify and shall be responsible for dimensions and conditions on the job, and the Architect shall be relieved of any liability from the dimensions and conditions as shown on the drawings.



KEY PLAN



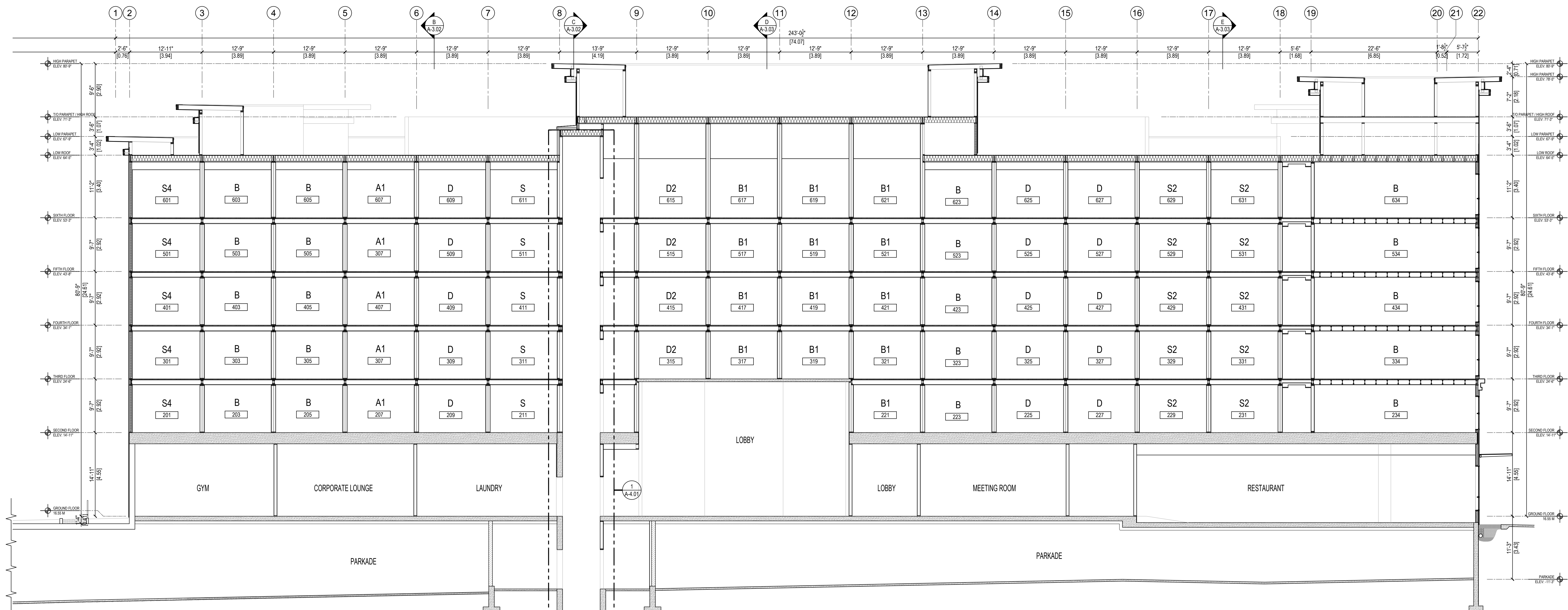
JUNE 28th, 2022

1	ISSUED FOR DEVELOPMENT PERMIT	11.04.2021
No.	Revision/Issue	Date mm.d4.yyyy

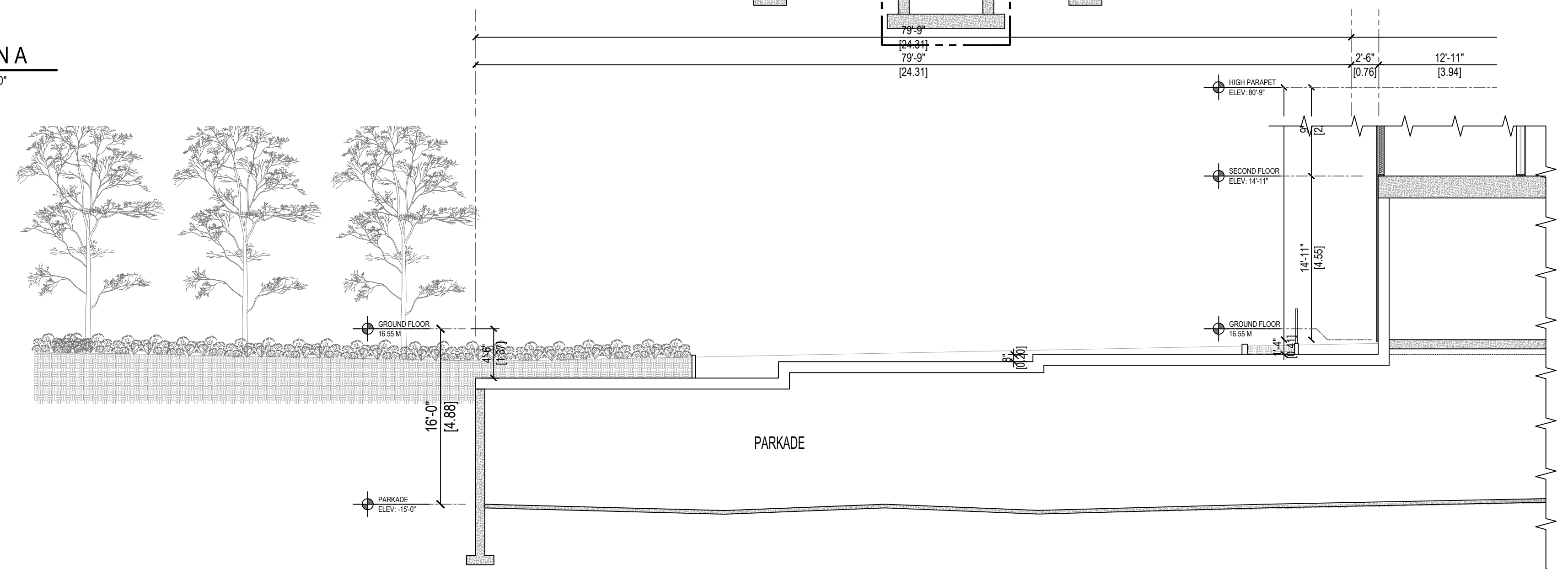
Pacific Coast Architecture Inc.
501-2292 Production Way
Burnaby, B.C.
Canada, V5A 1R3
office: 303.588.7317
fax: 303.520.9559

PROPOSED SIGNATURE HOTEL
2706 GOVERNMENT STREET
VICTORIA BRITISH COLUMBIA

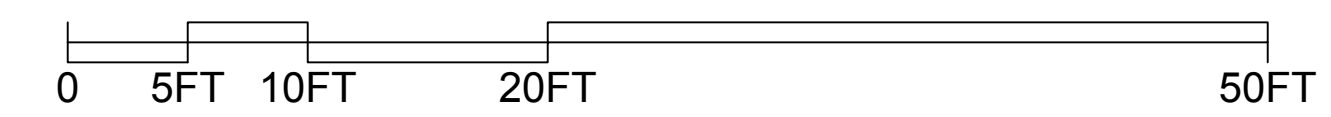
STREETSCAPE	
Scale	1/8" = 1'-0"
Date	April 20th, 2021
Drawn	J.Mutis
Checked	P.Kwassnicky
A-2.05	
R	



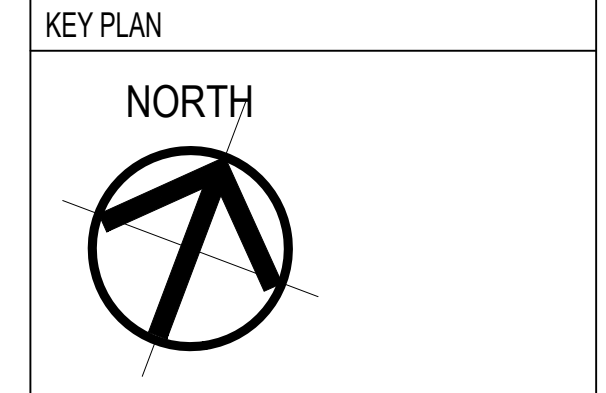
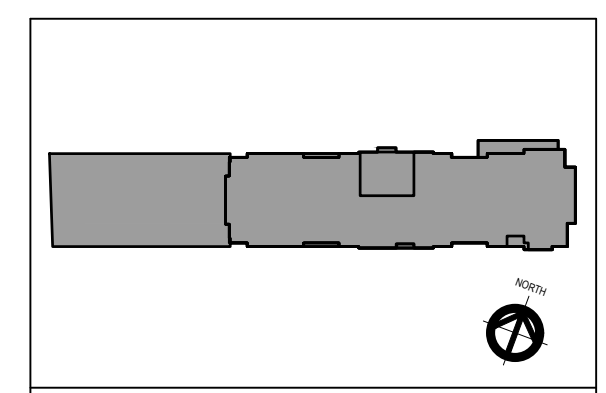
1 SECTION A
SCALE: 1/8" = 1'-0"



2 SECTION A
SCALE: 1/8" = 1'-0"



This drawing and all other drawings are the property of Pacific Coast Architecture Inc. and cannot be used or reproduced in any manner without written consent. Written dimensions shall have precedence over scaled dimensions. Contractors shall verify, and shall be responsible for dimensions and conditions on the job and the Architect shall be relieved of any variations from the dimensions and conditions as shown on this drawing.



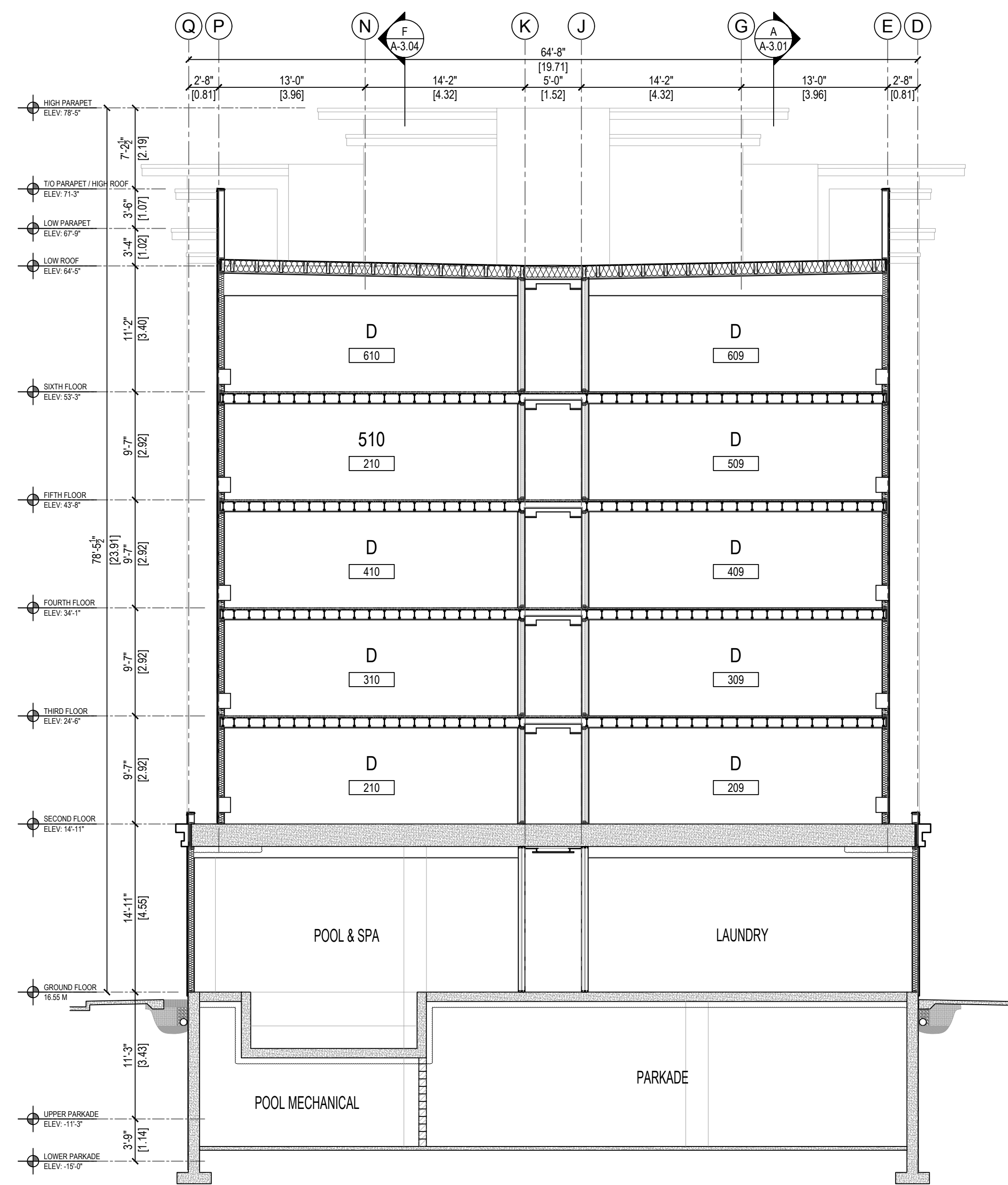
REGISTRED ARCHITECT
PACIFIC COAST ARCHITECTURE INC.
BRITISH COLUMBIA
2023.05.26

4	REVISED FOR STRUCTURAL COORDINATION	05.24.2023
3	REVISED FOR STRUCTURAL COORDINATION	1.26.2022
2	REVISED PER CITY COMMENTS	12.09.2021
1	ISSUED FOR DEVELOPMENT PERMIT	11.04.2021
No.	Revision/Issue	Date mm.dd.yyyy

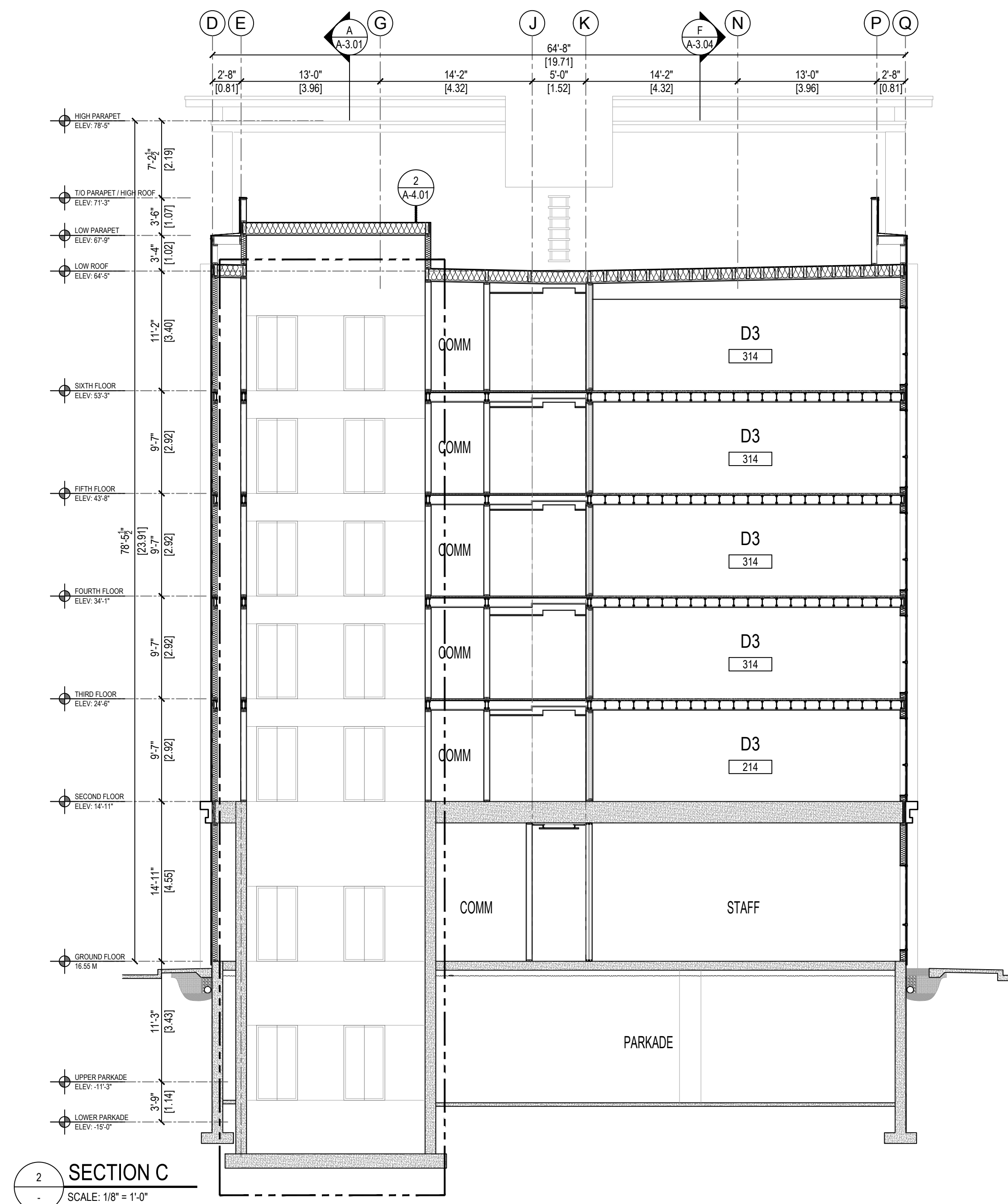
Pacific Coast
Architecture Inc.
501-2292 Production Way
Burnaby, B.C.
Canada, V5H 3R3
office: 303.268.7317
fax: 303.320.9559

PROPOSED SIGNATURE HOTEL
2706 GOVERNMENT STREET
VICTORIA BRITISH COLUMBIA

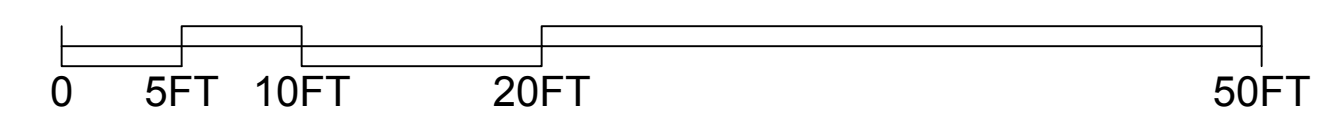
SECTION A	
Scale	1/8" = 1'-0"
Date	April 20th, 2021
Drawn	T.Ng
Checked	P.Kwasnicky
A-3.01	
R	



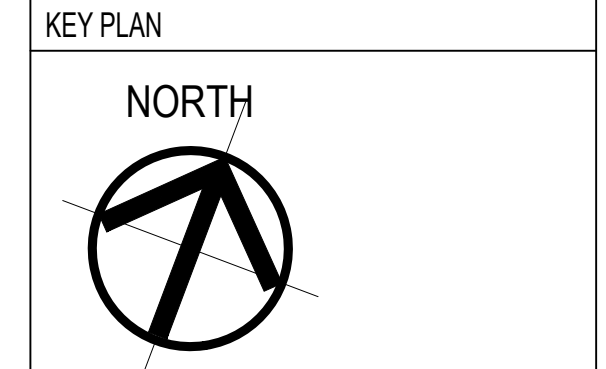
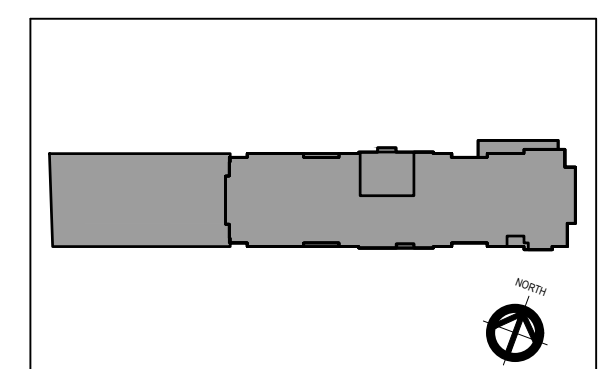
1 SECTION B
SCALE: 1/8" = 1'-0"



2 SECTION C
SCALE: 1/8" = 1'-0"



This drawing and all other drawings are the property of Pacific Coast Architecture Inc. and cannot be used or reproduced in any manner without written consent. Written dimensions shall have precedence over scaled dimensions. Contractors shall verify, and shall be responsible for dimensions and conditions on the job and the Architect shall be relieved of any variations from the dimensions and conditions as shown in this drawing.

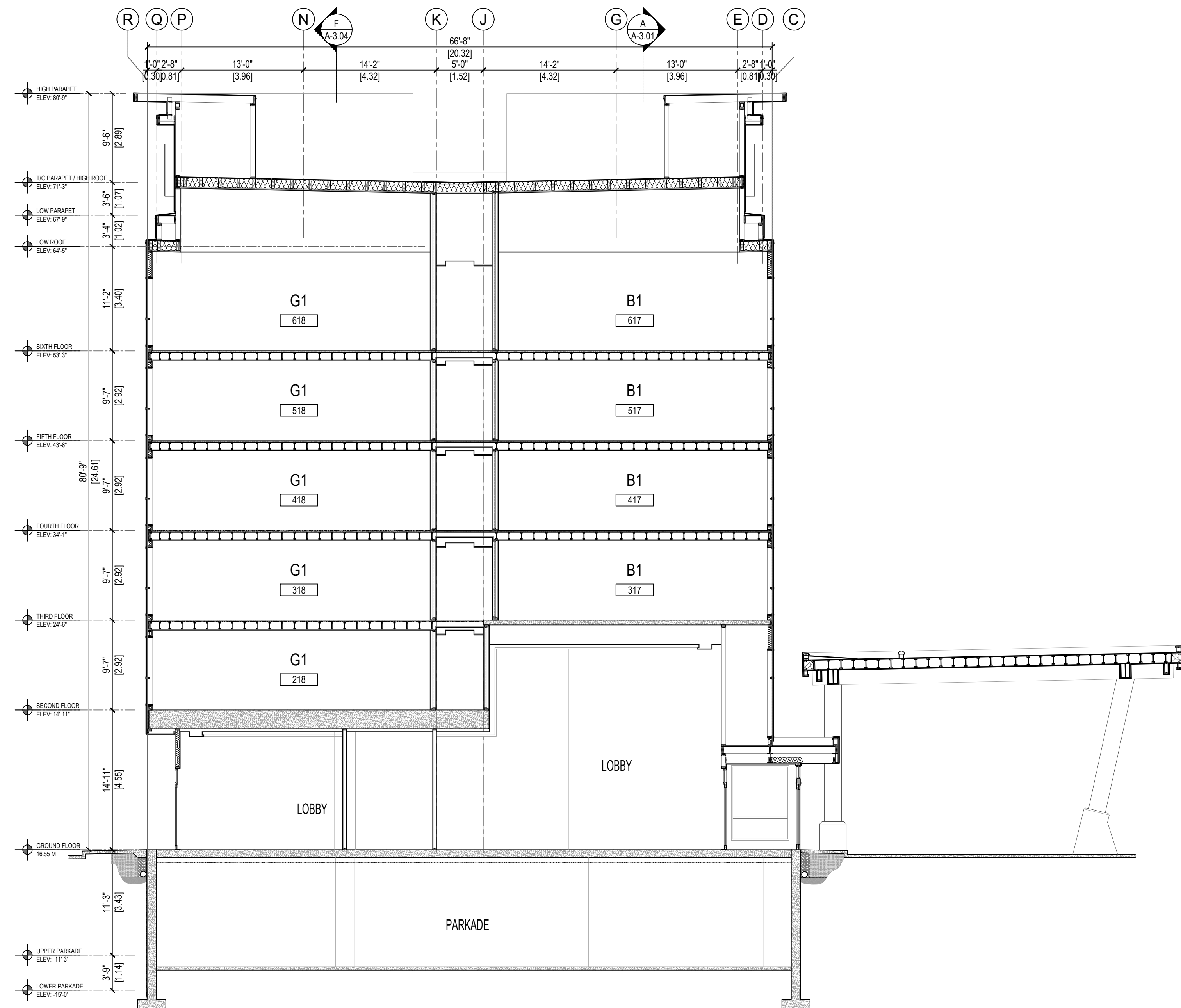


3	REVISED FOR STRUCTURAL COORDINATION	5.24.2023
2	REVISED FOR STRUCTURAL COORDINATION	1.26.2022
1	ISSUED FOR DEVELOPMENT PERMIT	11.04.2021
No.	Revision/Issue	Date mm.dd.yyyy

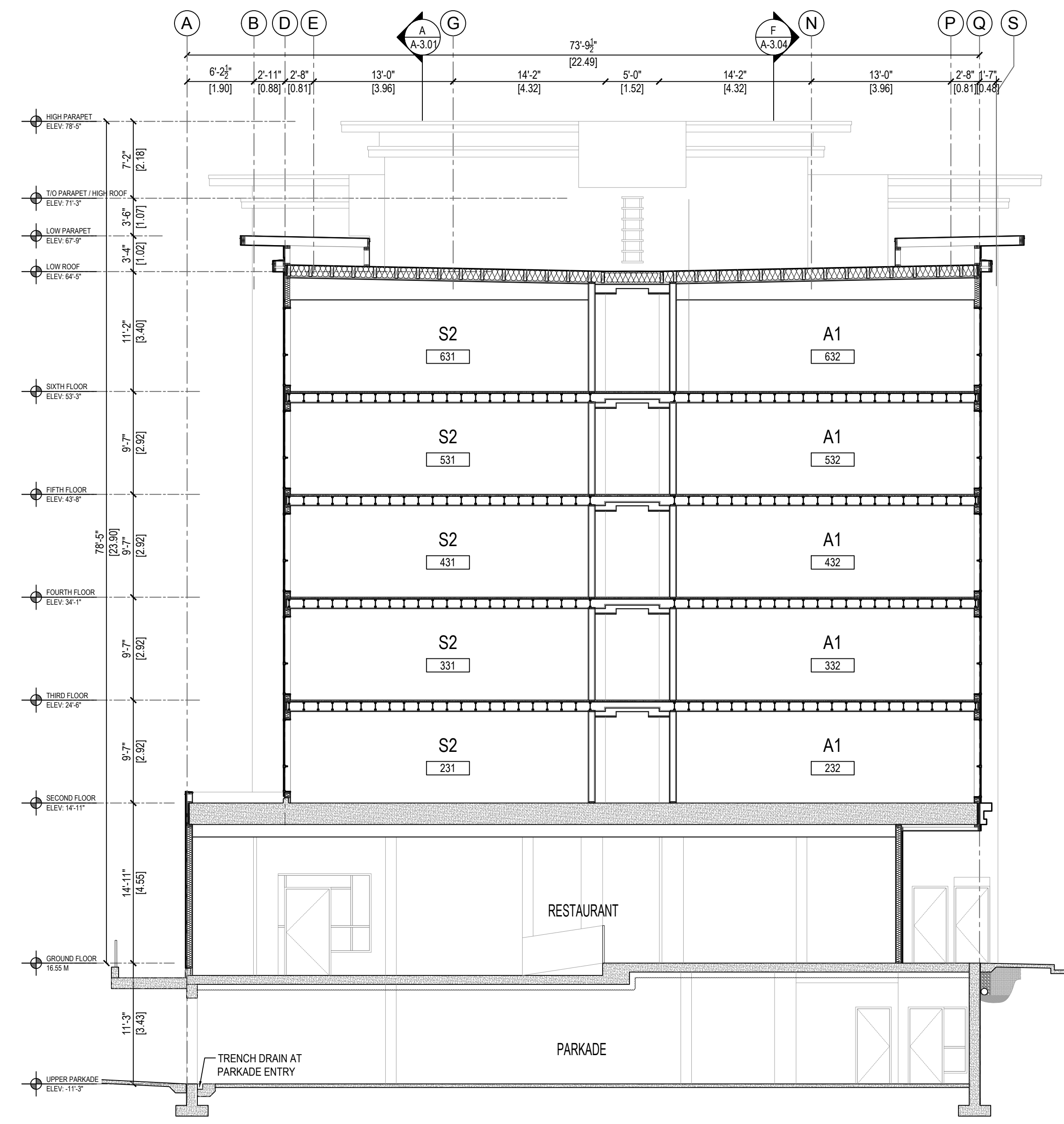
Pacific Coast
Architecture Inc.
501-2292 Production Way
Burnaby, B.C.
Canada, V5H 3R3
office: 303.268.7317
fax: 303.320.9559

PROPOSED SIGNATURE HOTEL
2706 GOVERNMENT STREET
VICTORIA BRITISH COLUMBIA

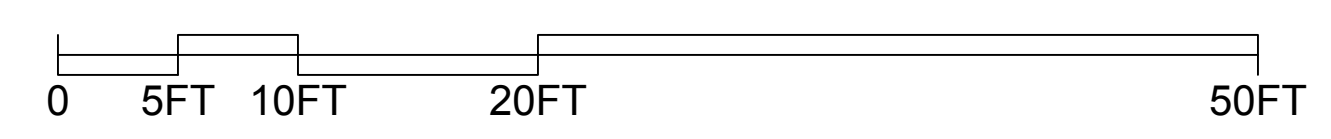
SECTIONS B & C	
Scale	1/8" = 1'-0"
Date	April 20th, 2021
Drawn	T.Ng
Checked	P.Kwasnicky
A-3.02	
R	



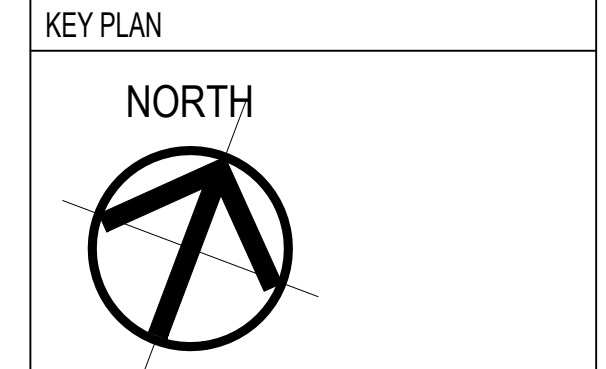
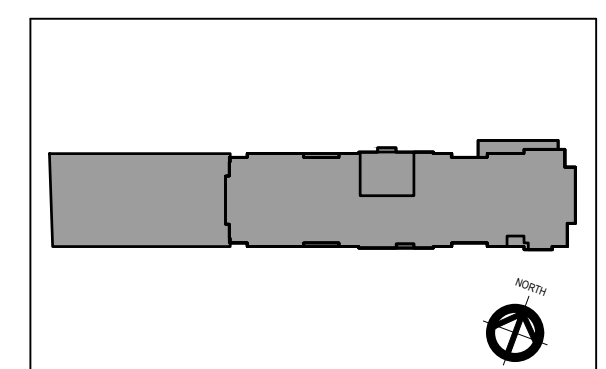
1 SECTION D
SCALE: 1/8" = 1'-0"



2 SECTION E
SCALE: 1/8" = 1'-0"



This drawing and design are the property of Pacific Coast Architecture Inc. and cannot be used or reproduced in any manner without written consent. Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and shall be responsible for dimensions and conditions on the job and the Architect shall be relieved of any variations from the dimensions and conditions as shown in this drawing.



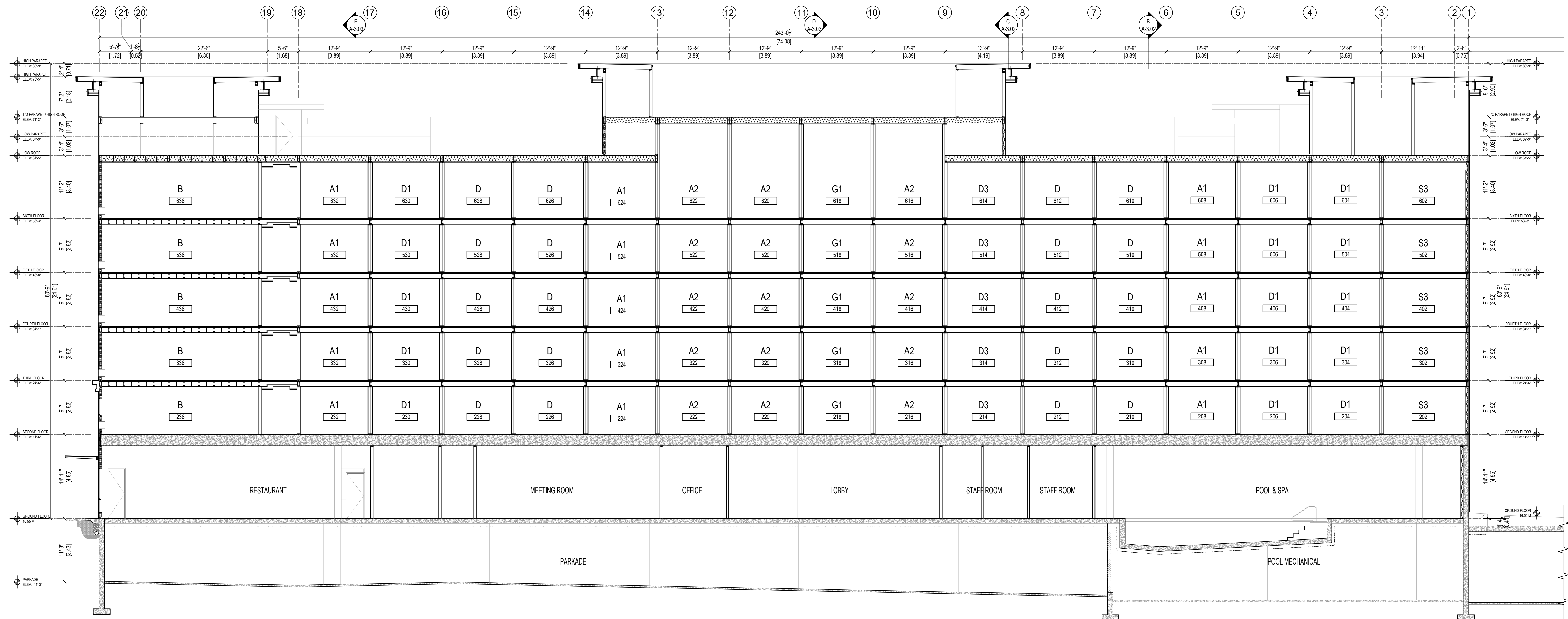
3	REVISED FOR STRUCTURAL COORDINATION	5/24/2023
2	REVISED FOR STRUCTURAL COORDINATION	1/26/2022
1	ISSUED FOR DEVELOPMENT PERMIT	11/04/2021
No.	Revision/Issue	Date mm.dd.yyyy

Pacific Coast
Architecture Inc.
501-2292 Production Way
Burnaby, B.C.
Canada, V5H 3R3
office: 303.268.7317
fax: 303.320.9559

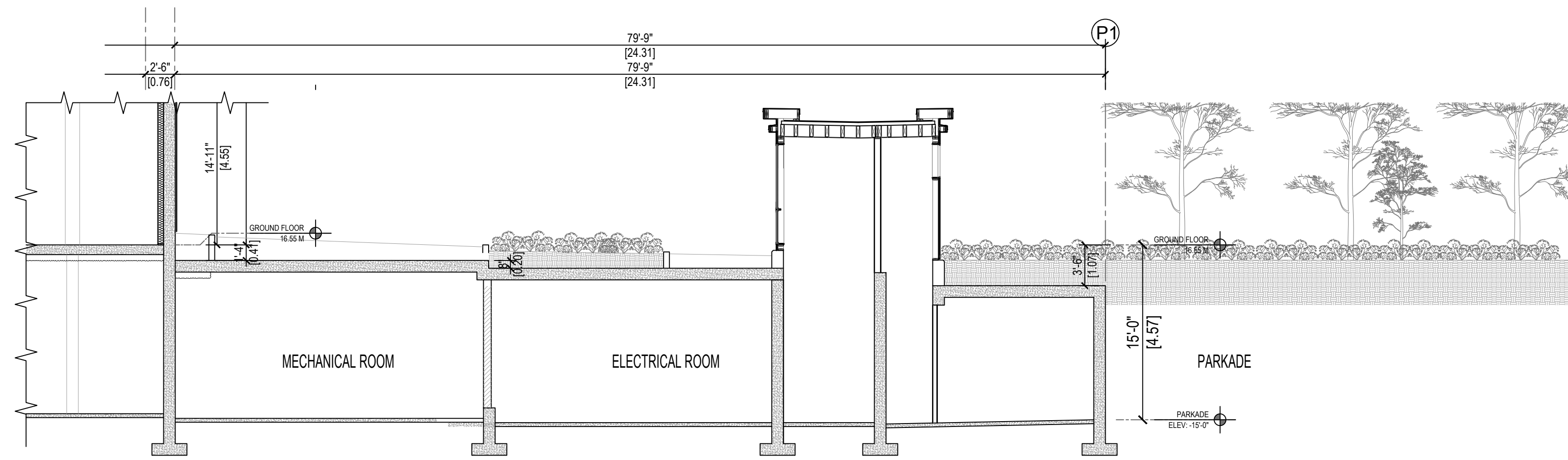
PROPOSED SIGNATURE HOTEL
2706 GOVERNMENT STREET
VICTORIA BRITISH COLUMBIA

SECTIONS D & E

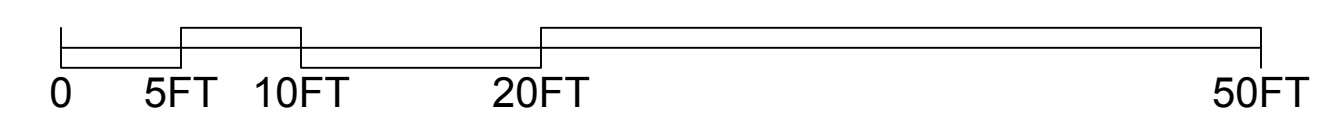
Scale	1/8" = 1'-0"	A-3.03
Date	April 20th, 2021	
Drawn	T.Ng	
Checked	P.Kwassnicky	



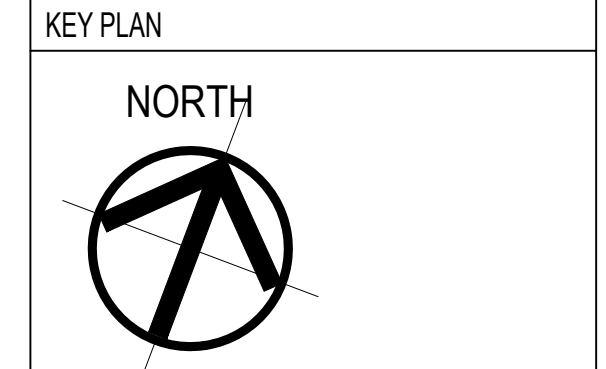
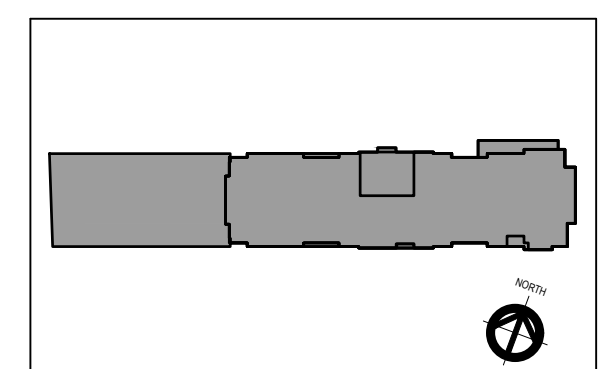
1 SECTION F
SCALE: 1/8" = 1'-0"



2 SECTION F
SCALE: 1/8" = 1'-0"



This drawing and all other drawings are the property of Pacific Coast Architecture Inc. and cannot be used or reproduced in any manner without written consent. Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and shall be responsible for dimensions and conditions on the job and the Architect shall be relieved of any variation from the dimensions and conditions as shown in this drawing.



PROPOSED SIGNATURE HOTEL
2706 GOVERNMENT STREET
VICTORIA BRITISH COLUMBIA

2023.05.26

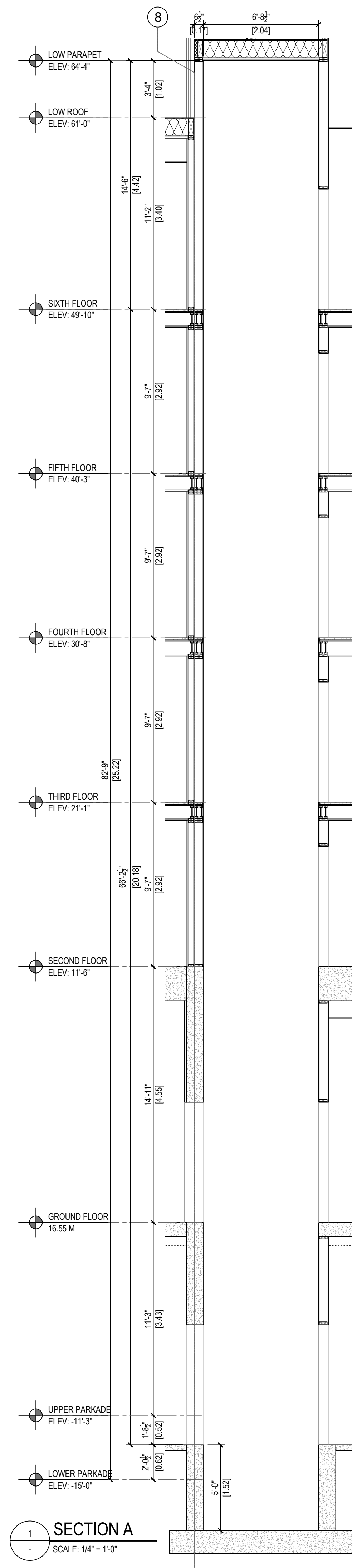
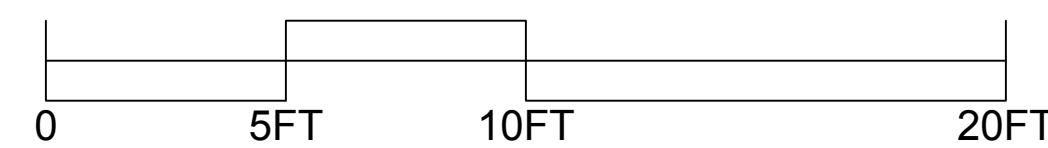
No.	Revision/Issue	Date mm.dd.yyyy
3	REVISED FOR STRUCTURAL COORDINATION	5.24.2023
2	REVISED FOR STRUCTURAL COORDINATION	1.26.2022
1	ISSUED FOR DEVELOPMENT PERMIT	11.04.2021

Pacific Coast
Architecture Inc.
501-2292 Production Way
Burnaby, B.C.
Canada, V5H 3R3
office 303.268.7317
fax 303.320.9559

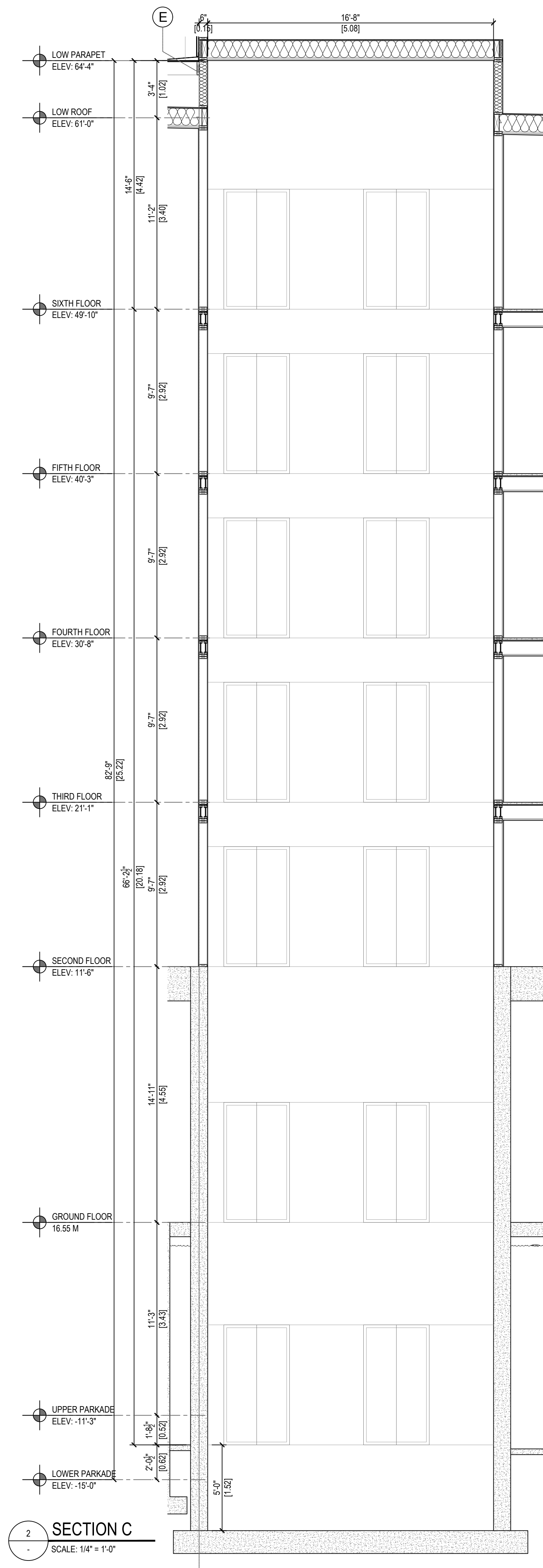
PROPOSED SIGNATURE HOTEL
2706 GOVERNMENT STREET
VICTORIA BRITISH COLUMBIA

SECTION F	
Scale	1/8" = 1'-0"
Date	April 20th, 2021
Drawn	T.Ng
Checked	P.Kwasnicky

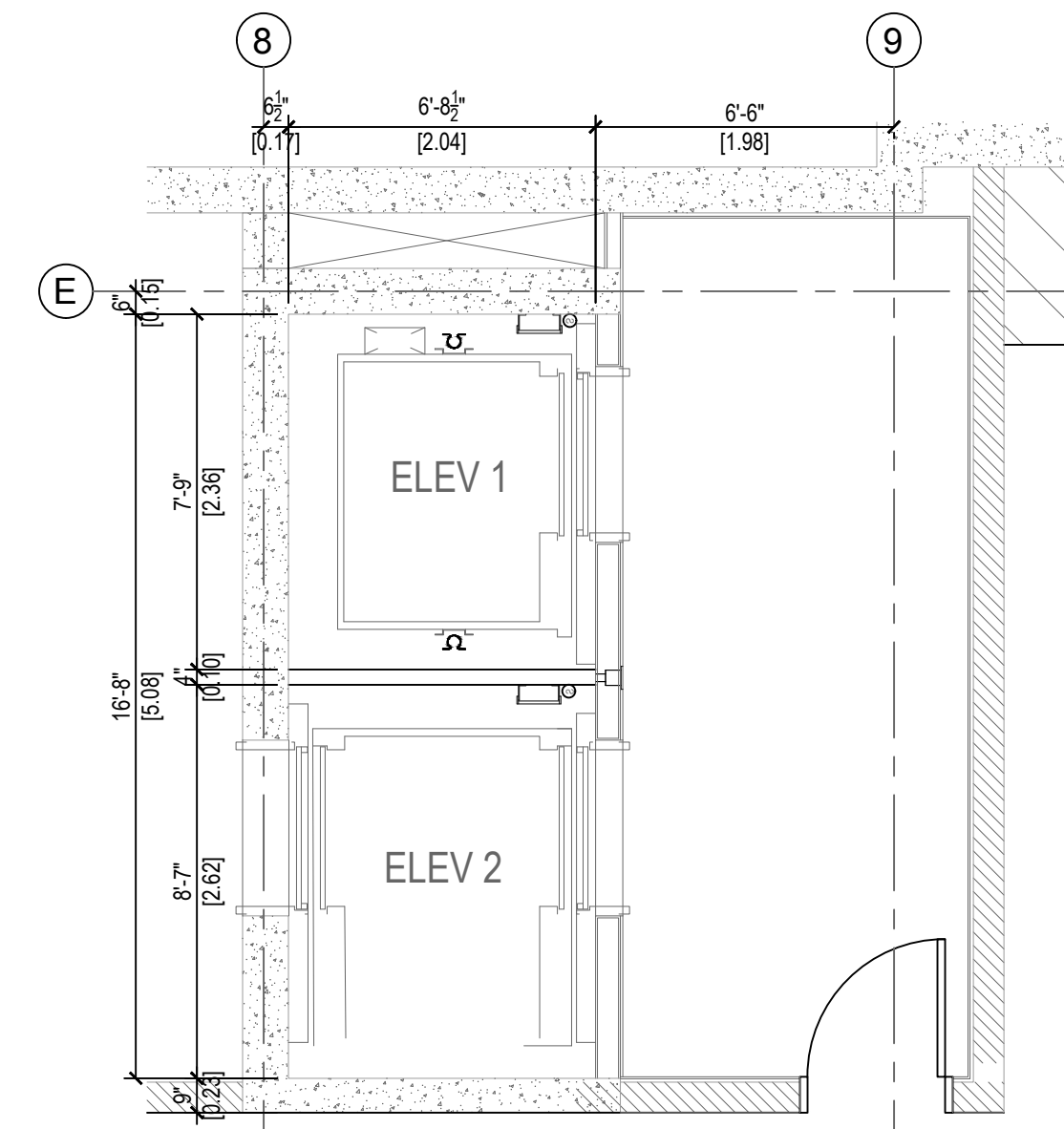
A-3.04



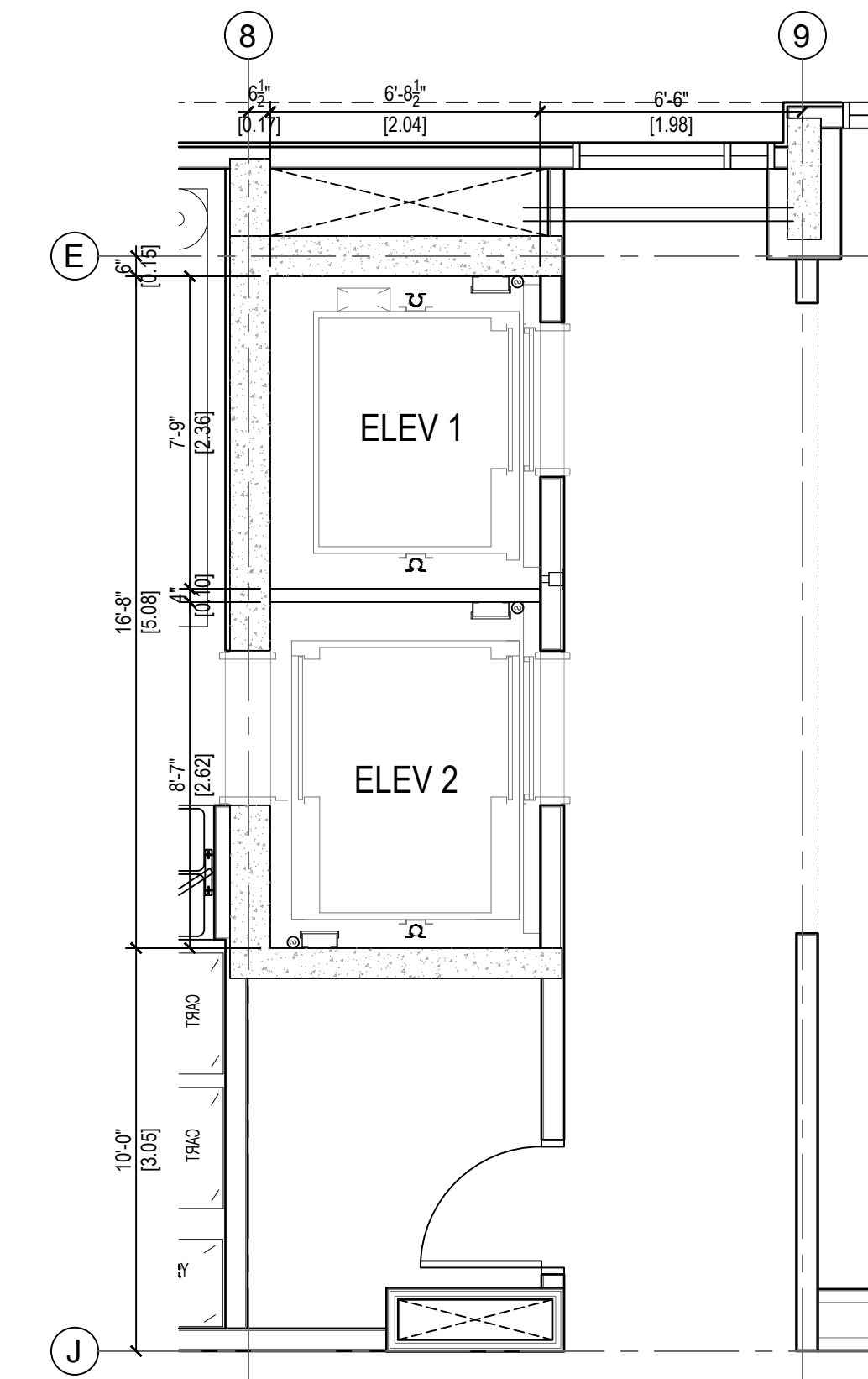
1 SECTION A
SCALE: 1/4" = 1'-0"



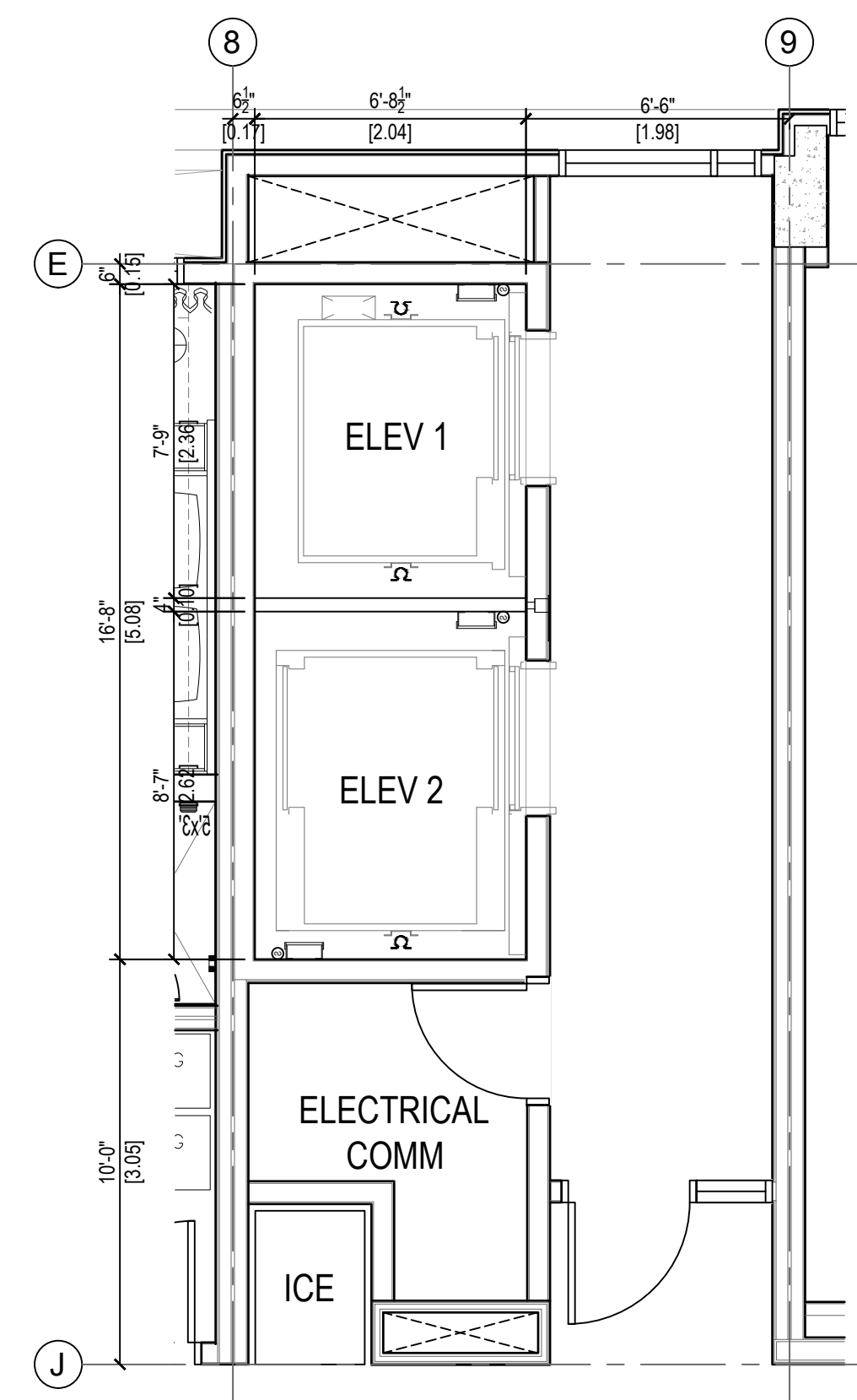
2 SECTION C
SCALE: 1/4" = 1'-0"



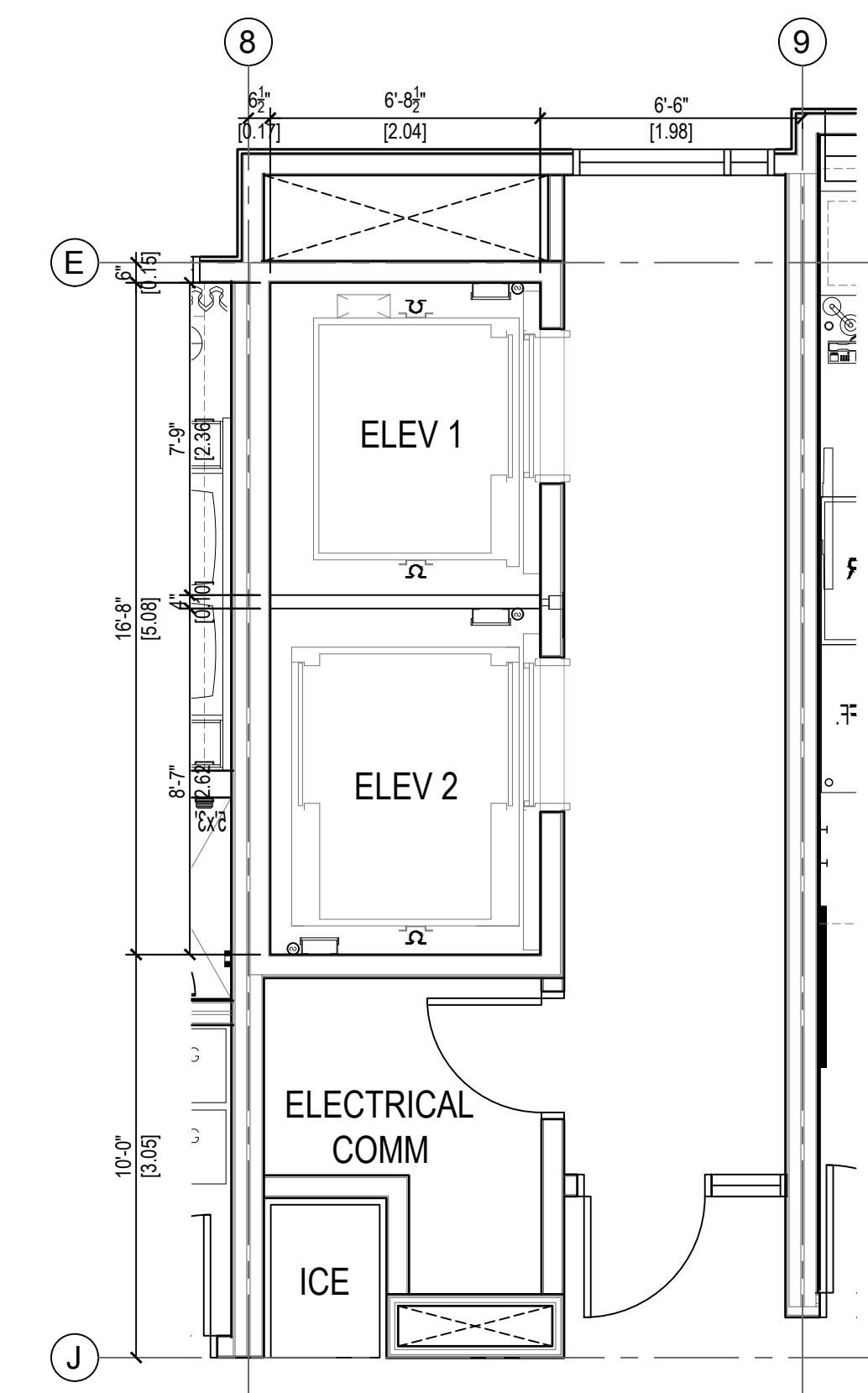
3 PARKADE PLAN
SCALE: 1/4" = 1'-0"



4 GROUND FLOOR PLAN
SCALE: 1/4" = 1'-0"

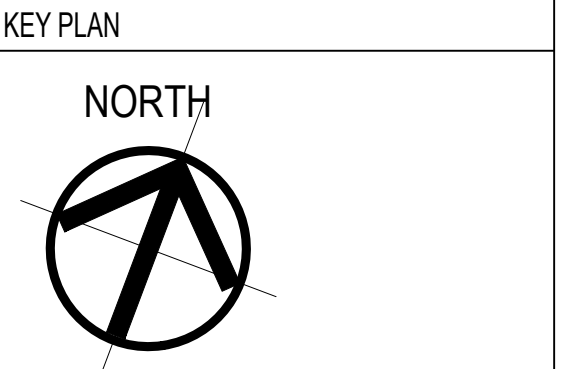
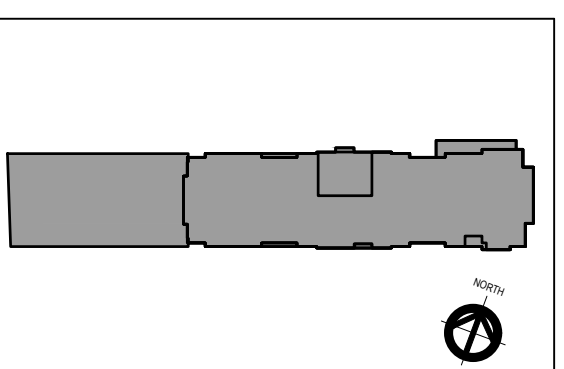


5 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



6 TYPICAL FLOOR PLAN (3-6)
SCALE: 1/4" = 1'-0"

This drawing and design are and shall be the property of Pacific Coast Architecture Inc. and cannot be used or reproduced in any manner without written consent. Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and shall be responsible for dimensions and conditions on the job and the Architect shall be relieved of any variation from the dimensions and conditions as shown in this drawing.

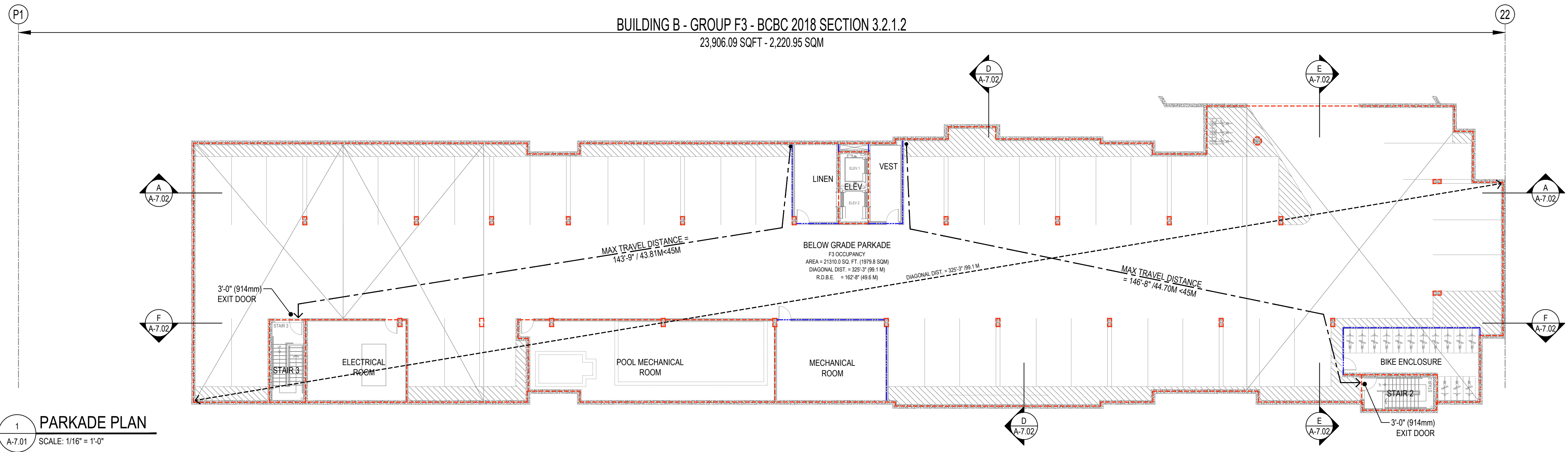


2	REVISED FOR STRUCTURAL COORDINATION	5.24.2023
1	ISSUED FOR DEVELOPMENT PERMIT	11.04.2021
No.	Revision/Issue	Date mm.dd.yyyy

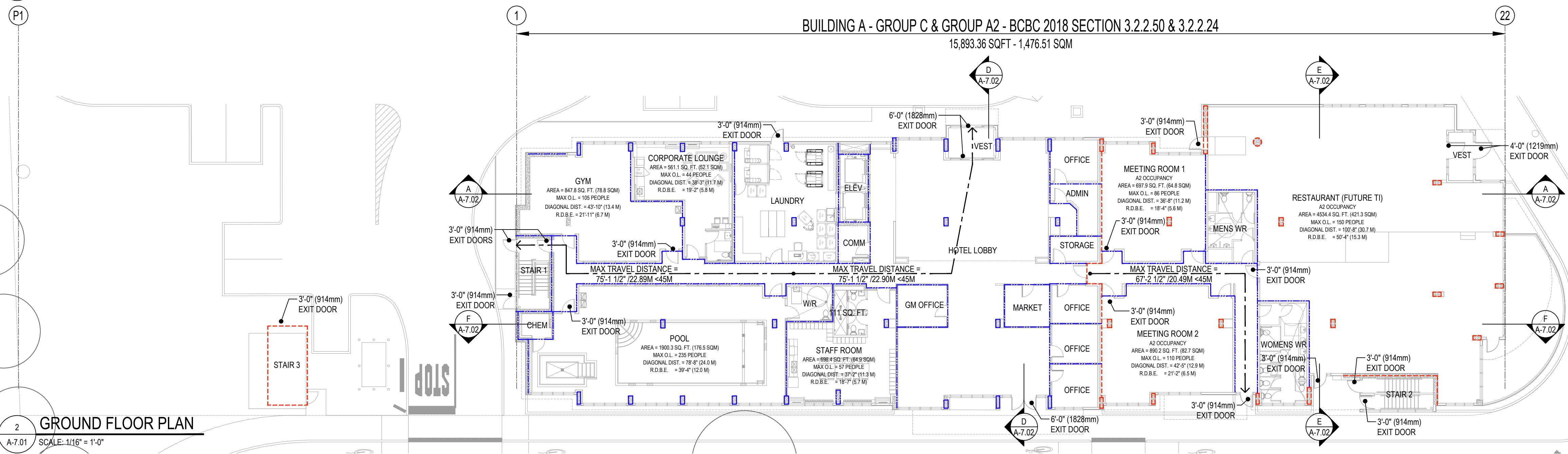
Pacific Coast Architecture Inc.
501-2292 Production Way
Burnaby, B.C.
Canada, V5H 3R3
office: 303.268.7317
fax: 303.320.9559

PROPOSED SIGNATURE HOTEL
2706 GOVERNMENT STREET
VICTORIA BRITISH COLUMBIA

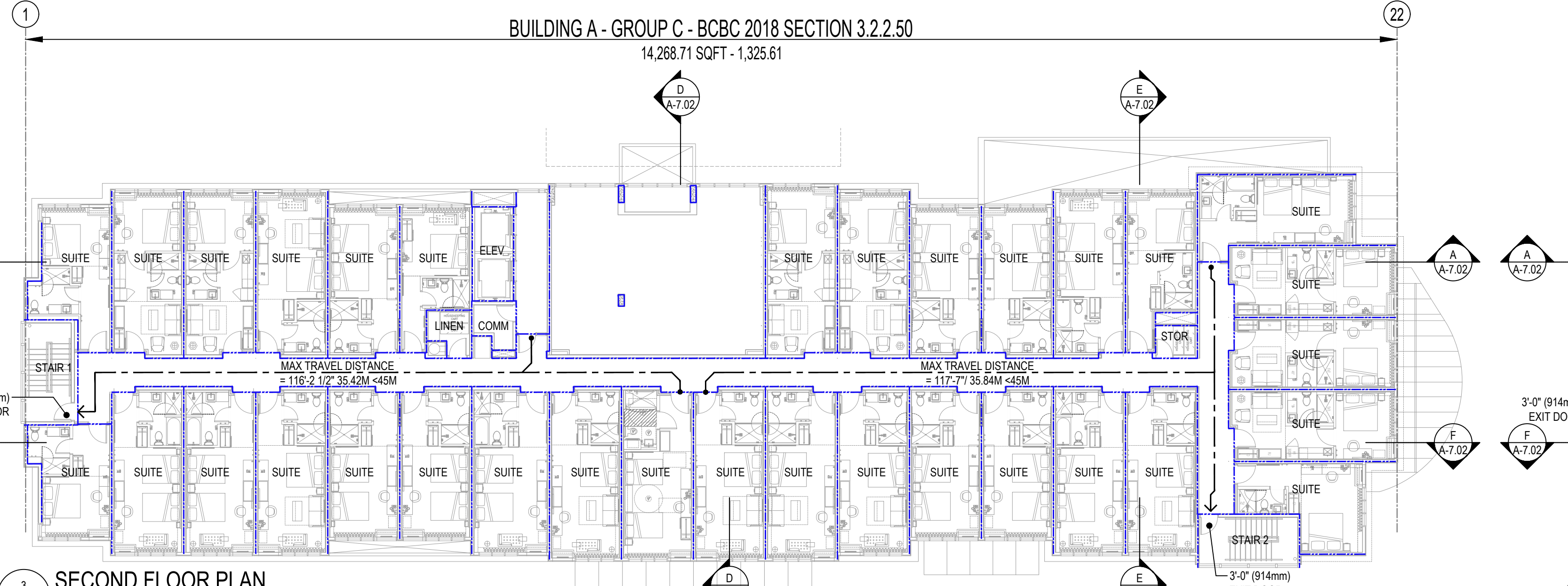
ELEVATOR DETAILS	
Scale	1/4" = 1'-0"
Date	April 20th, 2021
Drawn	T.Ng
Checked	P.Kwasnicky
A-4.00	
R	



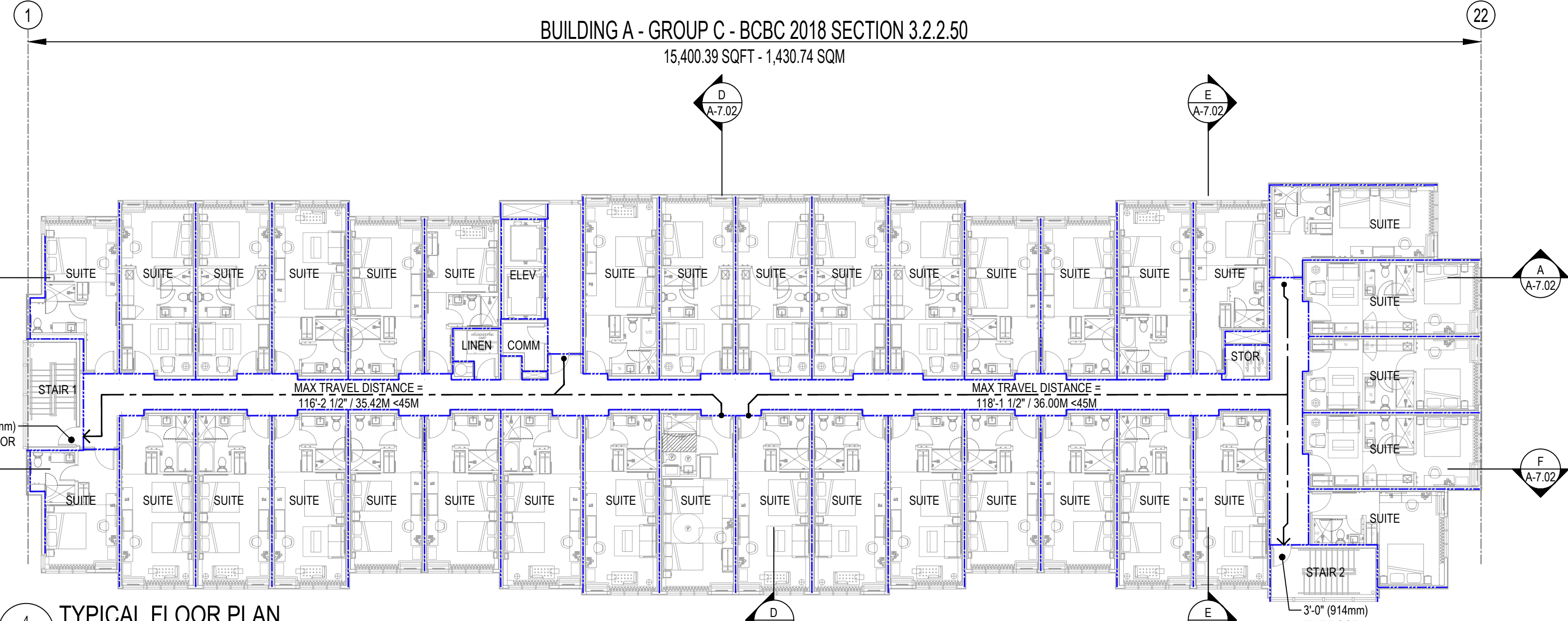
1 PARKADE PLAN
A-7.01 SCALE: 1/16" = 1'-0"



2 GROUND FLOOR PLAN
A-7.01 SCALE: 1/16" = 1'-0"



3 SECOND FLOOR PLAN
A-7.01 SCALE: 1/16" = 1'-0"



4 TYPICAL FLOOR PLAN
A-7.01 SCALE: 1/16" = 1'-0"

BUILDING CODE NOTES

BRITISH COLUMBIA BUILDING CODE 2018

NOTE: BUILDINGS A & B ARE TO BE SEPARATED BY A FIREWALL CONFORMING TO BCBC 2018 3.2.1.2.

BUILDING	GROUP	GROUP C	GROUP DIV 3
BUILDING A	3.2.2.50	GROUP C	
BUILDING B	3.2.1.2		GROUP F DIV 3

CODE REQUIREMENTS

BUILDING A

3.2.2.50 (GROUP C) SPRINKLERS REQUIRED
6 STOREYS MAX
1,500 SQM MAX. IF 6 STOREYS IN BUILDING HEIGHT
18M HEIGHT MAX
COMBUSTIBLE OR NON-COMBUSTIBLE CONSTRUCTION PERMITTED
FLOOR ASSEMBLIES TO HAVE 1 HR FIR
ROOF ASSEMBLIES TO HAVE 1 HR FIR
LOAD BEARING WALLS, COLUMNS & ARCHES SHALL HAVE A FIR NOT LESS THAN THAT REQUIRED FOR THE SUPPORTED ASSEMBLY
GROUP A2 MAJOR OCCUPANCY CAN BE LOCATED BELOW THIRD FLOOR

3.2.2.24 (GROUP A2) SPRINKLERS REQUIRED
6 STOREYS MAX
1,500 SQM MAX. IF 6 STOREYS IN BUILDING HEIGHT
NON-COMBUSTIBLE CONSTRUCTION PERMITTED
FLOOR ASSEMBLIES TO HAVE 1 HR FIR
ROOF ASSEMBLIES TO HAVE 1 HR FIR
LOAD BEARING WALLS, COLUMNS & ARCHES SHALL HAVE A FIR NOT LESS THAN THAT REQUIRED FOR THE SUPPORTED ASSEMBLY

3.1.3.1
BUILDING B
3.2.1.2 (2) & (3) SPRINKLERS REQUIRED
FLOOR AND ROOF ASSEMBLIES ABOVE THE BASEMENT AND THE EXTERIOR WALLS OF THE BASEMENT ABOVE THE ADJOINING GROUND LEVEL TO BE 2 HR FIR

BUILDING COMPLIANCE

BUILDING	GROUP	FLOOR AREA	SPRINKLERED	COMBUSTIBLE & NON-COMBUSTIBLE CONSTRUCTION	FLOOR ASSEMBLIES TO HAVE 1 HR FIR & 2 HR FIR BETWEEN OCCUPANCIES A2 & C	ROOF ASSEMBLIES TO HAVE 1 HR FIR	LOAD BEARING WALLS, COLUMNS & ARCHES TO HAVE 1 HR FIR
BUILDING A	6 STOREYS	FLOOR AREA 1,476.51 SQM	SPRINKLERED	COMBUSTIBLE & NON-COMBUSTIBLE CONSTRUCTION	FLOOR ASSEMBLIES TO HAVE 1 HR FIR & 2 HR FIR BETWEEN OCCUPANCIES A2 & C	ROOF ASSEMBLIES TO HAVE 1 HR FIR	LOAD BEARING WALLS, COLUMNS & ARCHES TO HAVE 1 HR FIR
BUILDING B	ONE STOREY	FLOOR AREA 1,979.80 SQM	SPRINKLERED	NON-COMBUSTIBLE CONSTRUCTION	LOAD BEARING WALLS, COLUMNS & ARCHES TO HAVE 2 HR FIR		

FIRE SEPARATIONS

SEPARATION	FIR	BCBC 2018
HOTEL ROOM TO ROOM	60 MIN.	3.3.4.2 (1)
HOTEL ROOM TO CORRIDOR	60 MIN.	3.3.1.4
EXIT STAIRS	60 MIN / 120 MIN (PARKADE)	3.4.1.1 (1)
SERVICE ROOMS	60 MIN.	3.6.2.1
STORAGE ROOMS	60 MIN.	3.6.2.5
ELEVATOR SHAFT	60 MIN / 120 MIN (PARKADE)	3.5.3.1 (1) & TABLE 3.5.3.1
ELEVATOR MACHINE ROOM	120 MIN.	3.5.3.3 (2)
VERTICAL SERVICE SPACES (DUCTS)	45 MIN.	3.6.3.1 (1) & TABLE 3.6.3.1
LINEN CHUTE	60 MIN.	3.6.3.3 (2)

FIRE RATING OF DOORS

BCBC 2018	PARTITION FIR	DOOR FIR
3.1.8.4 (2) & TABLE 3.1.8.4	45 OR 60 MIN	45 MIN
	90 MIN	60 MIN
	120 MIN	90 MIN
3.1.8.12(1)(a)(i)	20 MIN FIR DOOR ALLOWED BETWEEN SUITE & CORRIDOR IF PARTITION FIR IS NOT MORE THAN 1 HR	

SOUND TRANSMISSION

BCBC 2018	LOCATION	SOUND RATING
5.8.1.1 (1)	SUITE TO ANY OTHER SPACE	STC 50 OR ASTC 47
5.8.1.1 (2)	SUITE TO ELEVATOR SHAFT OR REFUSE CHUTE	STC 55

STANDPIPES, HYDRANTS, F.D. CONNECTION

SEE DRAWINGS BY FIRE SUPPRESSION ENGINEER

SPRINKLERS

AS PER N.F.P.A. 13 ALL BUILDINGS A & B ARE TO BE SPRINKLERED TO N.F.P.A. 13 REQUIREMENTS
SEE DRAWINGS BY FIRE SUPPRESSION ENGINEER

FIRE STOPPING

FIRE STOPPING OF PIPES & ELECTRICAL WIRING IN FIRE SEPARATIONS TO CONFORM TO BCBC 2018 SECTION 3.1.8.1 & CANULC-S115

FIRE ALARMS (3.2.1.1, 3.2.4.4)

SINCE ALL BUILDINGS ARE REQUIRED TO BE SPRINKLERED AS PER N.F.P.A. 13, ALL BUILDINGS ARE REQUIRED TO HAVE A 2-STAGE FIRE ALARM SYSTEM INSTALLED WITH THE SYSTEM CONTINUOUS THROUGHOUT THE ENTIRE BUILDING. FOR FIRE ALARM & DETECTION SYSTEM DETAILS REFER TO DWGS BY ELEC ENG.

ELEVATORS

ELEVATORS TO BE DESIGNED, CONSTRUCTED AND INSTALLED TO CONFORM BCBC 2018 #3.5.2.1

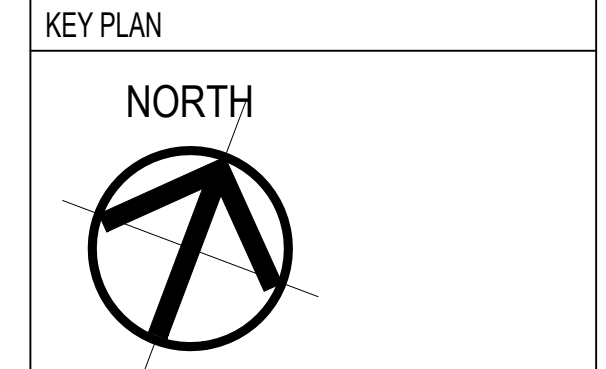
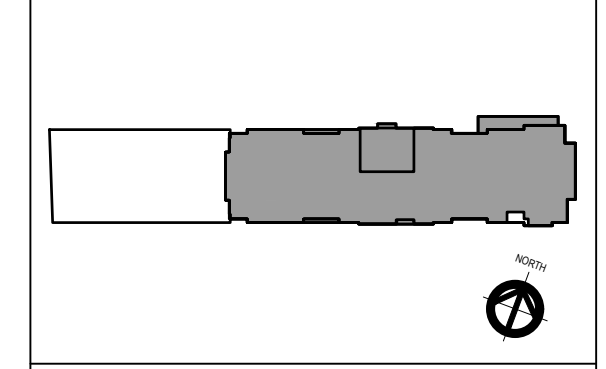
TYPE:	HYDRAULIC PASSENGER ELEVATOR
CAPACITY:	1 @ 2100lb & 1 @ 2500lb
SPEED:	150 FPM
CONTROL:	DUPLEX SELECTIVE COLLECTIVE
DOORS:	1 CAR 36" x 84" SINGLE SLIDE POWER OPERATED & 1 CAR 42" x 84" DOUBLE SLIDE POWER OPERATED
CODE:	COMPLIANT TO 84 ELEVATOR SAFETY CODE & THE ELEVATING DEVICES SAFETY REGULATION
ACCESS:	ALL ELEVATORS MEET BCBC 2018 #3.8.3.7
PATENT STRETCHER:	AT LEAST ONE ELEVATOR HAS INSIDE DIMENSIONS THAT WILL ACCOMMODATE AND PROVIDE ADEQUATE ACCESS FOR PATENT STRETCHER 2100MM LONG AND 610MM WIDE IN THE PRONE POSITION

FIRE RATED PARTITION LEGEND

---	UNRATED SMOKE SEPARATION
---	34 HR
---	1 HR
---	2 HR
---	2 HR FIREWALL



The drawings and design are used and shall be used in accordance with the terms of the contract. The architect is not responsible for the construction of the project and shall be responsible for the construction of the project and shall be responsible for the construction of the project.



REGISTERED ARCHITECT
BRITISH COLUMBIA
2023.05.26

No.	Revision/Issue	Date
4	DESIGN DEVELOPMENT	5.25.2023
3	REVISED FOR STRUCTURAL COORDINATION	1.26.2022
2	REVISED PER CITY COMMENTS	12.09.2021
1	ISSUED FOR DEVELOPMENT PERMIT	11.04.2021

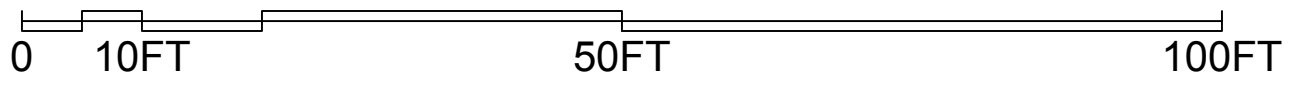
Pacific Coast
Architecture Inc.
501-2292 Production Way
Burnaby, B.C.
Canada, V5A 3R3
office 303.268.7317
fax 303.320.9559

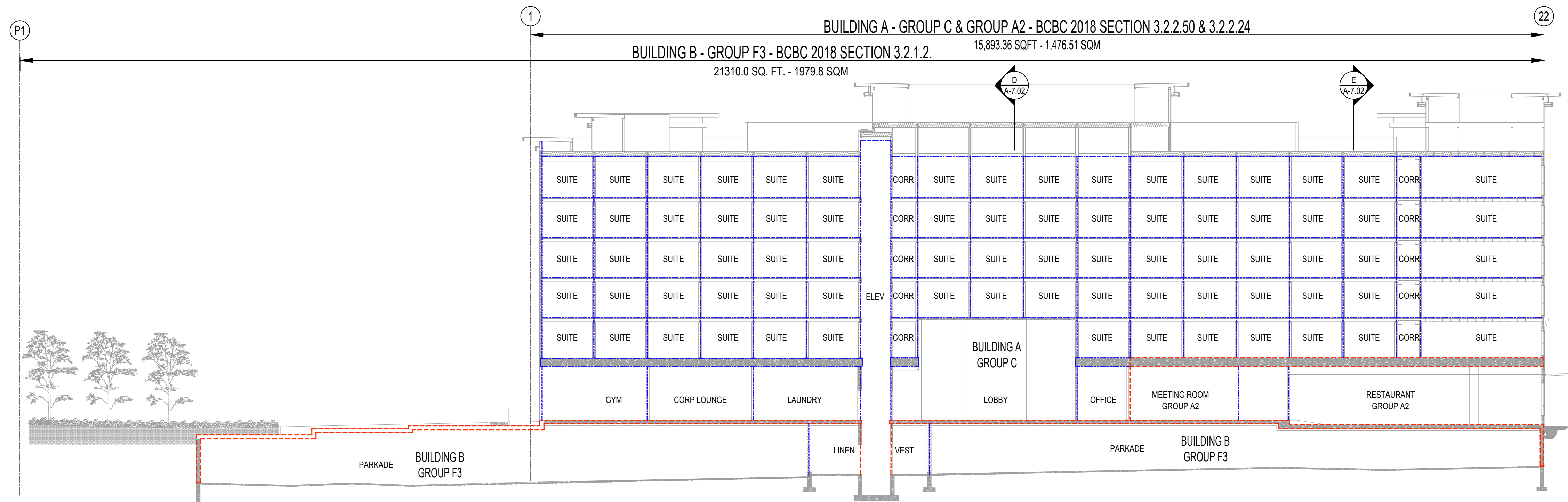
PROPOSED SIGNATURE HOTEL
2706 GOVERNMENT STREET
VICTORIA BRITISH COLUMBIA

BUILDING CODE 1 of 2

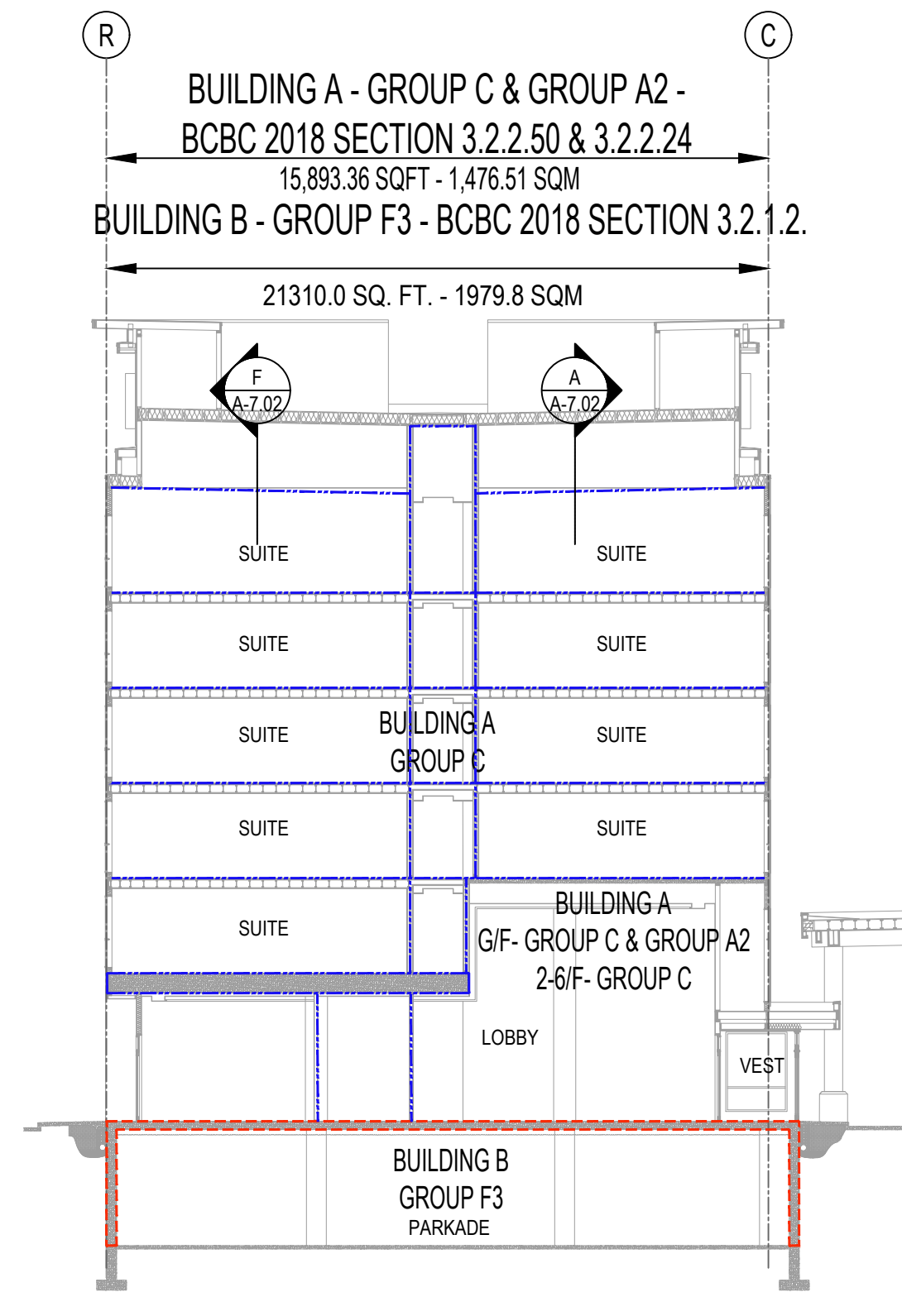
Scale	1/16" = 1'-0"
Date	April 20th, 2021
Drawn	T.Ng
Checked	P.Kwasnicky

A-7.01

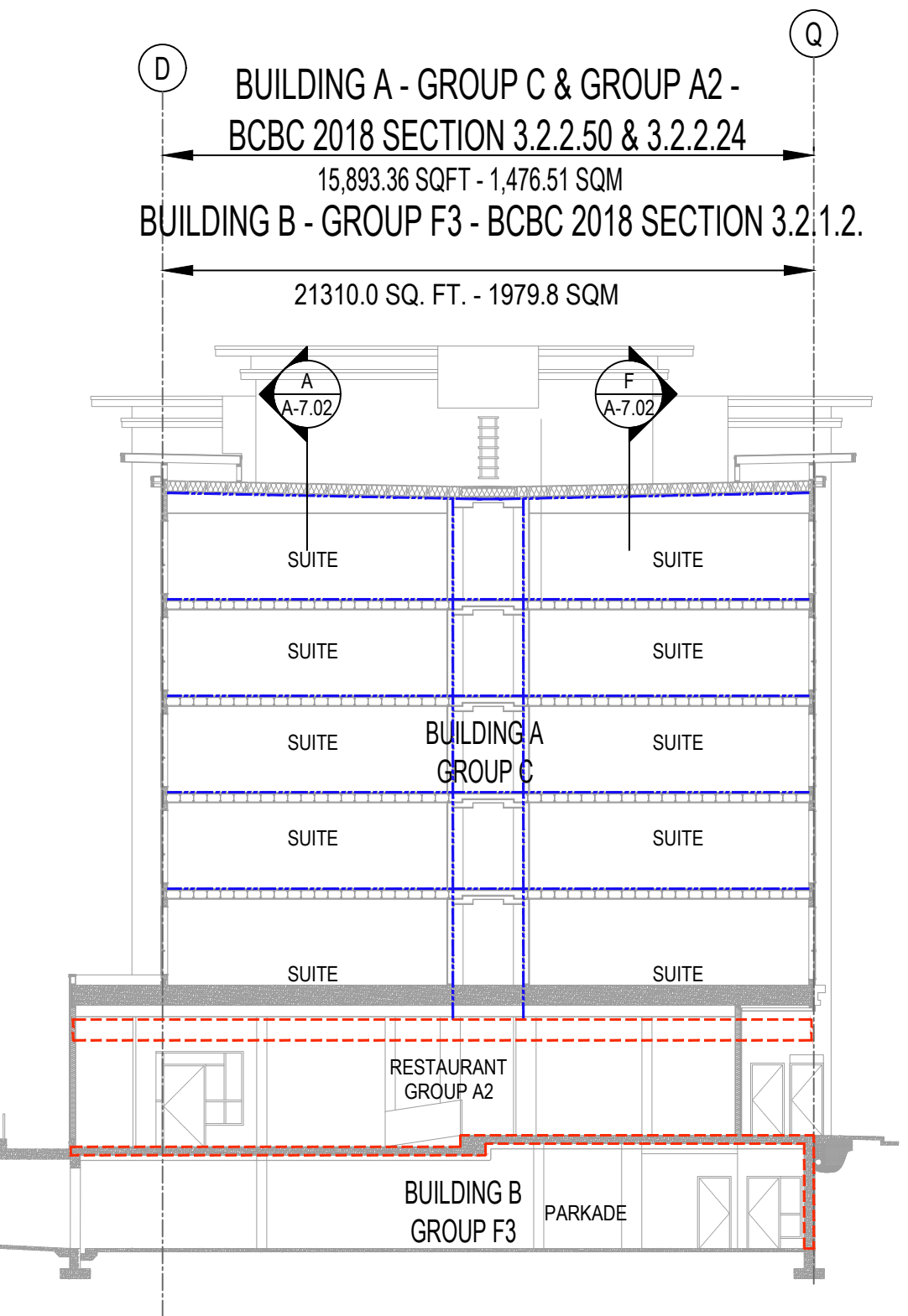




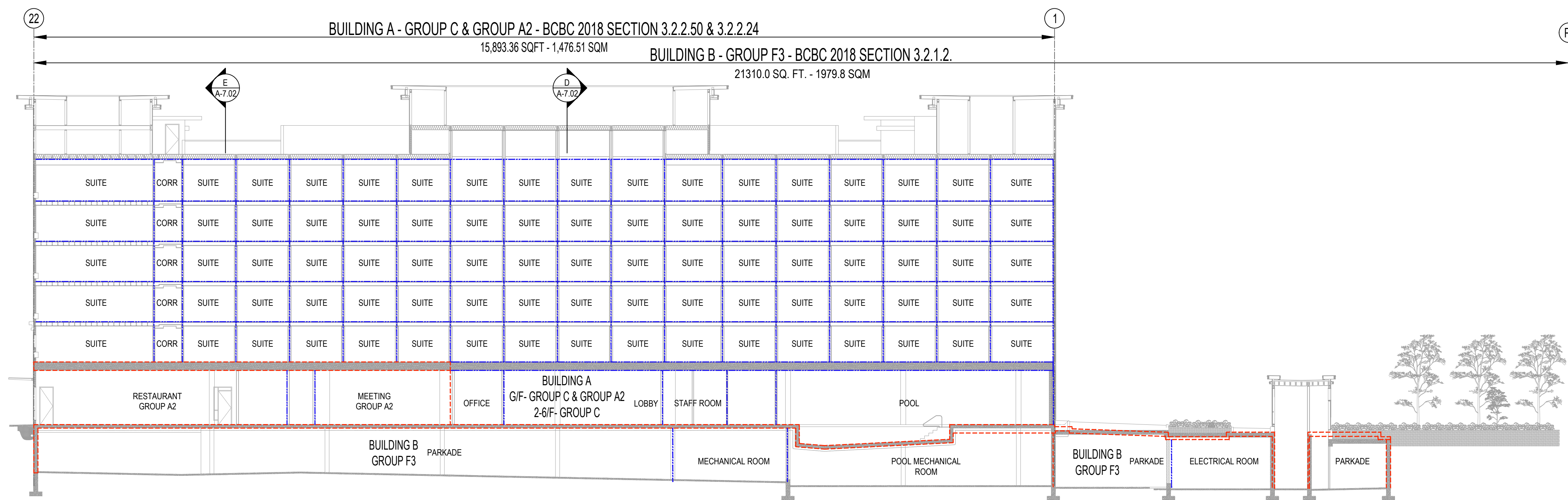
A SECTION A
A-7.02 SCALE: 1/16" = 1'-0"



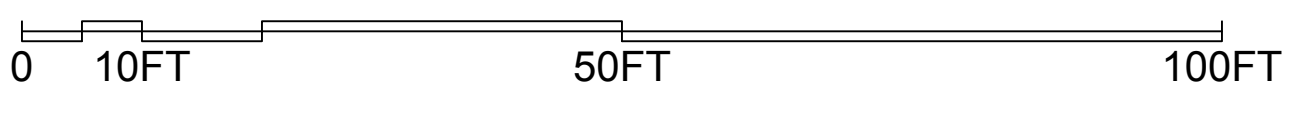
D SECTION D
A-7.02 SCALE: 1/16" = 1'-0"



E SECTION E
A-7.02 SCALE: 1/16" = 1'-0"



F SECTION F
A-7.02 SCALE: 1/16" = 1'-0"



BUILDING CODE NOTES		
BRITISH COLUMBIA BUILDING CODE 2018		
NOTE: BUILDINGS A & B ARE TO BE SEPARATED BY A FIREWALL CONFORMING TO BCBC 2018 #3.2.1.2.		
BUILDING A	3.2.2.50 GROUP C	
BUILDING B	3.2.1.2 GROUP F DIV 3	
CODE REQUIREMENTS		
BUILDING A		
3.2.2.50 (GROUP C)	SPRINKLERS REQUIRED	
	6 STOREYS MAX	
	1,500 SQM MAX IF 6 STOREYS IN BUILDING HEIGHT	
	18M HEIGHT MAX	
	COMBUSTIBLE OR NON-COMBUSTIBLE CONSTRUCTION PERMITTED	
	FLOOR ASSEMBLIES TO HAVE 1 HR FIR	
	ROOF ASSEMBLIES TO HAVE 1 HR FIR	
	LOAD BEARING WALLS, COLUMNS & ARCHES SHALL HAVE A FIR NOT LESS THAN THAT REQUIRED FOR THE SUPPORTED ASSEMBLY	
	GROUP A2 MAJOR OCCUPANCY CAN BE LOCATED BELOW THIRD FLOOR	
3.2.2.24 (GROUP A2)	SPRINKLERS REQUIRED	
	6 STOREYS MAX	
	1,500 SQM MAX IF 6 STOREYS IN BUILDING HEIGHT	
	NON-COMBUSTIBLE CONSTRUCTION PERMITTED	
	FLOOR ASSEMBLIES TO HAVE 1 HR FIR	
	ROOF ASSEMBLIES TO HAVE 1 HR FIR	
	LOAD BEARING WALLS, COLUMNS & ARCHES SHALL HAVE A FIR NOT LESS THAN THAT REQUIRED FOR THE SUPPORTED ASSEMBLY	
3.1.3.1	2 HR FIR BETWEEN MAJOR OCCUPANCIES A2 & C	
BUILDING B		
3.2.1.2 (2) & (3)	SPRINKLERS REQUIRED	
	FLOOR AND ROOF ASSEMBLIES ABOVE THE BASEMENT AND THE EXTERIOR WALLS OF THE BASEMENT ABOVE THE ADJOINING GROUND LEVEL TO BE 2 HR FIR	
BUILDING COMPLIANCE		
BUILDING A	6 STOREYS, FLOOR AREA 1,476.51 SQM	
	SPRINKLERED	
	COMBUSTIBLE & NON-COMBUSTIBLE CONSTRUCTION	
	FLOOR ASSEMBLIES TO HAVE 1 HR FIR & 2 HR FIR BETWEEN OCCUPANCIES A2 & C	
	ROOF ASSEMBLIES TO HAVE 1 HR FIR	
	LOAD BEARING WALLS, COLUMNS & ARCHES TO HAVE 1 HR FIR	
BUILDING B	ONE STOREY, FLOOR AREA 1979.80 SQM	
	SPRINKLERED	
	NON-COMBUSTIBLE CONSTRUCTION	
	LOAD BEARING WALLS, COLUMNS & ARCHES TO HAVE 2 HR FIR	
FIRE SEPARATIONS		
	FRR BCBC 2018	
HOTEL ROOM TO ROOM	60 MIN. 3.3.4.2. (1)	
HOTEL ROOM TO CORRIDOR	60 MIN. 3.3.1.4	
EXIT STAIRS	60 MIN. / 120 MIN. (PARKADE) 3.4.4.1. (1)	
SERVICE ROOMS	60 MIN. 3.6.2.1	
STORAGE ROOMS	60 MIN. 3.6.2.5	
ELEVATOR SHAFT	60 MIN. / 120 MIN. (PARKADE) 3.5.3.1(1) & TABLE 3.5.3.1.	
ELEVATOR MACHINE ROOM	120 MIN. 3.5.3.3. (2)	
VERTICAL SERVICE SPACES (DUCTS)	45 MIN. 3.6.3.1(1) & TABLE 3.6.3.1.	
LINEN CHUTE	60 MIN. 3.6.3.3(2)	
FIRE RATING OF DOORS		
BCBC 2018	PARTITION FIR	DOOR FIR
3.1.8.4.(2) & TABLE 3.1.8.4	45 OR 60 MIN	45 MIN
	90 MIN	60 MIN
	120 MIN	90 MIN
3.1.8.12(1)(a)(i)	20 MIN FIR DOOR ALLOWED BETWEEN SUITE & CORRIDOR IF PARTITION FIR IS NOT MORE THAN 1HR	
SOUND TRANSMISSION		
BCBC 2018	LOCATION	SOUND RATING
5.8.1.1.(1)	SUITE TO ANY OTHER SPACE	STC 50 OR ASTC 47
5.8.1.1.(2)	SUITE TO ELEVATOR SHAFT OR REFUSE CHUTE	STC 55
STANDPIPES, HYDRANTS, F.D. CONNECTION		
SEE DRAWINGS BY FIRE SUPPRESSION ENGINEER		
SPRINKLERS		
AS PER N.F.P.A. 13 ALL BUILDINGS A & B ARE TO BE SPRINKLERED TO N.F.P.A. 13 REQUIREMENTS SEE DRAWINGS BY FIRE SUPPRESSION ENGINEER		
FIRE STOPPING		
FIRE STOPPING OF PIPES & ELECTRICAL WIRING IN FIRE SEPARATIONS TO CONFORM TO BCBC 2018 SECTION 3.1.9.1 & CANULC-S115		
FIRE ALARMS (3.2.4.1, 3.2.4.4)		
SINCE ALL BUILDINGS ARE REQUIRED TO BE SPRINKLERED AS PER N.F.P.A. 13, ALL BUILDINGS ARE REQUIRED TO HAVE A 2-STAGE FIRE ALARM SYSTEM INSTALLED WITH THE SYSTEM CONTINUOUS THROUGHOUT THE ENTIRE BUILDING. FOR FIRE ALARM & DETECTION SYSTEM DETAILS REFER TO DWGS BY ELEC. ENG.		
ELEVATORS		
ELEVATORS TO BE DESIGNED, CONSTRUCTED AND INSTALLED TO CONFORM BCBC 2018 #3.5.2.1		
TYPE:	HYDRAULIC PASSENGER ELEVATOR	
CAPACITY:	1 @ 2100lb & 1 @ 2500lb	
SPEED:	150 FPM	
CONTROL:	DUPLEX SELECTIVE COLLECTIVE	
DOORS:	1 CAR 36" x 84" SINGLE SLIDE POWER OPERATED & 1 CAR 42" x 84" DOUBLE SLIDE POWER OPERATED	
CODE:	COMPLIANT TO B44 ELEVATOR SAFETY CODE & THE ELEVATING DEVICES SAFETY REGULATION	
ACCESS:	ALL ELEVATORS MEET BCBC 2018 #3.8.3.7.	
PATIENT STRETCHER:	AT LEAST ONE ELEVATOR HAS INSIDE DIMENSIONS THAT WILL ACCOMMODATE AND PROVIDE ADEQUATE ACCESS FOR PATIENT STRETCHER 2100MM LONG AND 910MM WIDE IN THE PRONE POSITION	
FIRE RATED PARTITION LEGEND		
---	UNRATED SMOKE SEPARATION	
---	3/4 HR	
---	1 HR	
---	2 HR	
---	2 HR FIREWALL	

NORTHLAND
PROPERTIES
We Proudly Build

This drawing and design are the property of Pacific Coast Architecture Inc. and cannot be used or reproduced in any manner without written consent. Written dimensions shall prevail over scaled dimensions. Contractors shall verify and shall be responsible for dimensions and conditions on the job and the architect shall be relieved of any variation from the dimensions and conditions as shown in this drawing.

KEY PLAN

NORTH

4	DESIGN DEVELOPMENT	5.25.2023
3	REVISED FOR STRUCTURAL COORDINATION	1.26.2022
2	REVISED PER CITY COMMENTS	12.09.2021
1	ISSUED FOR DEVELOPMENT PERMIT	11.04.2021
No.	Revision/Issue	Date mm.dd.yyyy

REGISTERED ARCHITECT
PACIFIC COAST ARCHITECTURE INC.
2023.05.26

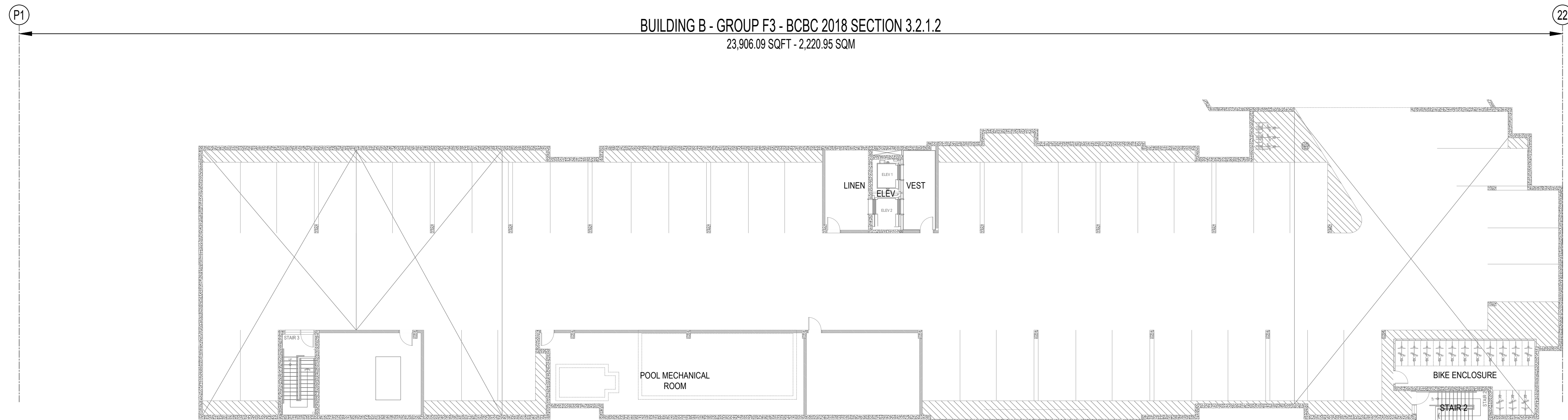
Pacific Coast Architecture Inc.
501-2292 Production Way
Burnaby, B.C.
Canada, V5H 3R3
office: 303.268.7317
fax: 303.320.9559

PROPOSED SIGNATURE HOTEL
2706 GOVERNMENT STREET
VICTORIA BRITISH COLUMBIA

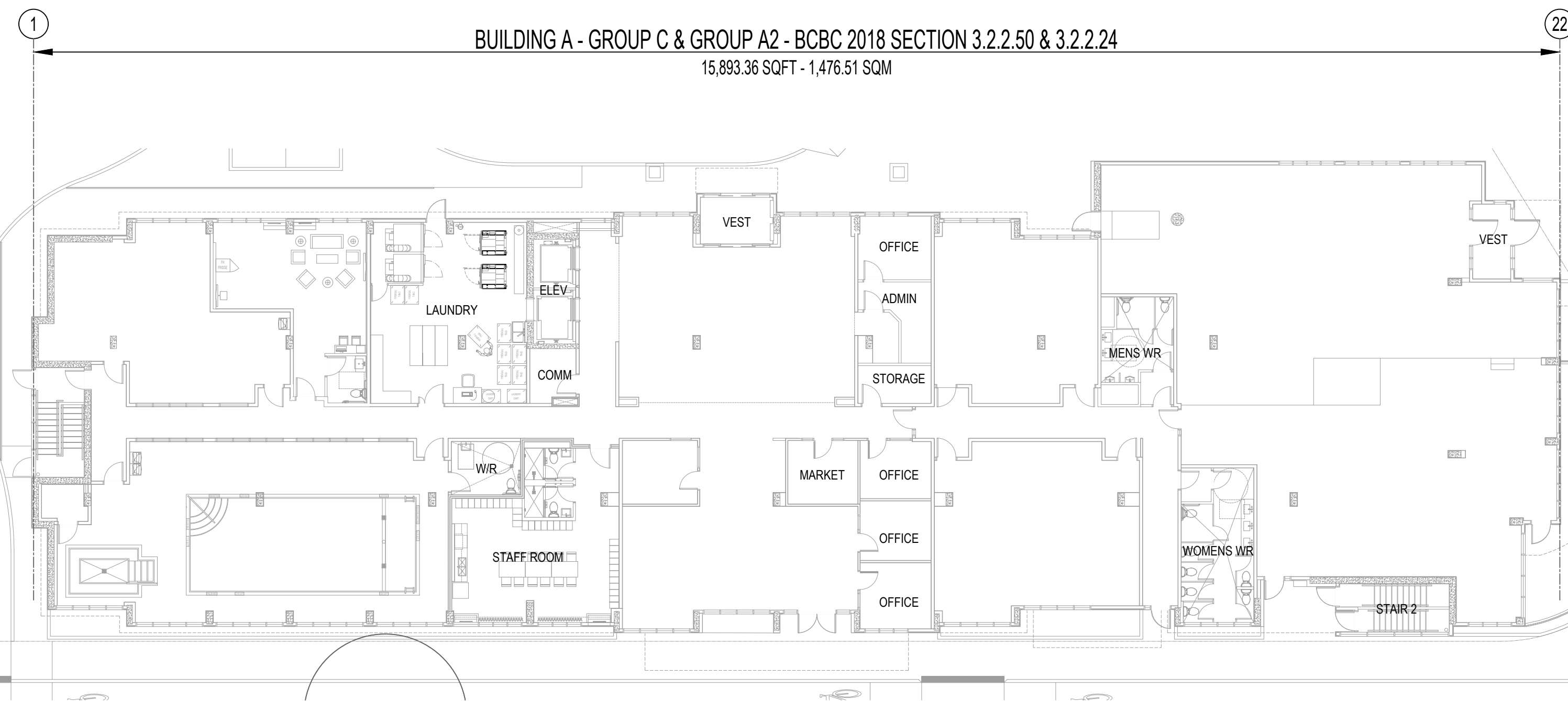
BUILDING CODE 2 of 2

Scale: 1/8" = 1'-0"
Date: April 20th, 2021
Drawn: T.Ng
Checked: P.Kwasnicky

A-7.02

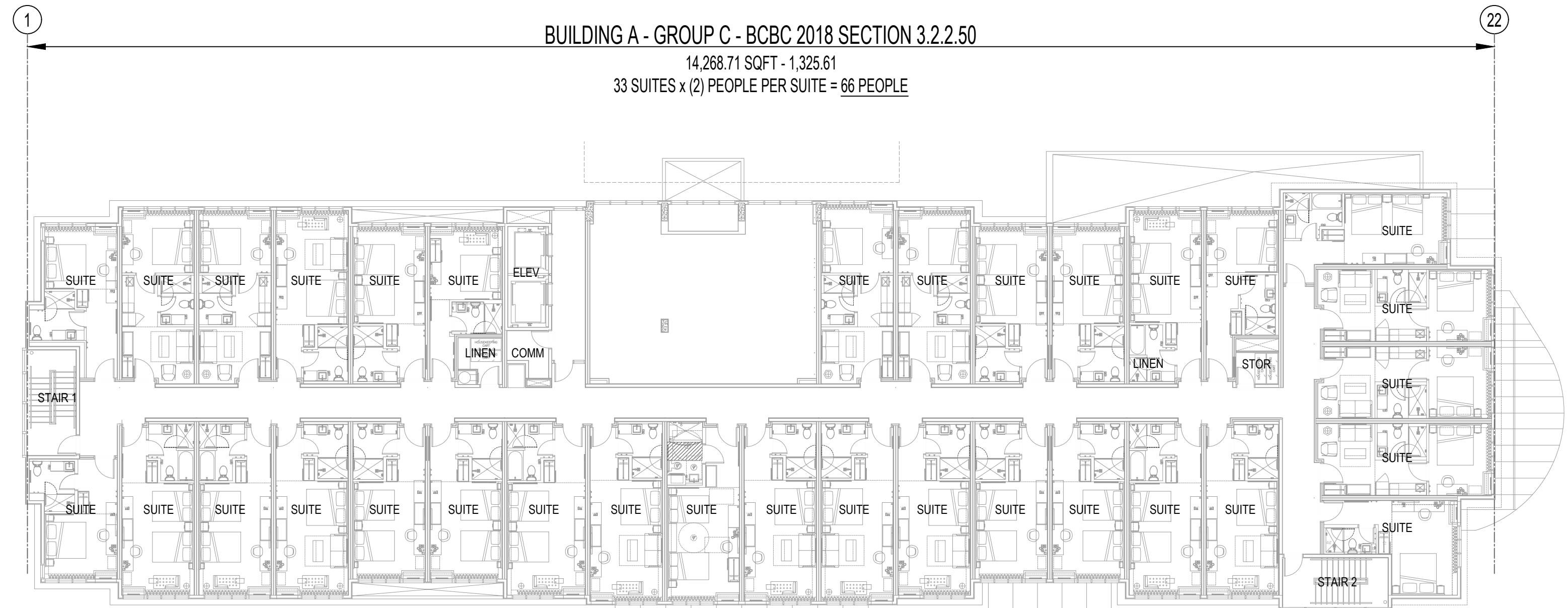


1 PARKADE PLAN
A-7.03 SCALE: 1/16" = 1'-0"

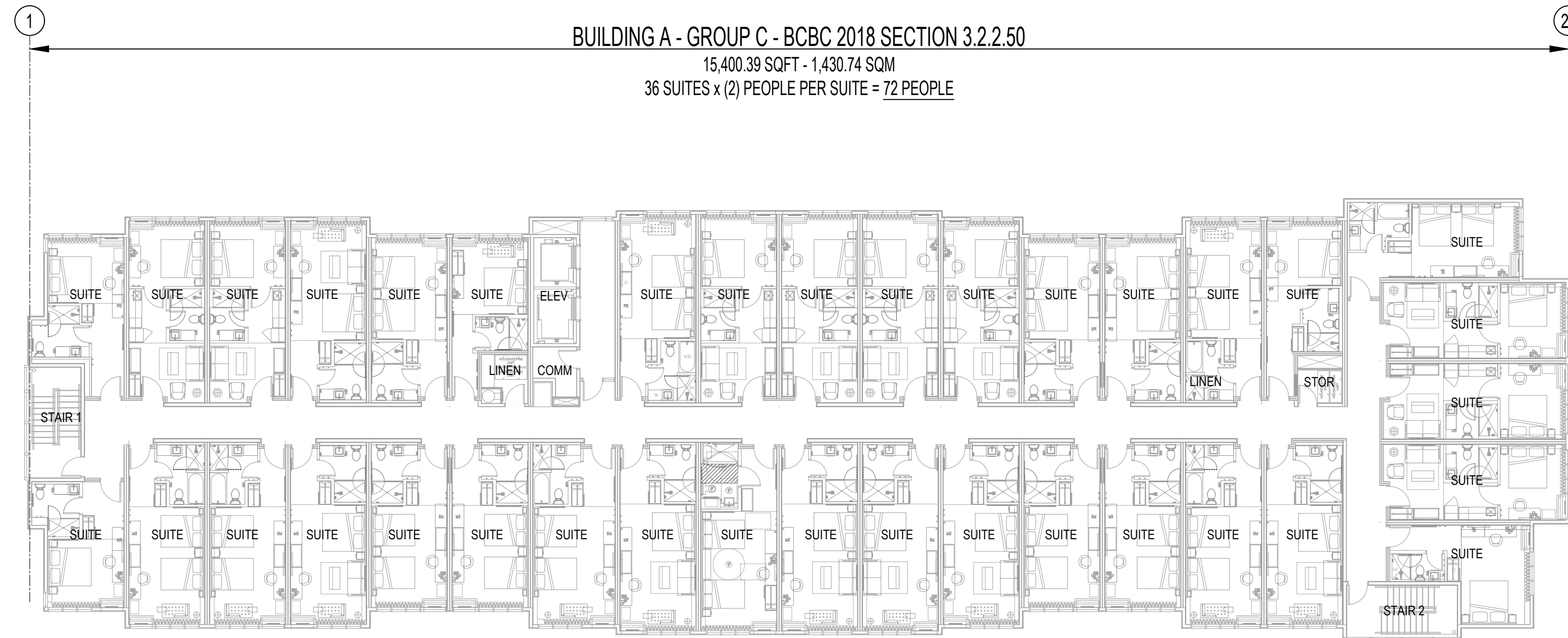


2 GROUND FLOOR PLAN
A-7.03 SCALE: 1/16" = 1'-0"

OCCUPANT LOAD CALCULATIONS			
RESTAURANT	4534.4 SQFT	421.3 SQM	150 SEATS = 150 PEOPLE
MEETING ROOM 1	697.9 SQFT	64.8 SQM / 0.75	= 86 PEOPLE
MEETING ROOM 2	890.2 SQFT	82.7 SQM / 0.75	= 110 PEOPLE
TOTAL			346 PEOPLE
WASHROOM COUNT (TABLE 3.7.2.2-A)			
173 WOMEN	7 WC REQ	8 WC + 1 UNIV. WR PROVIDED	
173 MEN	4 WC REQ	2 WC + 3 UR PROVIDED	

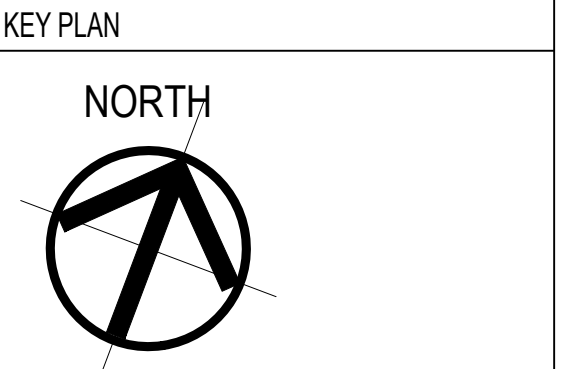
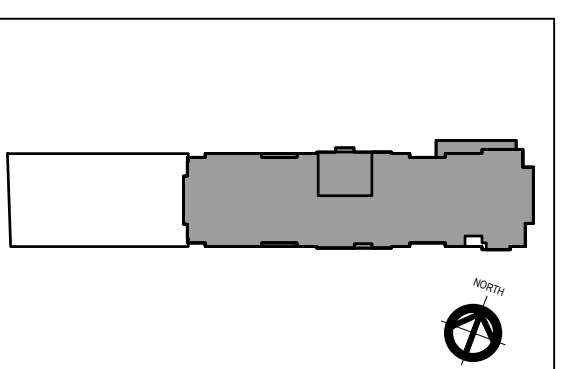


3 SECOND FLOOR PLAN
A-7.03 SCALE: 1/16" = 1'-0"



4 TYPICAL FLOOR PLAN
A-7.03 SCALE: 1/16" = 1'-0"

The drawings and design are the property of Pacific Coast Architecture Inc. and cannot be used or reproduced in any manner without written consent. Written dimensions shall have precedence over scaled dimensions. Contractors shall verify, and shall be responsible for dimensions and conditions on the job and the Architect shall be relieved of any variations from the dimensions and conditions as shown on these drawings.



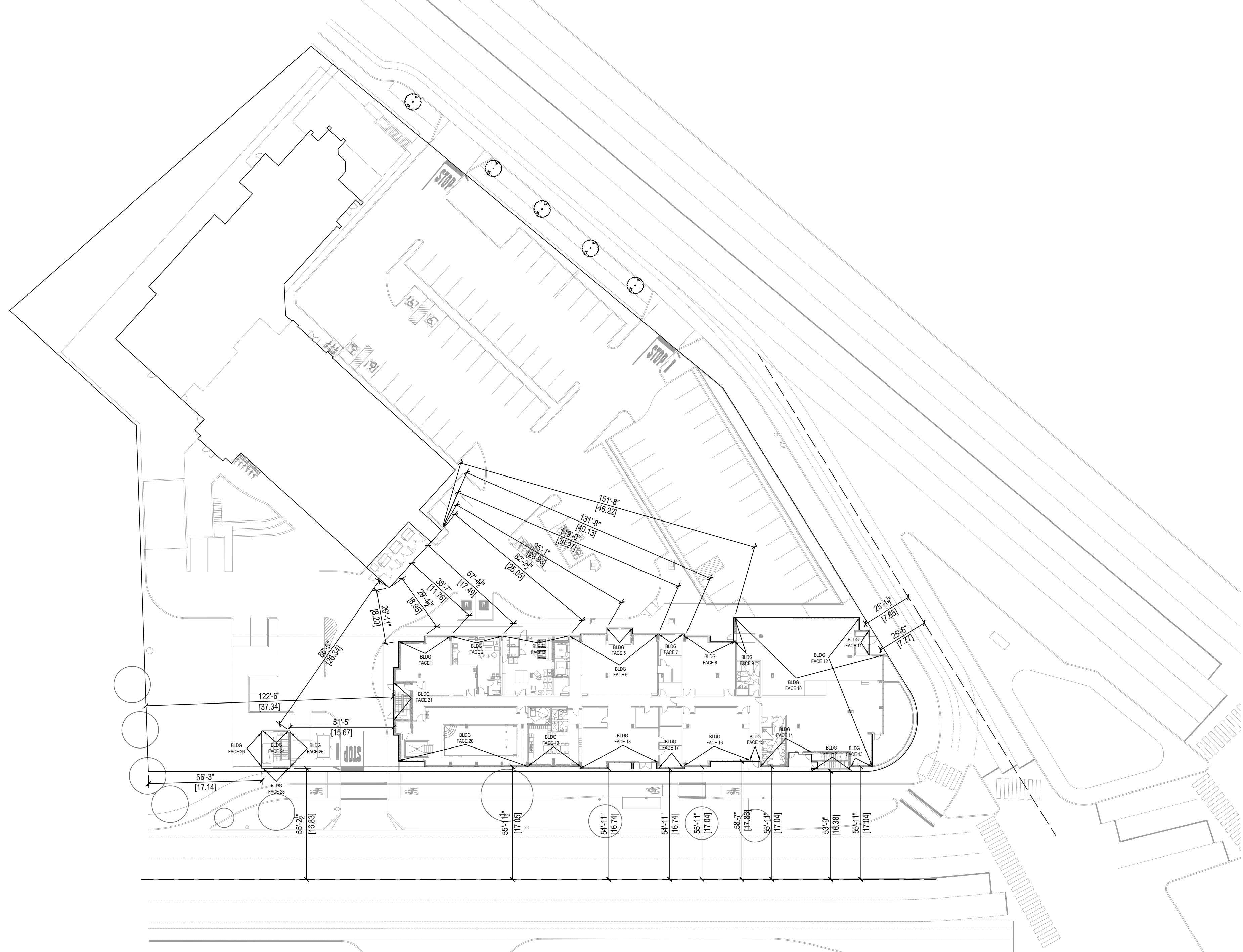
No.	Revision/Issue	Date mm.dd.yyyy
4	DESIGN DEVELOPMENT	5.25.2023
3	REVISED FOR STRUCTURAL COORDINATION	1.26.2022
2	REVISED PER CITY COMMENTS	12.09.2021
1	ISSUED FOR DEVELOPMENT PERMIT	11.04.2021

Pacific Coast
Architecture Inc.
501-2222 Production Way
Burnaby, B.C.
Canada, V5A 3R3
office 303.268.7317
fax 303.320.9559

PROPOSED SIGNATURE HOTEL
2706 GOVERNMENT STREET
VICTORIA BRITISH COLUMBIA

OCCUPANT LOAD	
Scale	1/8" = 1'-0"
Date	April 20th, 2021
Drawn	T.Ng
Checked	P.Kwasnicky

A-7.03
R



BLDG FACE	(TABLE 3.2.3.1.D.)	(C OCCUPANCY - FULLY SPRINKLERED)	BLDG FACE AREA	OPENING AREA	RATIO	LIMITING DISTANCE	ALLOWABLE OPENING	ACTUAL OPENING	CONSTRUCTION OF EXP BLDG FACE (3.2.3.7)
BLDG FACE 1	(TABLE 3.2.3.1.D.)	(C OCCUPANCY - FULLY SPRINKLERED)	24.38 SQM	15.01 SQM	1.631	4.11M (13'-5")	100%	61.52%	45MM FRR REQD. (>50% to <100% OPENING) COMBUSTIBLE OR NON-COMBUSTIBLE CONSTRUCTION COMBUSTIBLE OR NON-COMBUSTIBLE CLADDING
BLDG FACE 2	(TABLE 3.2.3.1.D.)	(C OCCUPANCY - FULLY SPRINKLERED)	24.82 SQM	13.91 SQM	1.781	5.89M (19'-3")	100%	100%	NO FIRE RATING REQ. (100% OPENING) COMBUSTIBLE OR NON-COMBUSTIBLE CONSTRUCTION COMBUSTIBLE OR NON-COMBUSTIBLE CLADDING
BLDG FACE 3	(TABLE 3.2.3.1.D.)	(C OCCUPANCY - FULLY SPRINKLERED)	32.90 SQM	2.2 SQM	15.61	8.75M (28'-8")	100%	100%	NO FIRE RATING REQ. (100% OPENING) COMBUSTIBLE OR NON-COMBUSTIBLE CONSTRUCTION COMBUSTIBLE OR NON-COMBUSTIBLE CLADDING
BLDG FACE 4	(TABLE 3.2.3.1.D.)	(C OCCUPANCY - FULLY SPRINKLERED)	9.80 SQM	8.5 SQM	1.151	14.63M (47'-8")	100%	100%	NO FIRE RATING REQ. (100% OPENING) COMBUSTIBLE OR NON-COMBUSTIBLE CONSTRUCTION COMBUSTIBLE OR NON-COMBUSTIBLE CLADDING
BLDG FACE 5	(TABLE 3.2.3.1.D.)	(C OCCUPANCY - FULLY SPRINKLERED)	9.80 SQM	8.5 SQM	1.151	14.63M (47'-8")	100%	100%	NO FIRE RATING REQ. (100% OPENING) COMBUSTIBLE OR NON-COMBUSTIBLE CONSTRUCTION COMBUSTIBLE OR NON-COMBUSTIBLE CLADDING
BLDG FACE 6	(TABLE 3.2.3.1.D.)	(A2 OCCUPANCY - FULLY SPRINKLERED)	72.88 SQM	53.18 SQM	1.371	12.53M (41'-1")	100%	100%	NO FIRE RATING REQ. (100% OPENING) COMBUSTIBLE OR NON-COMBUSTIBLE CONSTRUCTION COMBUSTIBLE OR NON-COMBUSTIBLE CLADDING
BLDG FACE 7	(TABLE 3.2.3.1.D.)	(C OCCUPANCY - FULLY SPRINKLERED)	11.89 SQM	5.2 SQM	2.271	18.14M (59'-6")	100%	100%	NO FIRE RATING REQ. (100% OPENING) COMBUSTIBLE OR NON-COMBUSTIBLE CONSTRUCTION COMBUSTIBLE OR NON-COMBUSTIBLE CLADDING
BLDG FACE 8	(TABLE 3.2.3.1.D.)	(A2 OCCUPANCY - FULLY SPRINKLERED)	24.75 SQM	16.8 SQM	1.461	20.66M (68'-1")	100%	100%	NO FIRE RATING REQ. (100% OPENING) COMBUSTIBLE OR NON-COMBUSTIBLE CONSTRUCTION COMBUSTIBLE OR NON-COMBUSTIBLE CLADDING
BLDG FACE 9	(TABLE 3.2.3.1.D.)	(A2 OCCUPANCY - FULLY SPRINKLERED)	11.30 SQM	2.2 SQM	5.141	23.11M (75'-10")	100%	100%	NO FIRE RATING REQ. (100% OPENING) COMBUSTIBLE OR NON-COMBUSTIBLE CONSTRUCTION COMBUSTIBLE OR NON-COMBUSTIBLE CLADDING
BLDG FACE 10	(TABLE 3.2.3.1.D.)	(A2 OCCUPANCY - FULLY SPRINKLERED)	77.66 SQM	25.4 SQM	3.061	7.71M (25'-4")	100%	100%	NO FIRE RATING REQ. (100% OPENING) COMBUSTIBLE OR NON-COMBUSTIBLE CONSTRUCTION COMBUSTIBLE OR NON-COMBUSTIBLE CLADDING
BLDG FACE 11	(TABLE 3.2.3.1.D.)	(A2 OCCUPANCY - FULLY SPRINKLERED)	13.04 SQM	8.12 SQM	1.611	7.65M (25'-1")	100%	100%	NO FIRE RATING REQ. (100% OPENING) COMBUSTIBLE OR NON-COMBUSTIBLE CONSTRUCTION COMBUSTIBLE OR NON-COMBUSTIBLE CLADDING
BLDG FACE 12	(TABLE 3.2.3.1.D.)	(A2 OCCUPANCY - FULLY SPRINKLERED)	62.00 SQM	35.0 SQM	1.771	17.71M (58'-1")	100%	100%	NO FIRE RATING REQ. (100% OPENING) COMBUSTIBLE OR NON-COMBUSTIBLE CONSTRUCTION COMBUSTIBLE OR NON-COMBUSTIBLE CLADDING
BLDG FACE 13	(TABLE 3.2.3.1.D.)	(A2 OCCUPANCY - FULLY SPRINKLERED)	10.06 SQM	5.9 SQM	1.711	17.04M (56'-1")	100%	100%	NO FIRE RATING REQ. (100% OPENING) COMBUSTIBLE OR NON-COMBUSTIBLE CONSTRUCTION COMBUSTIBLE OR NON-COMBUSTIBLE CLADDING
BLDG FACE 14	(TABLE 3.2.3.1.D.)	(A2 OCCUPANCY - FULLY SPRINKLERED)	24.86 SQM	11.5 SQM	2.161	17.04M (56'-1")	100%	100%	NO FIRE RATING REQ. (100% OPENING) COMBUSTIBLE OR NON-COMBUSTIBLE CONSTRUCTION COMBUSTIBLE OR NON-COMBUSTIBLE CLADDING
BLDG FACE 15	(TABLE 3.2.3.1.D.)	(C OCCUPANCY - FULLY SPRINKLERED)	5.07 SQM	3.5 SQM	1.451	17.86M (58'-7")	100%	100%	NO FIRE RATING REQ. (100% OPENING) COMBUSTIBLE OR NON-COMBUSTIBLE CONSTRUCTION COMBUSTIBLE OR NON-COMBUSTIBLE CLADDING
BLDG FACE 16	(TABLE 3.2.3.1.D.)	(A2 OCCUPANCY - FULLY SPRINKLERED)	32.11 SQM	16.8 SQM	1.901	17.04M (56'-1")	100%	100%	NO FIRE RATING REQ. (100% OPENING) COMBUSTIBLE OR NON-COMBUSTIBLE CONSTRUCTION COMBUSTIBLE OR NON-COMBUSTIBLE CLADDING
BLDG FACE 17	(TABLE 3.2.3.1.D.)	(C OCCUPANCY - FULLY SPRINKLERED)	11.89 SQM	5.2 SQM	2.271	16.74M (54'-11")	100%	100%	NO FIRE RATING REQ. (100% OPENING) COMBUSTIBLE OR NON-COMBUSTIBLE CONSTRUCTION COMBUSTIBLE OR NON-COMBUSTIBLE CLADDING
BLDG FACE 18	(TABLE 3.2.3.1.D.)	(C OCCUPANCY - FULLY SPRINKLERED)	37.81 SQM	24.5 SQM	1.511	18.74M (61'-4")	100%	100%	NO FIRE RATING REQ. (100% OPENING) COMBUSTIBLE OR NON-COMBUSTIBLE CONSTRUCTION COMBUSTIBLE OR NON-COMBUSTIBLE CLADDING
BLDG FACE 19	(TABLE 3.2.3.1.D.)	(C OCCUPANCY - FULLY SPRINKLERED)	25.83 SQM	40.9 SQM	1.581	17.05M (55'-11")	100%	100%	NO FIRE RATING REQ. (100% OPENING) COMBUSTIBLE OR NON-COMBUSTIBLE CONSTRUCTION COMBUSTIBLE OR NON-COMBUSTIBLE CLADDING
BLDG FACE 20	(TABLE 3.2.3.1.D.)	(C OCCUPANCY - FULLY SPRINKLERED)	63.18 SQM	49.9 SQM	1.261	16.83M (55'-3")	100%	100%	NO FIRE RATING REQ. (100% OPENING) COMBUSTIBLE OR NON-COMBUSTIBLE CONSTRUCTION COMBUSTIBLE OR NON-COMBUSTIBLE CLADDING
BLDG FACE 21	(TABLE 3.2.3.1.D.)	(C OCCUPANCY - FULLY SPRINKLERED)	99.84 SQM	92.4 SQM	1.081	37.34M (122'-8")	100%	100%	NO FIRE RATING REQ. (100% OPENING) COMBUSTIBLE OR NON-COMBUSTIBLE CONSTRUCTION COMBUSTIBLE OR NON-COMBUSTIBLE CLADDING
BLDG FACE 22	(TABLE 3.2.3.1.D.)	(C OCCUPANCY - FULLY SPRINKLERED)	103.41 SQM	90.4 SQM	1.141	16.38M (53'-9")	100%	100%	NO FIRE RATING REQ. (100% OPENING) COMBUSTIBLE OR NON-COMBUSTIBLE CONSTRUCTION COMBUSTIBLE OR NON-COMBUSTIBLE CLADDING
BLDG FACE 23	(TABLE 3.2.3.1.D.)	(C OCCUPANCY - FULLY SPRINKLERED)	13.38 SQM	5.94 SQM	2.251	17.14M (56'-3")	100%	100%	NO FIRE RATING REQ. (100% OPENING) COMBUSTIBLE OR NON-COMBUSTIBLE CONSTRUCTION COMBUSTIBLE OR NON-COMBUSTIBLE CLADDING
BLDG FACE 24	(TABLE 3.2.3.1.D.)	(C OCCUPANCY - FULLY SPRINKLERED)	13.38 SQM	5.94 SQM	2.251	17.14M (56'-3")	100%	100%	NO FIRE RATING REQ. (100% OPENING) COMBUSTIBLE OR NON-COMBUSTIBLE CONSTRUCTION COMBUSTIBLE OR NON-COMBUSTIBLE CLADDING
BLDG FACE 25	(TABLE 3.2.3.1.D.)	(C OCCUPANCY - FULLY SPRINKLERED)	18.10 SQM	14.13 SQM	1.281	17.14M (56'-3")	100%	100%	NO FIRE RATING REQ. (100% OPENING) COMBUSTIBLE OR NON-COMBUSTIBLE CONSTRUCTION COMBUSTIBLE OR NON-COMBUSTIBLE CLADDING
BLDG FACE 26	(TABLE 3.2.3.1.D.)	(C OCCUPANCY - FULLY SPRINKLERED)	14.13 SQM	14.13 SQM	1.001	17.14M (56'-3")	100%	100%	NO FIRE RATING REQ. (100% OPENING) COMBUSTIBLE OR NON-COMBUSTIBLE CONSTRUCTION COMBUSTIBLE OR NON-COMBUSTIBLE CLADDING

NORTHLAND
PROPERTIES
We Proudly Build

This drawing and design are the property of Pacific Coast Architecture Inc. and cannot be used or reproduced in any manner without written consent. Written dimensions shall prevail over verbal dimensions. Contractors shall verify and shall be responsible for dimensions and conditions on the job and the architect shall be relieved of any variation from the dimensions and conditions as shown on this drawing.

KEY PLAN

NORTH

REGISTERED ARCHITECT
PACIFIC COAST ARCHITECTURE INC.
2023.05.26

No.	Revision/Issue	Date mm.dd.yyyy
4	DESIGN DEVELOPMENT	5.25.2023
3	REVISED FOR STRUCTURAL COORDINATION	1.26.2022
3	REVISED PER CITY COMMENTS	12.09.2021
2	REVISED RESTAURANT	11.24.2021
1	ISSUED FOR DEVELOPMENT PERMIT	11.04.2021

Pacific Coast
Architecture Inc.

501-2322 Production Way
Burnaby, B.C.
Canada, V5H 3K3

office: 303.528.7317
fax: 303.520.9559

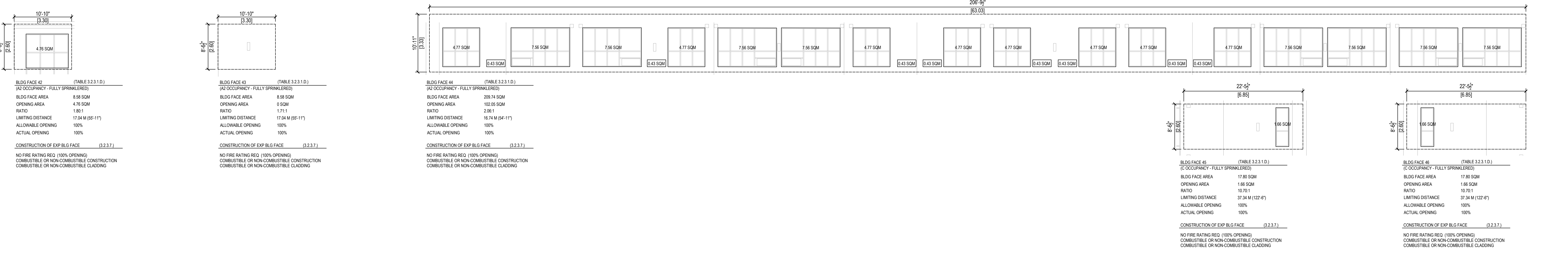
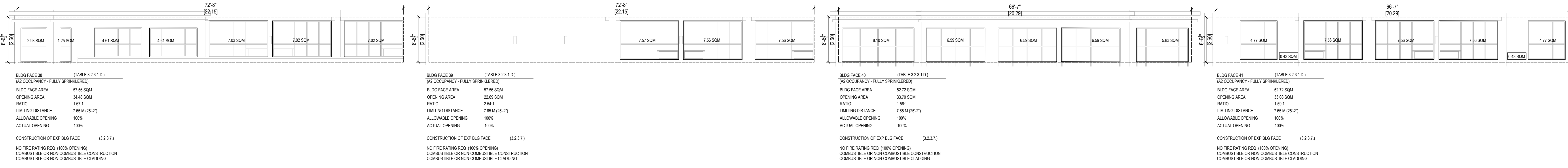
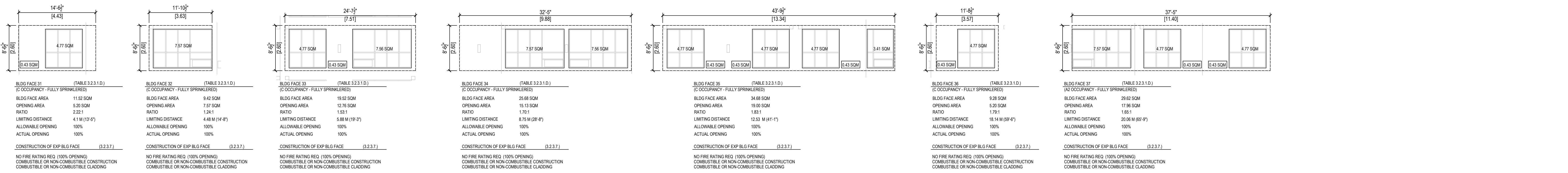
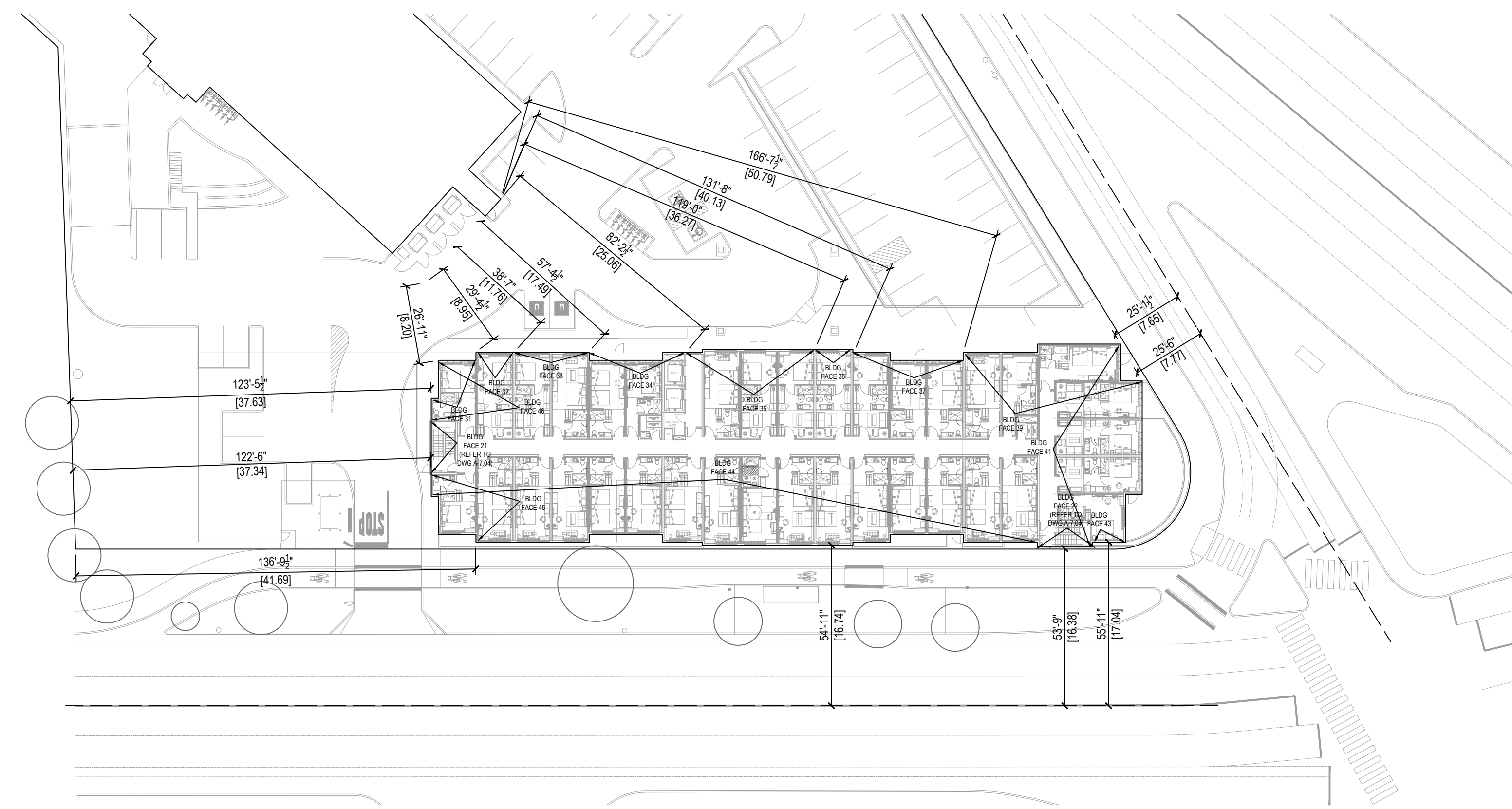
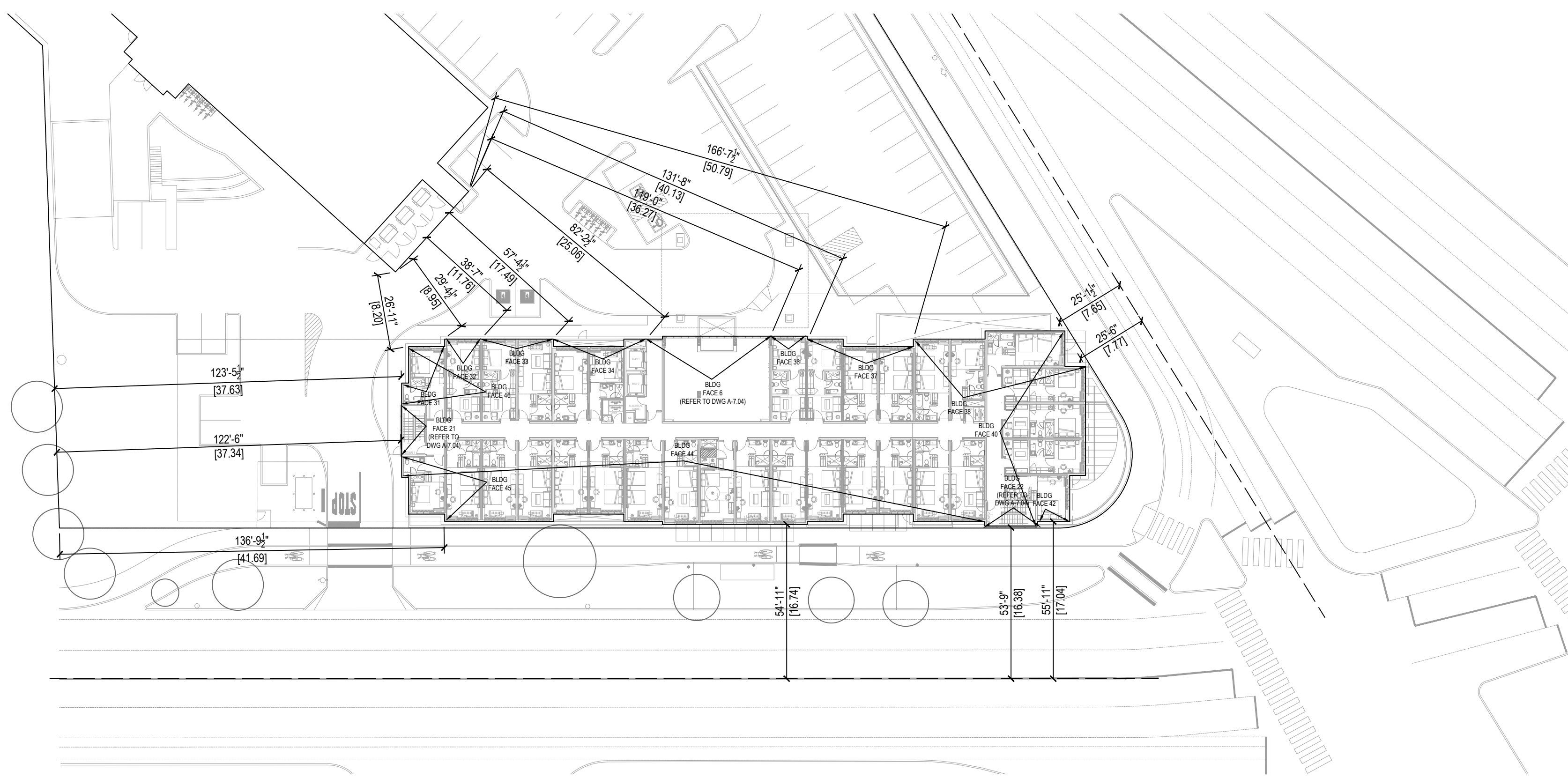
PROPOSED SIGNATURE HOTEL
2706 GOVERNMENT STREET
VICTORIA BRITISH COLUMBIA

SPATIAL SEPARATION 1 OF 2

Scale 1/8" = 1'-0"
Date April 20th, 2021
Drawn T.Ng
Checked P.Kwasnicky

A-7.04

R



NORTHLAND
PROPERTIES
We Proudly Build

This drawing and all other drawings are the property of Pacific Coast Architecture Inc. and cannot be used or reproduced in any manner without written consent. Written dimensions shall prevail over scaled dimensions. Contractors shall verify and shall be responsible for dimensions and conditions on the job and the Architect shall be relieved of any variation from the dimensions and conditions as shown in this drawing.

KEY PLAN

NORTH

2023.05.26

2	DESIGN DEVELOPMENT	5.25.2023
1	ISSUED FOR DEVELOPMENT PERMIT	11.04.2021
No.	Revision/Issue	Date mm.dd.yyyy

Pacific Coast
Architecture Inc.

501-2292 Production Way
Burnaby, B.C.
Canada, V5A 3R3

office 303.268.7317
fax 303.920.9559

PROPOSED SIGNATURE HOTEL
2706 GOVERNMENT STREET
VICTORIA BRITISH COLUMBIA

SPATIAL SEPARATION 2 OF 2

Scale	1/8" = 1'-0"	A-7.05
Date	April 20th, 2021	
Drawn	T.Ng	
Checked	P.Kwasnicky	

HARDWARE SETS SCHEDULE

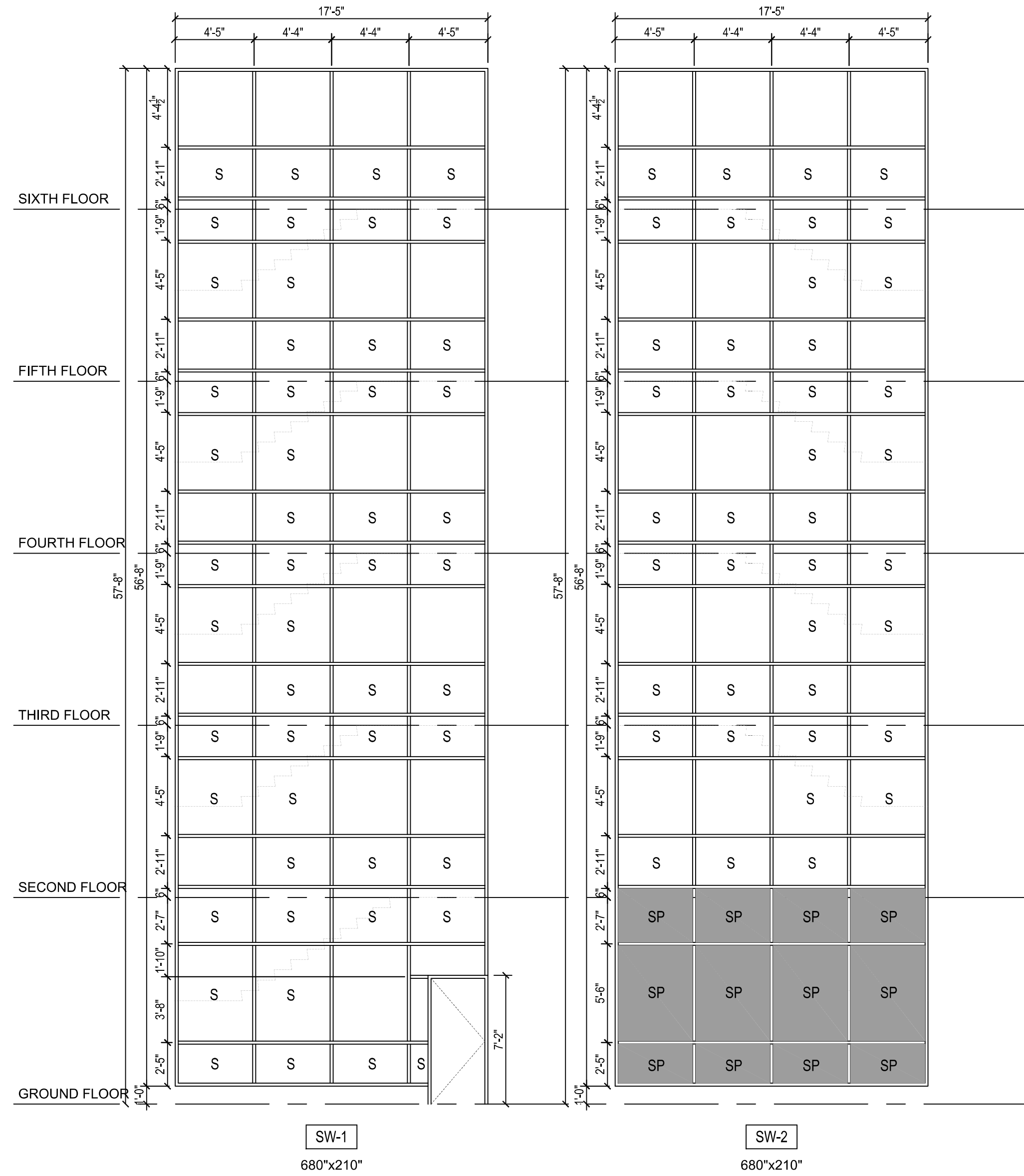
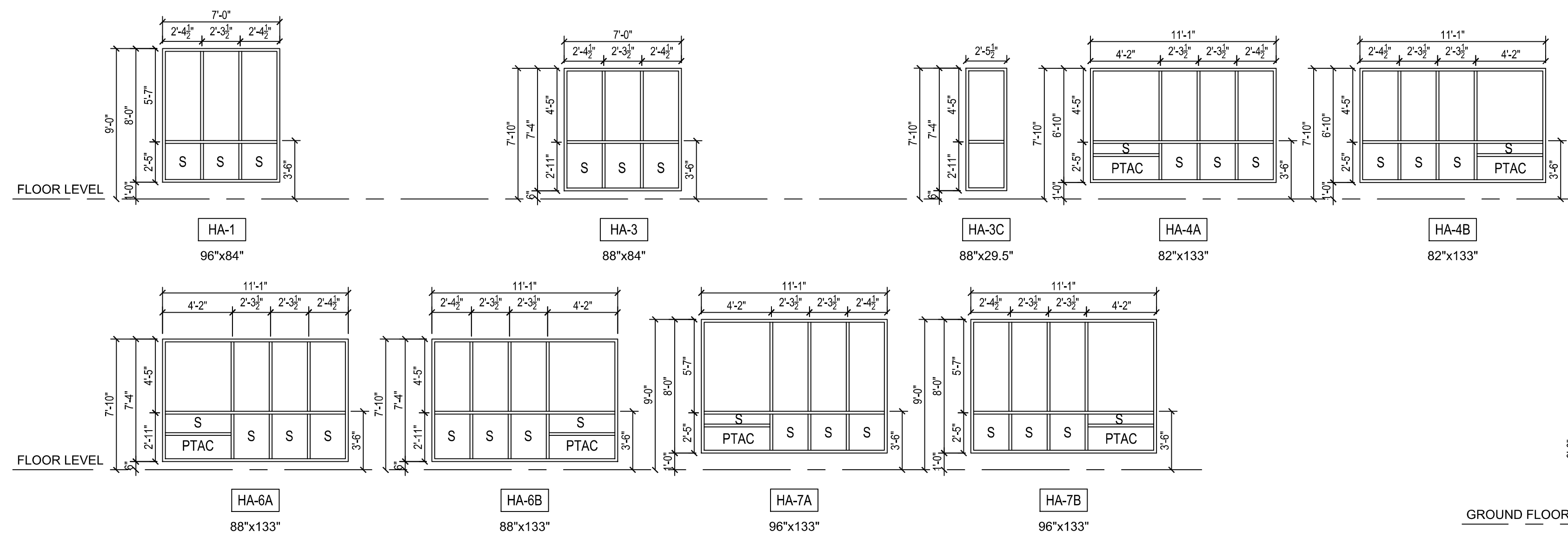
DOOR	LOCATION FROM	LOCATION TO	HW	WALL	TYPE	WIDTH	HEIGHT	FIN	MATERIAL	FINISH	FRAME	FINISH	RATING	LOCK	ELEC STRIKER	CLOSER	HOW SET	COMMENTS	
85-01	PARKADE (85-01)	BICYCLE ENCLOSURE				30	70	BY MANUF.					0						
85-02	PARKADE (85-01)	MAIN ELEC RM (85-02)				30	70	1-3/4"					45				N		
85-03	PARKADE (85-01)	MAIN MECH RM (85-03)				30	70	1-3/4"					45				N		
85-04	PARKADE (85-01)	POOL MECH RM (85-04)				30	70	1-3/4"					45				N		
85-05	PARKADE (85-01)	LINE RM (85-05)				30	70	1-3/4"					45				N		
85-06	PARKADE (85-01)	ELEV VEST (85-06)				30	70	1-3/4"					45				N		
L-01	EXTERIOR	LOBBY (L-01)				60	70	1-3/4"					0				Y		AUTOMATIC DOOR OPERATOR
L-02A	EXTERIOR	VESTIBULE (L-02)				60	70	1-3/4"					0				Y		
L-02B	EXTERIOR	VESTIBULE (L-02)				60	70	1-3/4"					0				Y		
L-03	EXTERIOR	LOBBY (L-03)				60	70	1-3/4"					0				Y		
L-04	EXTERIOR	LOBBY (L-04)				30	70	1-3/4"					0				Y		
L-05	EXTERIOR	LOBBY (L-05)				30	70	1-3/4"					0				Y		
L-06	EXTERIOR	LOBBY (L-06)				30	70	1-3/4"					0				Y		
L-07	EXTERIOR	LOBBY (L-07)				30	70	1-3/4"					0				Y		
L-08	EXTERIOR	LOBBY (L-08)				30	70	1-3/4"					0				Y		
L-09	EXTERIOR	LOBBY (L-09)				30	70	1-3/4"					0				Y		
L-10	EXTERIOR	LOBBY (L-10)				30	70	1-3/4"					0				Y		
L-11	EXTERIOR	LOBBY (L-11)				30	70	1-3/4"					0				Y		
L-12	EXTERIOR	LOBBY (L-12)				30	70	1-3/4"					0				Y		
L-13	EXTERIOR	LOBBY (L-13)				30	70	1-3/4"					0				Y		
L-14	EXTERIOR	LOBBY (L-14)				30	70	1-3/4"					0				Y		
L-15	EXTERIOR	LOBBY (L-15)				30	70	1-3/4"					0				Y		
L-16	EXTERIOR	LOBBY (L-16)				30	70	1-3/4"					0				Y		
L-17	EXTERIOR	LOBBY (L-17)				30	70	1-3/4"					0				Y		
L-18	EXTERIOR	LOBBY (L-18)				30	70	1-3/4"					0				Y		
L-19	EXTERIOR	LOBBY (L-19)				30	70	1-3/4"					0				Y		
L-20	EXTERIOR	LOBBY (L-20)				30	70	1-3/4"					0				Y		
L-21	EXTERIOR	LOBBY (L-21)				30	70	1-3/4"					0				Y		
L-22	EXTERIOR	LOBBY (L-22)				30	70	1-3/4"					0				Y		
L-23	EXTERIOR	LOBBY (L-23)				30	70	1-3/4"					0				Y		
L-24	EXTERIOR	LOBBY (L-24)				30	70	1-3/4"					0				Y		
L-25	EXTERIOR	LOBBY (L-25)				30	70	1-3/4"					0				Y		
L-26	EXTERIOR	LOBBY (L-26)				30	70	1-3/4"					0				Y		
L-27	EXTERIOR	LOBBY (L-27)				30	70	1-3/4"					0				Y		
L-28	EXTERIOR	LOBBY (L-28)				30	70	1-3/4"					0				Y		
L-29	EXTERIOR	LOBBY (L-29)				30	70	1-3/4"					0				Y		
L-30	EXTERIOR	LOBBY (L-30)				30	70	1-3/4"					0				Y		
L-31	EXTERIOR	LOBBY (L-31)				30	70	1-3/4"					0				Y		
L-32	EXTERIOR	LOBBY (L-32)				30	70	1-3/4"					0				Y		
L-33	EXTERIOR	LOBBY (L-33)				30	70	1-3/4"					0				Y		
L-34	EXTERIOR	LOBBY (L-34)				30	70	1-3/4"					0				Y		
L-35	EXTERIOR	LOBBY (L-35)				30	70	1-3/4"					0				Y		
L-36	EXTERIOR	LOBBY (L-36)				30	70	1-3/4"					0				Y		
L-37	EXTERIOR	LOBBY (L-37)				30	70	1-3/4"					0				Y		
L-38	EXTERIOR	LOBBY (L-38)				30	70	1-3/4"					0				Y		
L-39	EXTERIOR	LOBBY (L-39)				30	70	1-3/4"					0				Y		
L-40	EXTERIOR	LOBBY (L-40)				30	70	1-3/4"					0				Y		
L-41	EXTERIOR	LOBBY (L-41)				30	70	1-3/4"					0				Y		
L-42	EXTERIOR	LOBBY (L-42)				30	70	1-3/4"					0				Y		
L-43	EXTERIOR	LOBBY (L-43)				30	70	1-3/4"					0				Y		
L-44	EXTERIOR	LOBBY (L-44)				30	70	1-3/4"					0				Y		
L-45	EXTERIOR	LOBBY (L-45)				30	70	1-3/4"					0				Y		
L-46	EXTERIOR	LOBBY (L-46)				30	70	1-3/4"					0				Y		
L-47	EXTERIOR	LOBBY (L-47)				30	70	1-3/4"					0				Y		
L-48	EXTERIOR	LOBBY (L-48)				30	70	1-3/4"					0				Y		
L-49	EXTERIOR	LOBBY (L-49)				30	70	1-3/4"					0				Y		
L-50	EXTERIOR	LOBBY (L-50)				30	70	1-3/4"					0				Y		
L-51	EXTERIOR	LOBBY (L-51)				30	70	1-3/4"					0				Y		
L-52	EXTERIOR	LOBBY (L-52)				30	70	1-3/4"					0				Y		
L-53	EXTERIOR	LOBBY (L-53)				30	70	1-3/4"					0				Y		
L-54	EXTERIOR	LOBBY (L-54)				30	70	1-3/4"					0				Y		
L-55	EXTERIOR	LOBBY (L-55)				30	70	1-3/4"					0				Y		
L-56	EXTERIOR	LOBBY (L-56)				30	70	1-3/4"					0				Y		
L-57	EXTERIOR	LOBBY (L-57)				30	70	1-3/4"					0				Y		
L-58	EXTERIOR	LOBBY (L-58)				30	70	1-3/4"					0				Y		
L-59	EXTERIOR	LOBBY (L-59)				30	70	1-3/4"					0				Y		
L-60	EXTERIOR	LOBBY (L-60)				30	70	1-3/4"					0				Y		
L-61	EXTERIOR	LOBBY (L-61)				30	70	1-3/4"					0				Y		
L-62	EXTERIOR	LOBBY (L-62)				30	70	1-3/4"					0				Y		
L-63	EXTERIOR	LOBBY (L-63)				30	70	1-3/4"					0				Y		
L-64	EXTERIOR	LOBBY (L-64)				30	70	1-3/4"					0				Y		
L-65	EXTERIOR	LOBBY (L-65)				30	70	1-3/4"					0				Y		
L-66	EXTERIOR	LOBBY (L-66)				30	70	1-3/4"					0				Y		
L-67	EXTERIOR	LOBBY (L-67)				30	70	1-3/4"					0				Y		
L-68	EXTERIOR	LOBBY (L-68)				30	70	1-3/4"					0				Y		
L-69	EXTERIOR	LOBBY (L-69)				30	70	1-3/4"					0				Y		
L-70	EXTERIOR	LOBBY (L-70)				30	70	1-3/4"					0				Y		
L-71	EXTERIOR	LOBBY (L-71)				30	70	1-3/4"					0				Y		
L-72	EXTERIOR	LOBBY (L-72)				30	70	1-3/4"					0				Y		
L-73	EXTERIOR	LOBBY (L-73)				30	70	1-3/4"					0				Y		
L-74	EXTERIOR	LOBBY (L-74)				30	70	1-3/4"					0				Y		
L-75	EXTERIOR	LOBBY (L-75)				30	70	1-3/4"					0				Y		
L-76	EXTERIOR	LOBBY (L-76)				30	70	1-3/4"					0				Y		
L-77	EXTERIOR	LOBBY (L-77)				30	70	1-3/4"					0				Y		
L-78	EXTERIOR	LOBBY (L-78)				30	70	1-3/4"					0				Y		
L-79	EXTERIOR	LOBBY (L-79)				30	70	1-3/4"					0				Y		
L-80	EXTERIOR	LOBBY (L-80)				30	70	1-3/4"					0				Y		
L-81	EXTERIOR	LOBBY (L-81)				30	70	1-3/4"					0				Y		
L-82	EXTERIOR	LOBBY (L-82)				30	70	1-3/4"					0				Y		
L-83	EXTERIOR	LOBBY (L-83)				30	70	1-3/4"					0				Y		
L-84	EXTERIOR	LOBBY (L-84)				30	70	1-3/4"					0				Y		
L-85	EXTERIOR	LOBBY (L-85)				30	70	1-3/4"					0				Y		
L-86	EXTERIOR	LOBBY (L-86)				30	70	1-3/4"					0				Y		
L-87	EXTERIOR	LOBBY (L-87)				30	70	1-3/4"					0				Y		
L-88	EXTERIOR	LOBBY (L-88)				30	70	1-3/4"					0				Y		
L-89	EXTERIOR	LOBBY (L-89)				30	70	1-3/4"					0				Y		
L-90	EXTERIOR	LOBBY (L-90)				30	70	1-3/4"					0				Y		
L-91	EXTERIOR	LOBBY (L-91)				30	70	1-3/4"					0				Y		
L-92	EXTERIOR	LOBBY (L-92)				30	70	1-3/4"					0				Y		
L-93	EXTERIOR	LOBBY (L-93)				30	70	1-3/4"					0				Y		
L-94	EXTERIOR	LOBBY (L-94)				30	70	1-3/4"					0				Y		
L-95	EXTERIOR	LOBBY (L-95)				30	70	1-3/4"					0				Y		
L-96	EXTERIOR	LOBBY (L-96)				30	7												

HOTEL SUITE WINDOWS

DOUBLE GLAZED U.N.O.

HA = HOTEL ROOM WINDOWS TO BE CLEAR GLAZED IN BLACK ALUMINUM FRAMES AND HAVE A MINIMUM STC RATING OF 34
S = DENOTES SAFETY GLASS REQ'D

SP = DENOTES INSULATED SPANDREL PANEL COLOR TO BE CONFIRMED

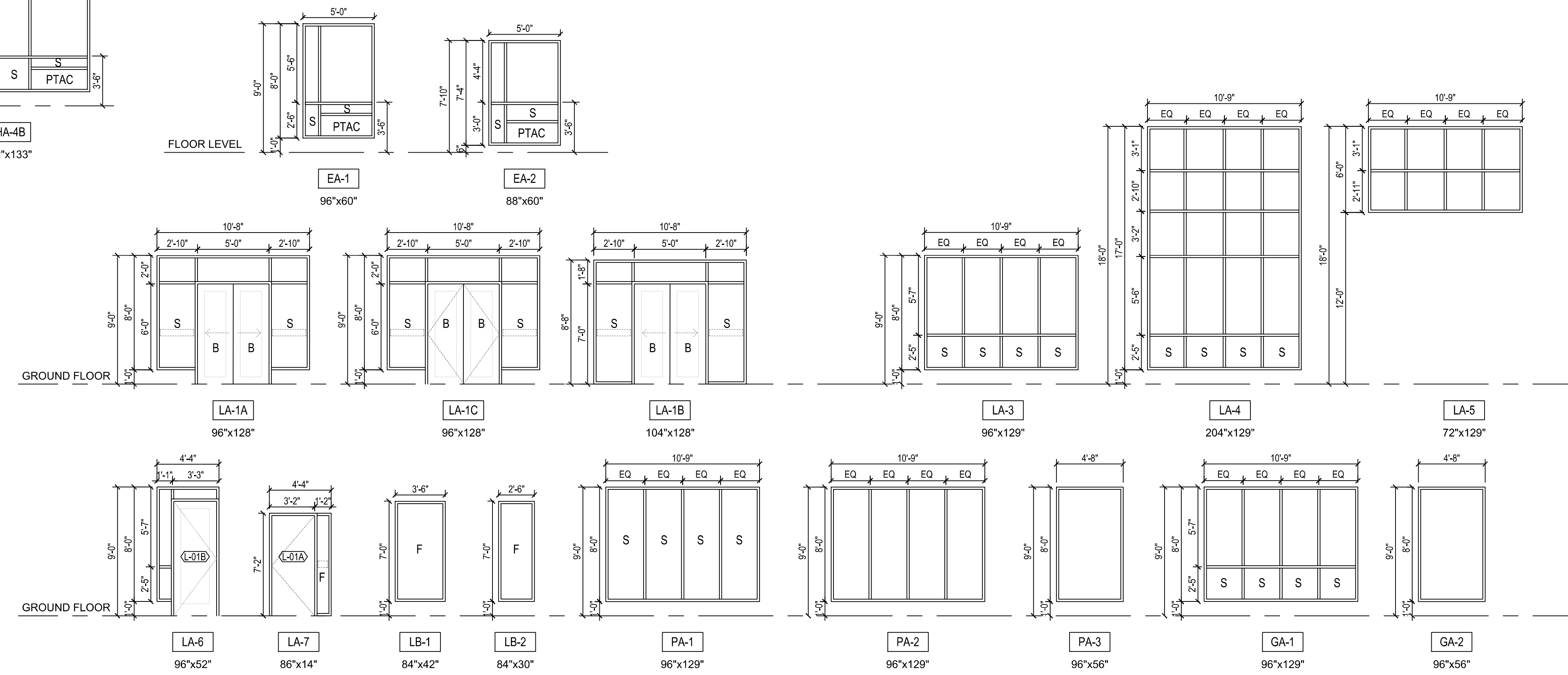


HOTEL COMMON WINDOWS

DOUBLE GLAZED U.N.O.

EA = HOTEL ELEVATOR WINDOWS TO BE GREY FLOAT TINTED GLASS IN BLACK ALUMINUM FRAMES
LA = HOTEL LOBBY WINDOWS TO BE GREY FLOAT TINTED GLASS IN BLACK ALUMINUM FRAMES
OA = HOTEL OFFICE WINDOWS TO BE GREY FLOAT TINTED GLASS IN BLACK ALUMINUM FRAMES
S = DENOTES SAFETY GLASS REQ'D

F = DENOTES FIRELITE GLAZING AND STEEL FRAMES REQ'D
B = DENOTES BREAK AWAY GRAPHICS REQ'D
PA = HOTEL POOL WINDOWS TO BE TRIPLE GLAZED AND GREY FLOAT TINTED GLASS IN BLACK ALUMINUM FRAMES
GA = HOTEL GYM WINDOWS TO BE GREY FLOAT TINTED GLASS IN BLACK ALUMINUM FRAMES
SP = DENOTES INSULATED SPANDREL PANEL COLOR TO BE CONFIRMED

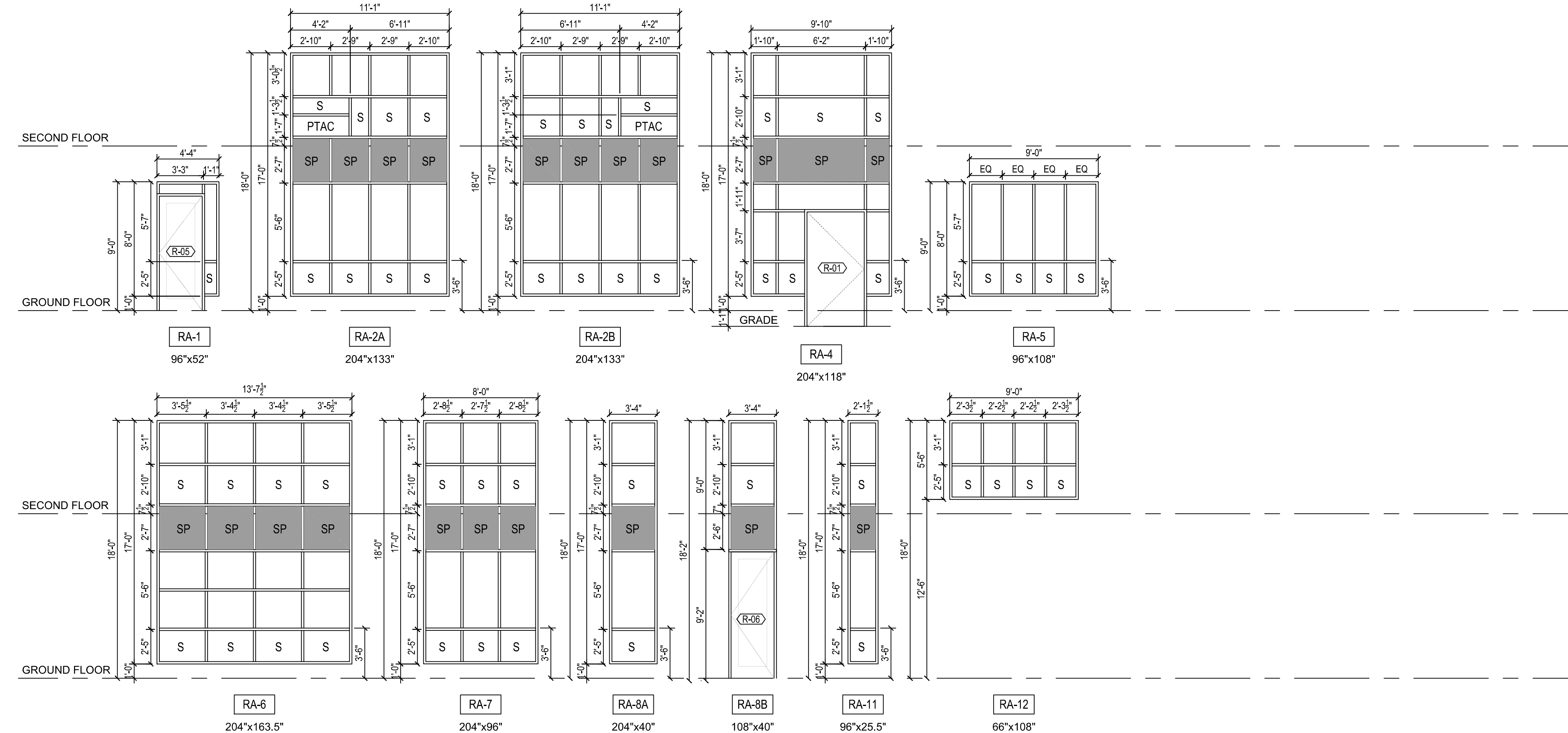


RESTAURANT WINDOWS

DOUBLE GLAZED U.N.O.

RA = RESTAURANT WINDOWS TO BE GREY FLOAT TINTED GLASS IN BLACK ALUMINUM FRAMES
S = DENOTES SAFETY GLASS REQ'D

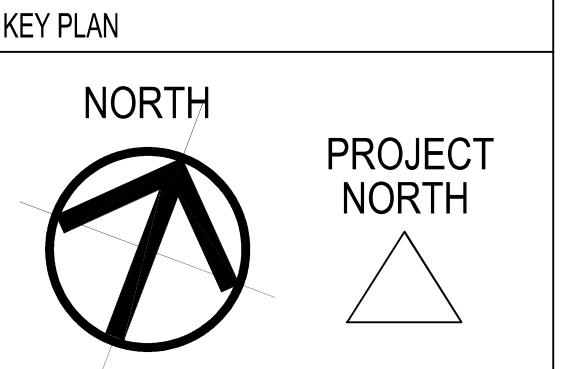
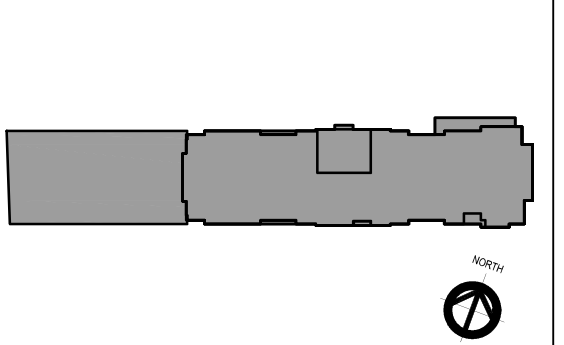
SP = DENOTES INSULATED SPANDREL PANEL COLOR TO BE CONFIRMED



ALL EXTERIOR WINDOWS TO BE DOUBLE GLAZED IN INSULATED AND THERMALLY BROKEN FRAMES U.N.O.



The drawings and design are used and shall in all instances remain the property of Pacific Coast Architecture Inc. and cannot be used or reproduced in any manner without written consent. We warrant drawings shall have proceeded over valid dimensions. Contractors shall verify and shall be responsible for dimensions and conditions on the job, and the Architect shall not be responsible for any variations from the dimensions and conditions as shown on the drawings.



JUNE 28th, 2022

1	ISSUED FOR DEVELOPMENT PERMIT	11.04.2021
No.	Revision/Issue	Date mm.dd.yyyy

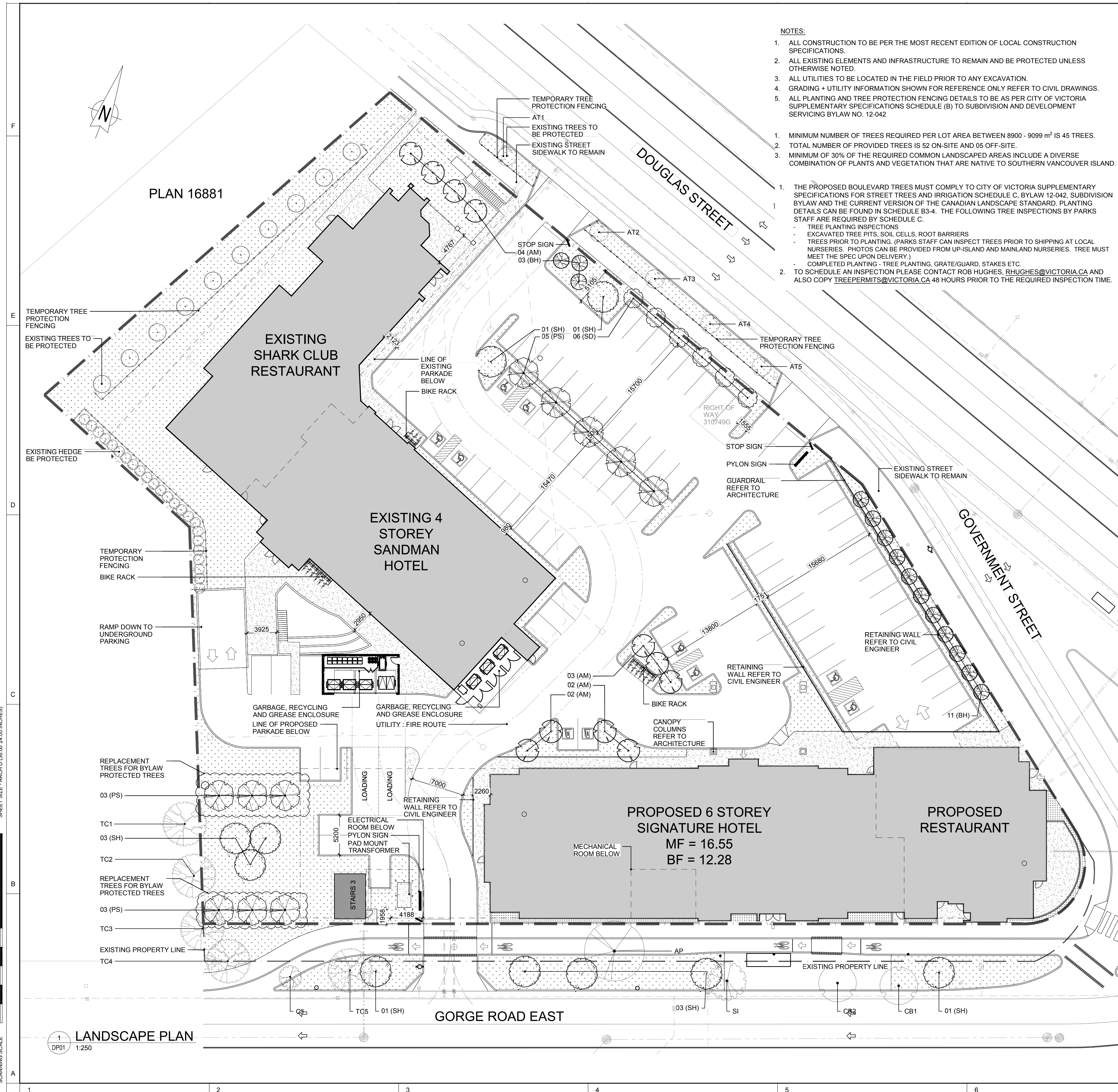
Pacific Coast Architecture Inc.
501-3292 Production Way
Burnaby, B.C.
Canada, V5A 1R3
office: 303.588.7317
fax: 303.520.9559

PROPOSED SIGNATURE HOTEL
2706 GOVERNMENT STREET
VICTORIA BRITISH COLUMBIA

WINDOW SCHEDULE	
Scale	NTS
Date	April 20th, 2021
Drawn	J.Muirs
Checked	P.Kwasniwsky

A-8.03

R



- NOTES:**
- ALL CONSTRUCTION TO BE PER THE MOST RECENT EDITION OF LOCAL CONSTRUCTION SPECIFICATIONS.
 - ALL EXISTING ELEMENTS AND INFRASTRUCTURE TO REMAIN AND BE PROTECTED UNLESS OTHERWISE NOTED.
 - ALL UTILITIES TO BE LOCATED IN THE FIELD PRIOR TO ANY EXCAVATION.
 - GRADING + UTILITY INFORMATION SHOWN FOR REFERENCE ONLY REFER TO CIVIL DRAWINGS.
 - ALL PLANTING AND TREE PROTECTION FENCING DETAILS TO BE AS PER CITY OF VICTORIA SUPPLEMENTARY SPECIFICATIONS SCHEDULE (B) TO SUBDIVISION AND DEVELOPMENT SERVICING BYLAW NO. 12-042
- MINIMUM NUMBER OF TREES REQUIRED PER LOT AREA BETWEEN 8900 - 9099 m² IS 45 TREES.
 - TOTAL NUMBER OF PROVIDED TREES IS 52 ON-SITE AND 05 OFF-SITE.
 - MINIMUM OF 30% OF THE REQUIRED COMMON LANDSCAPED AREAS INCLUDE A DIVERSE COMBINATION OF PLANTS AND VEGETATION THAT ARE NATIVE TO SOUTHERN VANCOUVER ISLAND.

- THE PROPOSED BOULEVARD TREES MUST COMPLY TO CITY OF VICTORIA SUPPLEMENTARY SPECIFICATIONS FOR STREET TREES AND IRRIGATION SCHEDULE C, BYLAW 12-042, SUBDIVISION BYLAW AND THE CURRENT VERSION OF THE CANADIAN LANDSCAPE STANDARD. PLANTING DETAILS CAN BE FOUND IN SCHEDULE B3-4. THE FOLLOWING TREE INSPECTIONS BY PARKS STAFF ARE REQUIRED BY SCHEDULE C:
 - TREE PLANTING INSPECTIONS
 - EXCAVATED TREE PITS, SOIL CELLS, ROOT BARRIERS
 - TREES PRIOR TO PLANTING. (PARKS STAFF CAN INSPECT TREES PRIOR TO SHIPPING AT LOCAL NURSERIES. PHOTOS CAN BE PROVIDED FROM UP-ISLAND AND MAINLAND NURSERIES. TREE MUST MEET THE SPEC UPON DELIVERY.)
- COMPLETED PLANTING - TREE PLANTING, GRATE/GUARD, STAKES ETC. TO SCHEDULE AN INSPECTION PLEASE CONTACT ROB HUGHES, RHUGHES@VICTORIA.CA AND ALSO COPY TREEPERMITS@VICTORIA.CA 48 HOURS PRIOR TO THE REQUIRED INSPECTION TIME.

PROPOSED PLANTING SCHEDULE

QTY	CODE	SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
DECIDUOUS TREES						
5	SH		SHADEMASTER HONEYLOCUST	<i>GLEDITSIA TRIACANTHOS "SHADEMASTER"</i>	60mm CAL.	B&B/WIRE BASKET
11	AM		ARMSTRONG MAPLE	<i>ACER RUBRUM "ARMSTRONG"</i>	60mm CAL.	B&B/WIRE BASKET
11	PS		PACIFIC SUNSET MAPLE	<i>ACER TRUNCATUM x PLATANOIDES</i>	60mm CAL.	B&B/WIRE BASKET
6	SD		SATOMI DOGWOOD	<i>CORNUS KOUSA "SATOMI"</i>	60mm CAL.	B&B/WIRE BASKET
14	BH		BLACK HAWTHORN	<i>CRATAEGUS DOUGLASII</i>	60mm CAL.	B&B/WIRE BASKET
GRASSES						
1767.44 m ²			SOD			
45.34 m ²			FLOWERS BED			

OFF-SITE PROPOSED PLANTING SCHEDULE

QTY	CODE	SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
DECIDUOUS TREES						
5	SH		SHADEMASTER HONEYLOCUST	<i>GLEDITSIA TRIACANTHOS "SHADEMASTER"</i>	60mm CAL.	B&B/WIRE BASKET

EXISTING TREES TO BE PROTECTED

CODE	SYMBOL	SPECIES	BOTANICAL NAME	cm/DBH	HEIGHT/m	SPREAD	PRZ/m
AT1		ACER TRUNCATUM	THE SHANTUNG MAPLE	3	3	2	0
AT2		ACER TRUNCATUM	THE SHANTUNG MAPLE	3	3	2	0
AT3		ACER TRUNCATUM	THE SHANTUNG MAPLE	3	3	2	0
AT4		ACER TRUNCATUM	THE SHANTUNG MAPLE	3	3	2	0
AT5		ACER TRUNCATUM	THE SHANTUNG MAPLE	3	3	2	0

OFF-SITE EXISTING TREES TO BE REMOVED

CODE	SYMBOL	SPECIES	BOTANICAL NAME	cm/DBH	HEIGHT/m	SPREAD	PRZ/m
TC1		TILIA CORDATA	LITTLE-LEAF LINDEN	28	9	7	3
TC2		TILIA CORDATA	LITTLE-LEAF LINDEN	21	7	5	3
TC3		TILIA CORDATA	LITTLE-LEAF LINDEN	29	11	7	3
TC4		TILIA CORDATA	LITTLE-LEAF LINDEN	27	11	10	3
TC5		TILIA CORDATA	LITTLE-LEAF LINDEN	32	13	10	4
AP		ACER PLATANOIDES	NORWAY MAPLE	36	9	8	4
CJ		CERCIDIPHYLLUM JAPONICUM	KATSURA TREE	16	6	3	2
CB1		CARPINUS BETULUS	COMMON HORNBEAM	23	12	5	3
CB2		CARPINUS BETULUS	COMMON HORNBEAM	25	12	5	3
SI		SORBUS INTERMEDIA	THE SWEDISH WHITEBEAM	20	6	5	2

CLIENT

NORTHLAND PROPERTIES
We Proudly Build

CONSULTANT
GEORGE HARRIS COLLABORATIVE INC.
Landscape Architecture / Urban Design

GENERAL LEGEND

- PROPOSED LIMIT OF WORK
- EXISTING PROPERTY LINE
- BUILDING OUTLINE
- TEMPORARY TREE PROTECTION FENCING GUARDRAIL

HARDSCAPE

- STANDARD CONCRETE PAVING
- GRAVEL MULCH

FURNITURE

- BIKE RACK
- SIGN

UTILITIES

- PROPOSED ST 250 PVC
- EXISTING ST 250 PVC
- PROPOSED S 250 PVC
- EXISTING S 250 PVC
- PROPOSED W 250 PVC
- EXISTING W 250 PVC
- CATCHBASIN
- MANHOLE
- WATER VALVE
- FIRE HYDRANT
- CAPPED PIPE END
- WATER METER
- ICD

BRITISH COLUMBIA SOCIETY OF REGISTERED MEMBER **GEORGE D. HARRIS** 432 LANDSCAPE ARCHITECTS

REV	DATE	ISSUED FOR	AO	KW	GH
0	2023-05-25	DEVELOPMENT PERMIT			

PROJECT: **SIGNATURE HOTEL**

DISCIPLINE: **LANDSCAPE**

MUNICIPALITY: **VICTORIA, BC**

SHEET TITLE: **LANDSCAPE PLAN**

SCALE	PROJECT NO.	SHEET NO.	REV
1:250	21-670	DP01	00

SHEET SIZE - ARCH D (36"00" X 48"00" INCHES)

SCANNING SCALE

50mm

10mm

LANDSCAPE PLAN
DP01 1:250



SUPPLEMENTARY STANDARD DETAIL DRAWINGS

PREPARATION NOTES:

1. CONTAINER GROWN:
REMOVE COMPLETELY FROM CONTAINER
2. BURLAP AND ROPE:
REMOVE TOP 1/3 OF COVERING
3. WIRE AND BURLAP:
REMOVE TOP 1/3 OF WIRE, ROPE AND
BURLAP COVERING WITHOUT
DAMAGING ROOTBALL. REMOVE ALL
TWINE.

DO NOT PRUNE LEADER
PRUNE ONLY DEAD OR
DAMAGED BRANCHES

2-2 1/2" (64mm) ROUND PRESSURE
TREATED STAKES @ 8' 0" (2440mm)
LENGTH. STAKE AT EDGES OF THE
ROOTBALL IN LINE WITH ROADWAY.
ON EXPOSED SITES STAKE IN LINE
WITH PREVAILING WIND.
VERTICAL STAKES TO BE DRIVEN
600 mm INTO GROUND.

TREES MUST BE PLANTED WITH
NO MORE THAN A 50 mm DEPTH
FROM FINISHED GRADE TO THE
TOP OF THE ROOT BALL

GRASS BOULEVARD

ROOT BARRIER
450 mm x 4.0M LENGTH

BROOM FINISH CONCRETE
SIDEWALK

700 mm COMPACTED
STRUCTURAL SOIL TO
THE APPROVAL OF THE
GEOTECHNICAL ENGINEER

SCARIFY BOTTOM OF PIT

40mm NYLON WEBBING

1.0m DIAMETER BARK MULCH
RING SAUCER OVER ROOTBALL
150mm DEPTH

GROWING MEDIA SHALL MEET B.C. LANDSCAPE
STANDARD TABLES 6-3 (SECTION 32 91 21-
MMCD 2009) ALL SOIL PROPERTIES MUST MEET
THIS STANDARD. DEPTH GROWING MEDIA TO BE
PLACED AND TRAMPED IN 100 mm LIFTS

ASPHALT
ROADWAY
REFER TO
CIVIL DWGS

ROOT BARRIER
450 mm x 4.0M LENGTH

COMPACTED SUBGRADE
TO 98% S.P.D.

NOTES:

- ALL TREES SHALL MEET OR EXCEED THE CITY OF
VICTORIA TREE SPECIFICATIONS
ROOT BARRIER REQUIRED ON BLVD 2.0m OR LESS
WIDE OR AS SPECIFIED BY THE DIRECTOR OF PARKS.
ROOT BARRIER REQUIRED PENDING TREE SPECIES
AND/OR BLVD WIDTH.

2011

TREE PLANTING IN BOULEVARD

REVISIONS

DRAWING NUMBER:

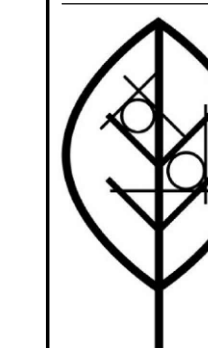
SD P4

CLIENT



NORTHLAND
PROPERTIES
We Proudly Build

CONSULTANT



GEORGE HARRIS
COLLABORATIVE INC.
Landscape Architecture
/ Urban Design



REV	DATE	ISSUED FOR	DRAWN	CHECK	DESIGN
0	2023-03-28	DEVELOPMENT PERMIT	AO	KW	GH

PROJECT

SIGNATURE HOTEL

DISCIPLINE
LANDSCAPE

MUNICIPALITY
VICTORIA, BC

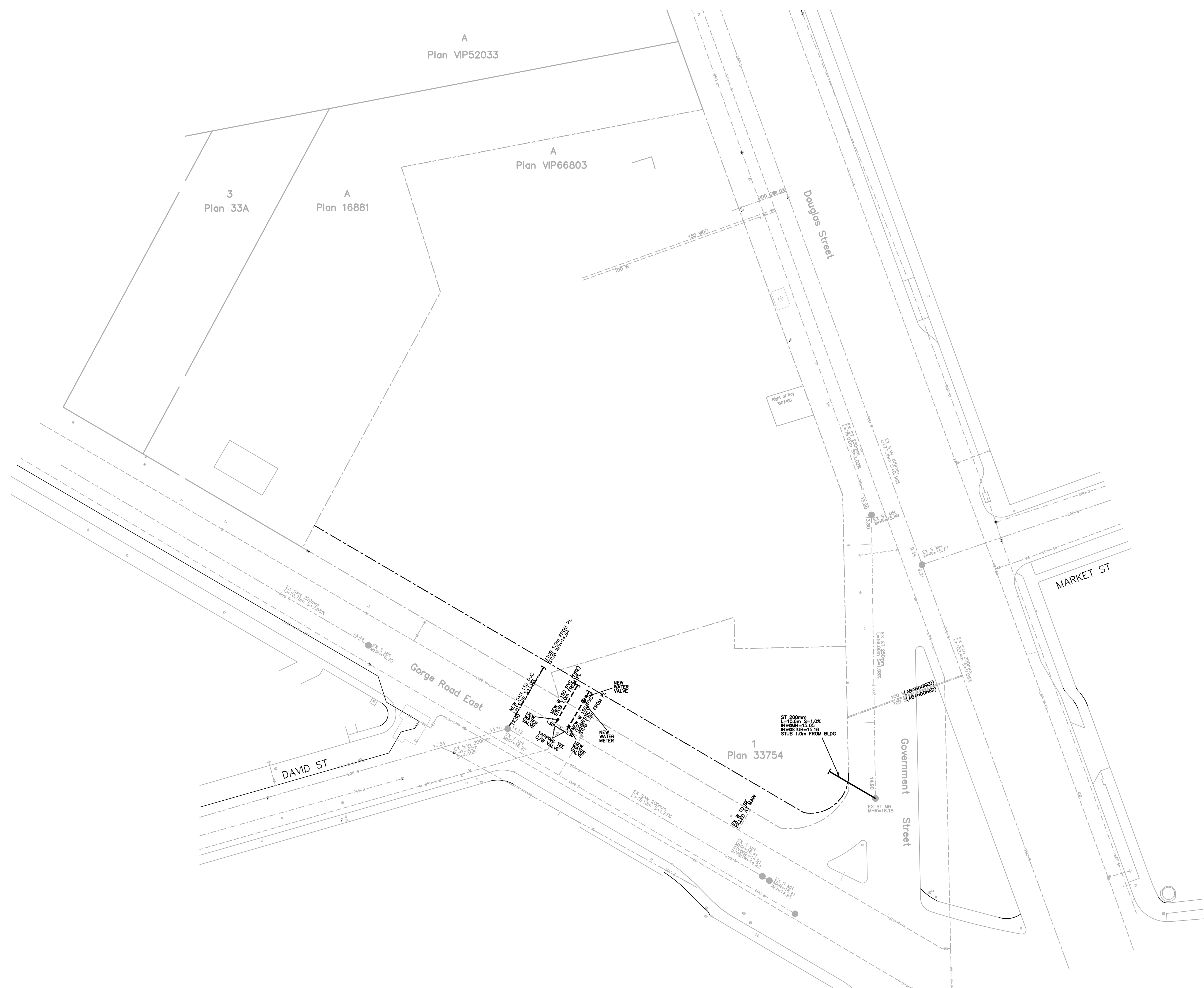
SHEET TITLE
LANDSCAPE DETAILS

SCALE	PROJECT NO.	SHEET NO.	REV
1:250	21-670	DP02	00

1 LANDSCAPE PLAN
DP01 1:250

SHEET SIZE - ARCH D (38.00" X 24.00" INCHES)

SCANNING SCALE
10mm
50mm



THIS DRAWING MAY NOT BE REPRODUCED OR COPIED WITHOUT THE EXPRESS WRITTEN CONSENT OF RICHVIEW ENGINEERING INC.

LEGEND:

	PROPOSED	EXISTING
SITE PROPERTY LINE	---	---
EASEMENT LINE	---	---
STORM SEWER	ST 250 PVC	ST 250 PVC
SANITARY SEWER	S 250 PVC	S 250 PVC
WATER MAIN	W 250 PVC	W 250 PVC
CATCHBASIN	□	□
MANHOLE	○	●
WATER VALVE	⊗	⊗
FIRE HYDRANT	⊙	⊙
CAPPED PIPE END	┌	┌

MUNICIPAL ADDRESS
2852 DOUGLAS STREET VICTORIA BC

REVISIONS

REV.	Y	M	D	ISSUE/REVISION DESCRIPTION	EL	RL
0				FOR APPROVAL		



CLIENT
NORTHLAND PROPERTIES

PROJECT
PROPOSED HOTEL EXTENSION

DESIGN: RL
DRAWN: EL
CHECKED: RL

OFFSITE SERVICING

DATE: MAR 14 2023	DEVELOPMENT PERMIT No. DP	PROJECT No. 1171	DWG. No. B	ISS/REV 00
SCALE: 1:400	DSSP CIRC. No.			

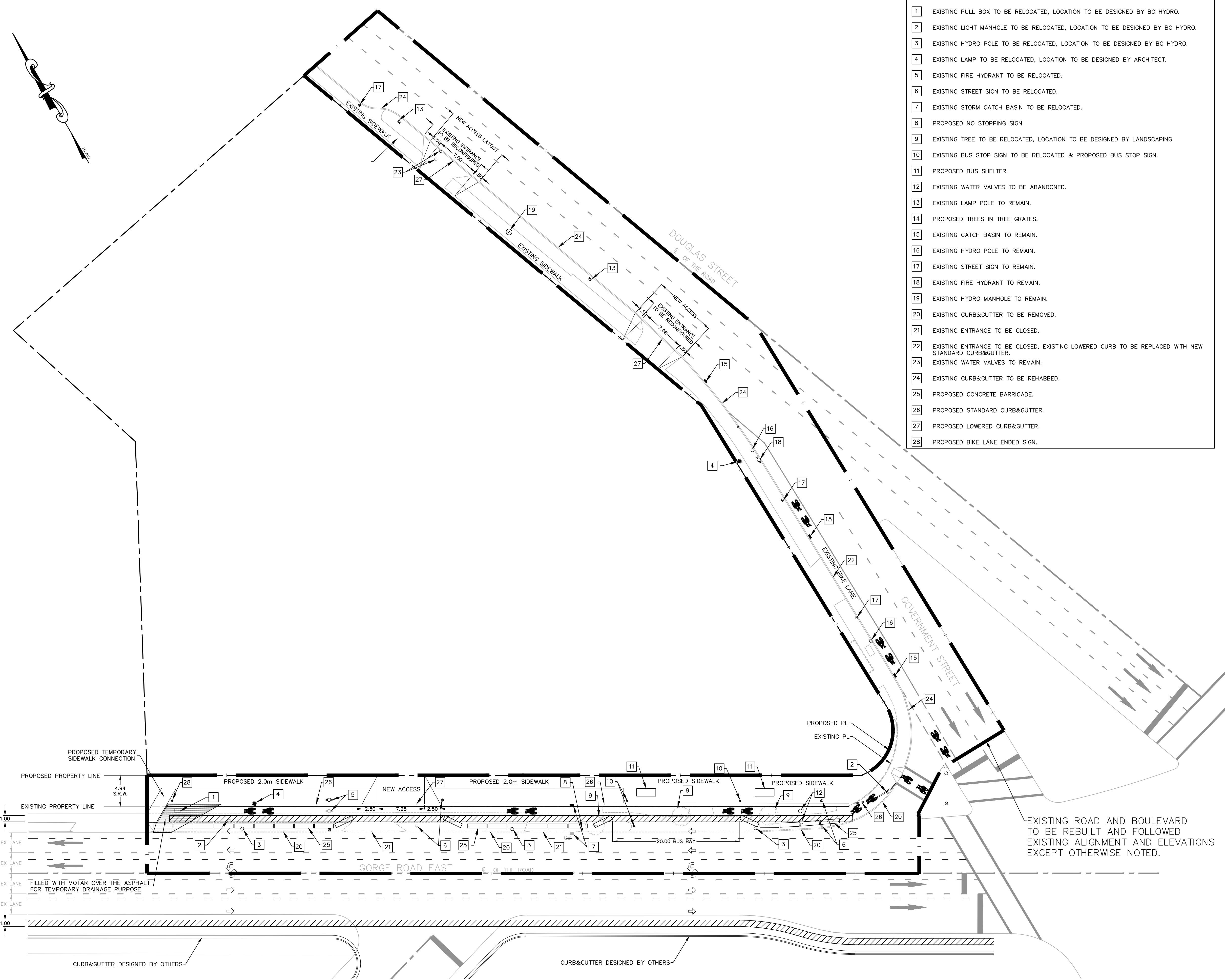
K:\1171_Victoria\Drawings\1171-30-035-Rev 4.dwg, Service Office, 02/14/2023, 11:25 am, Jessica

NOT FOR CONSTRUCTION
UNTIL FINAL APPROVAL IS GRANTED
BY THE CITY OF VICTORIA

MUNICIPAL ADDRESS
2852 DOUGLAS STREET VICTORIA BC

NOTE:
REFER TO LANDSCAPING PLAN FOR THE TREES LOCATIONS

- KEYNOTES:**
- 1 EXISTING PULL BOX TO BE RELOCATED, LOCATION TO BE DESIGNED BY BC HYDRO.
 - 2 EXISTING LIGHT MANHOLE TO BE RELOCATED, LOCATION TO BE DESIGNED BY BC HYDRO.
 - 3 EXISTING HYDRO POLE TO BE RELOCATED, LOCATION TO BE DESIGNED BY BC HYDRO.
 - 4 EXISTING LAMP TO BE RELOCATED, LOCATION TO BE DESIGNED BY ARCHITECT.
 - 5 EXISTING FIRE HYDRANT TO BE RELOCATED.
 - 6 EXISTING STREET SIGN TO BE RELOCATED.
 - 7 EXISTING STORM CATCH BASIN TO BE RELOCATED.
 - 8 PROPOSED NO STOPPING SIGN.
 - 9 EXISTING TREE TO BE RELOCATED, LOCATION TO BE DESIGNED BY LANDSCAPING.
 - 10 EXISTING BUS STOP SIGN TO BE RELOCATED & PROPOSED BUS STOP SIGN.
 - 11 PROPOSED BUS SHELTER.
 - 12 EXISTING WATER VALVES TO BE ABANDONED.
 - 13 EXISTING LAMP POLE TO REMAIN.
 - 14 PROPOSED TREES IN TREE GRATES.
 - 15 EXISTING CATCH BASIN TO REMAIN.
 - 16 EXISTING HYDRO POLE TO REMAIN.
 - 17 EXISTING STREET SIGN TO REMAIN.
 - 18 EXISTING FIRE HYDRANT TO REMAIN.
 - 19 EXISTING HYDRO MANHOLE TO REMAIN.
 - 20 EXISTING CURB&GUTTER TO BE REMOVED.
 - 21 EXISTING ENTRANCE TO BE CLOSED.
 - 22 EXISTING ENTRANCE TO BE CLOSED, EXISTING LOWERED CURB TO BE REPLACED WITH NEW STANDARD CURB&GUTTER.
 - 23 EXISTING WATER VALVES TO REMAIN.
 - 24 EXISTING CURB&GUTTER TO BE REHABED.
 - 25 PROPOSED CONCRETE BARRICADE.
 - 26 PROPOSED STANDARD CURB&GUTTER.
 - 27 PROPOSED LOWERED CURB&GUTTER.
 - 28 PROPOSED BIKE LANE ENDED SIGN.



1.80m FUTURE BIKE LANE
2.60m FUTURE DRIVING LANE
3.30m FUTURE DRIVING LANE
3.10m FUTURE DRIVING LANE
3.10m FUTURE DRIVING LANE
3.30m FUTURE DRIVING LANE
1.80m FUTURE BIKE LANE

EXISTING ROAD AND BOULEVARD TO BE REBUILT AND FOLLOWED EXISTING ALIGNMENT AND ELEVATIONS EXCEPT OTHERWISE NOTED.

REVISIONS				
REV.	Y	M	D	ISSUE/REVISION DESCRIPTION
0	20	03	16	FOR APPROVAL
EL	RL	DRN	CHK	



14 Mar 23

NORTHLAND PROPERTIES

SANDMAN HOTEL EXTENSION

DESIGN: RL	SURFACE IMPROVEMENT			
DRAWN: EL				
CHECKED: RL				
DATE: MAR 14 2023	DEVELOPMENT PERMIT No. DP000568	PROJECT No. 1171	DWG. No. A1	ISS/REV 00
SCALE: 1:300	MECHANICAL CIRC. No.			

NOT FOR CONSTRUCTION
UNTIL FINAL APPROVAL IS GRANTED
BY THE CITY OF VICTORIA

• ALL THE SURFACE LAYOUT, INCLUDING THE CURB LAYOUT, BUILDING LAYOUT, ETC. SHOULD FOLLOW THE LATEST SITE PLAN FROM ARCHITECT.
• IF THIS DRAWING IS TO BE USED FOR SURVEY PURPOSE. THE SURVEYOR NEED TO INPUT THIS DRAWING INTO HIS OWN COORDINATE SYSTEM FOR SURVEY LAYOUT.

F:\1171 VICTORIA\1171-SD-055P-RP-K.DWG, SURFACE IMPROVEMENT, 02/11/2023 11:38 AM JERILCA



UNIT D, 203 38TH AVE NE, CALGARY, ALBERTA T2E 2M3
PHONE: (403) 230-3218 FAX: (403) 230-3208

THIS DRAWING MAY NOT BE REPRODUCED OR COPIED WITHOUT THE EXPRESS WRITTEN CONSENT OF RICHVIEW ENGINEERING INC.

LEGEND:

	PROPOSED	EXISTING
SITE PROPERTY LINE	---	---
EASEMENT LINE	---	---
STORM SEWER	ST 250 PVC	ST 250 PVC
SANITARY SEWER	S 250 PVC	S 250 PVC
WATER MAIN	W 250 PVC	W 250 PVC
CATCHBASIN	□	□
MANHOLE	○	○
WATER VALVE	○	○
FIRE HYDRANT	○	○
CAPPED PIPE END	○	○
WATER METER	⊕	⊕
ICD	⊕	⊕

MUNICIPAL ADDRESS
2852 DOUGLAS STREET VICTORIA BC

REVISIONS

REV.	Y	M	D	ISSUE/REVISION DESCRIPTION	EL	RL
0	21	10	19	FOR APPROVAL		

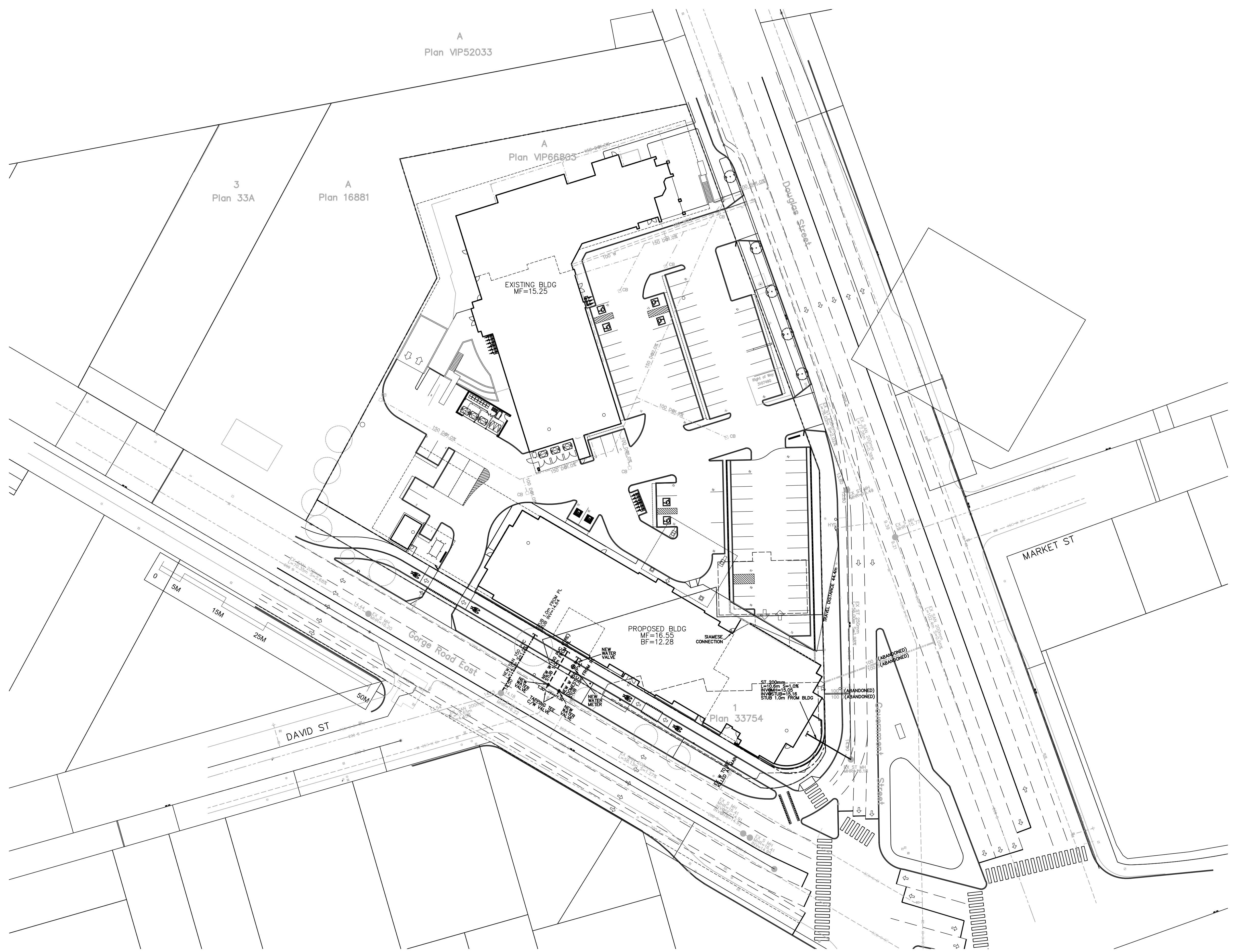


31 May 23

CLIENT
NORTHLAND PROPERTIES

PROJECT
PROPOSED HOTEL EXTENSION

DESIGN:	RL	SITE SERVICING PLAN
DRAWN:	EL	
CHECKED:	RL	
DATE:	MAY 30 2023	DEVELOPMENT PERMIT No. DP
SCALE:	1:400	DSSP CIRC. No.
		PROJECT No. 1171
		DWG. No. 01
		ISS/REV 00



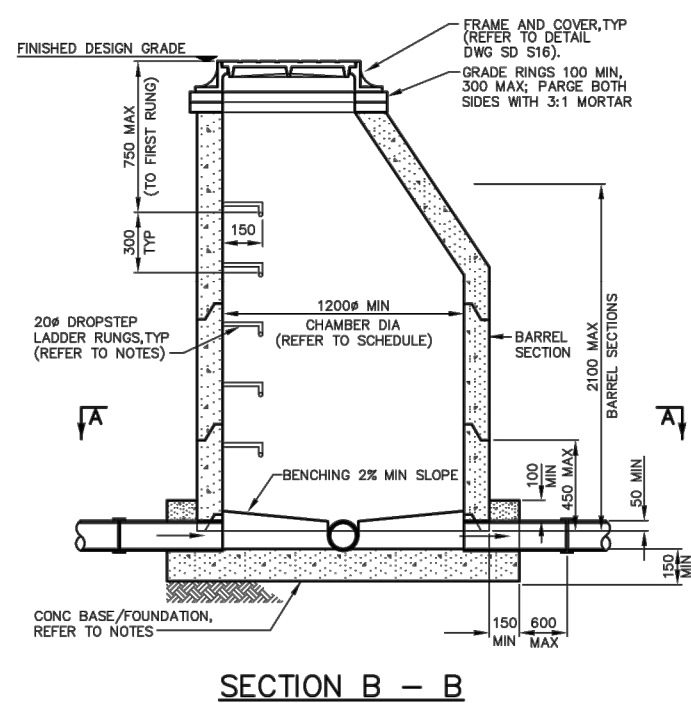
K:\1171_Victoria\Drawings\1171-3D-DSSP-Rev 4.dwg, Service, 05/31/2023 10:29 am Jessica

NOT FOR CONSTRUCTION
UNTIL FINAL APPROVAL IS GRANTED
BY THE CITY OF VICTORIA

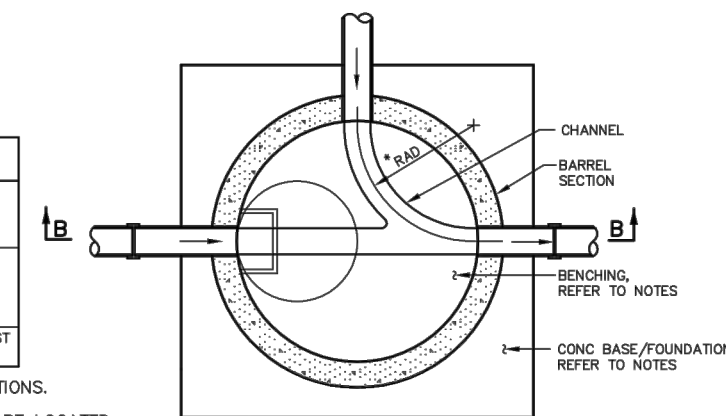
NOTE:
EXISTING SANITARY, STORM AND WATER CONNECTION TO BE CAP-OFF FOR THE BUILDINGS WHICH ARE GOING TO BE DEMOLISHED. EXISTING SERVICES LOCATION TO BE CONFIRMED ONSITE



SUPPLEMENTARY STANDARD DETAIL DRAWINGS



SECTION B - B



SECTION A - A

PRECAST MANHOLE SCHEDULE

MAIN SIZE (INSIDE DIA)	CHAMBER SIZE (INSIDE DIA)	CHAMBER SIZE (OUTSIDE DIA)	LADDER RUNG LOCATION
200 TO 300	1200 MIN	1400 MIN	CENTERED OVER UPSTREAM CHANNEL
375 TO 450	1300 MIN	1630 MIN	CENTERED OVER LARGEST BENCHING AREA
525 TO 600	1500 MIN	1800 MIN	CENTERED OVER LARGEST BENCHING AREA

* FRAMES AND COVERS TO BE CENTERED OVER LADDER RUNG LOCATIONS.
 * WHERE A DROP STRUCTURE FOR MAIN SIZES 200 - 300 ID IS TO BE LOCATED ON THE UPSTREAM CHANNEL, PLACE LADDER RUNGS OVER DOWNSTREAM CHANNEL.

NOTES

- MANHOLES WITH PIPE DIAMETERS UP TO 600mm SHALL BE PRECAST REINFORCED CONCRETE IN ACCORDANCE TO ASTM C478 LATEST EDITION UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER.
- MANHOLES WITH PIPE DIAMETERS GREATER THAN 600mm REQUIRE DESIGN TO BE APPROVED BY A PROFESSIONAL ENGINEER.
- MANHOLE BASES SHALL BE MONOLITHICALLY POURED IN PLACE CONCRETE AND BASES SHALL REST ON UNDISTURBED SOIL OR OTHER COMPACTED STABLE BASE MATERIAL. FIRST BARREL SECTION SHALL BE SET INTO CONCRETE BASE/BENCHING (AS SHOWN IN SECTION B-B). CONCRETE SHALL BE "READY MIX" CONFORMING TO MAND STANDARDS AND SPECIFICATIONS.
- *RADIUS (RAD) FROM THE CENTRE LINE OF THE CHANNEL SHALL BE A MINIMUM OF 2.5 TIMES THE DIAMETER OF THE UPSTREAM PIPE.
- CHANNELING AND BENCHING SHALL HAVE A SMOOTH STEEL TROWELLED FINISH.
- LARGEST BENCHING AREA SHALL HAVE A MINIMUM WIDTH OF 450mm.
- PRECAST SECTION JOINTS SHALL BE TONGUE AND GROOVE AND "O" RING SEALED IN ACCORDANCE TO ASTM C443.
- LADDER RUNGS SHALL BE DROP STEP GALVANIZED STEEL AND SHALL BE AN INTEGRAL PART OF THE MANHOLE SECTION. ALTERNATE LADDER RUNG DESIGNS MAY BE SUBSTITUTED AS APPROVED BY THE CITY ENGINEER.

NOT TO SCALE

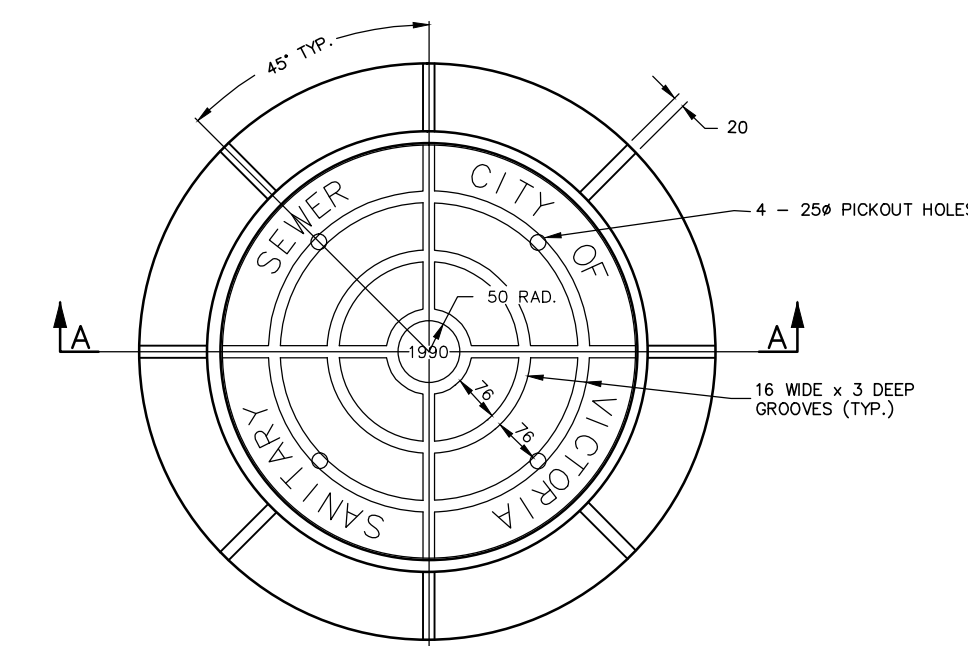
STANDARD MANHOLE & CONNECTION DETAIL

REVISIONS:

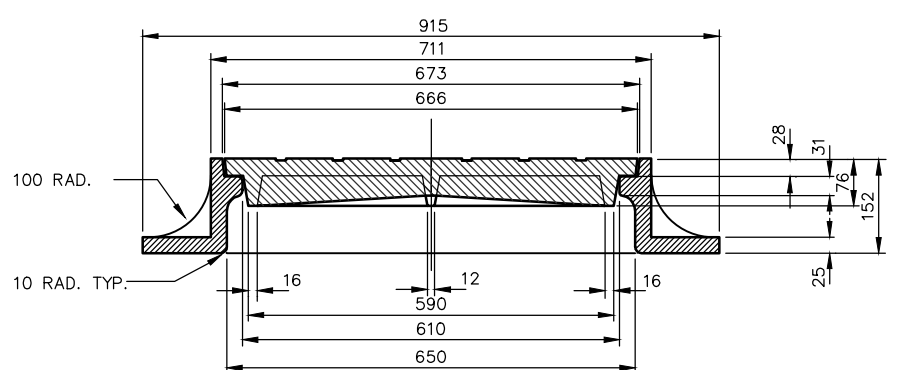
--	--	--

 DRAWING NUMBER: **SD S1**

SUPPLEMENTARY STANDARD DETAIL DRAWINGS



PLAN - FRAME & COVER



SECTION A - A

NOTES

- CASTING SHALL HAVE A DESIGN LOAD STRENGTH IN ACCORDANCE WITH ASHTO H20 LOADING.
- ALL METAL BEARING SURFACES BETWEEN FRAME AND COVER MACHINED TO INSURE GOOD SEATING.
- YEAR OF DATE MANUFACTURED ON COVER.
- FURNISH WHEN SPECIFIED: COVER TO BE IDENTIFIED EITHER "STORM DRAIN", "SANITARY SEWER", "WATER" OR "CATCH BASIN" AS SHOWN IN DRAWING.
- INSIDE EDGES OF RING TO BE ROUNDED TO 10mm RADIUS.
- DIMENSIONS ARE BASED ON GRAY IRON CASTINGS.

NOT TO SCALE

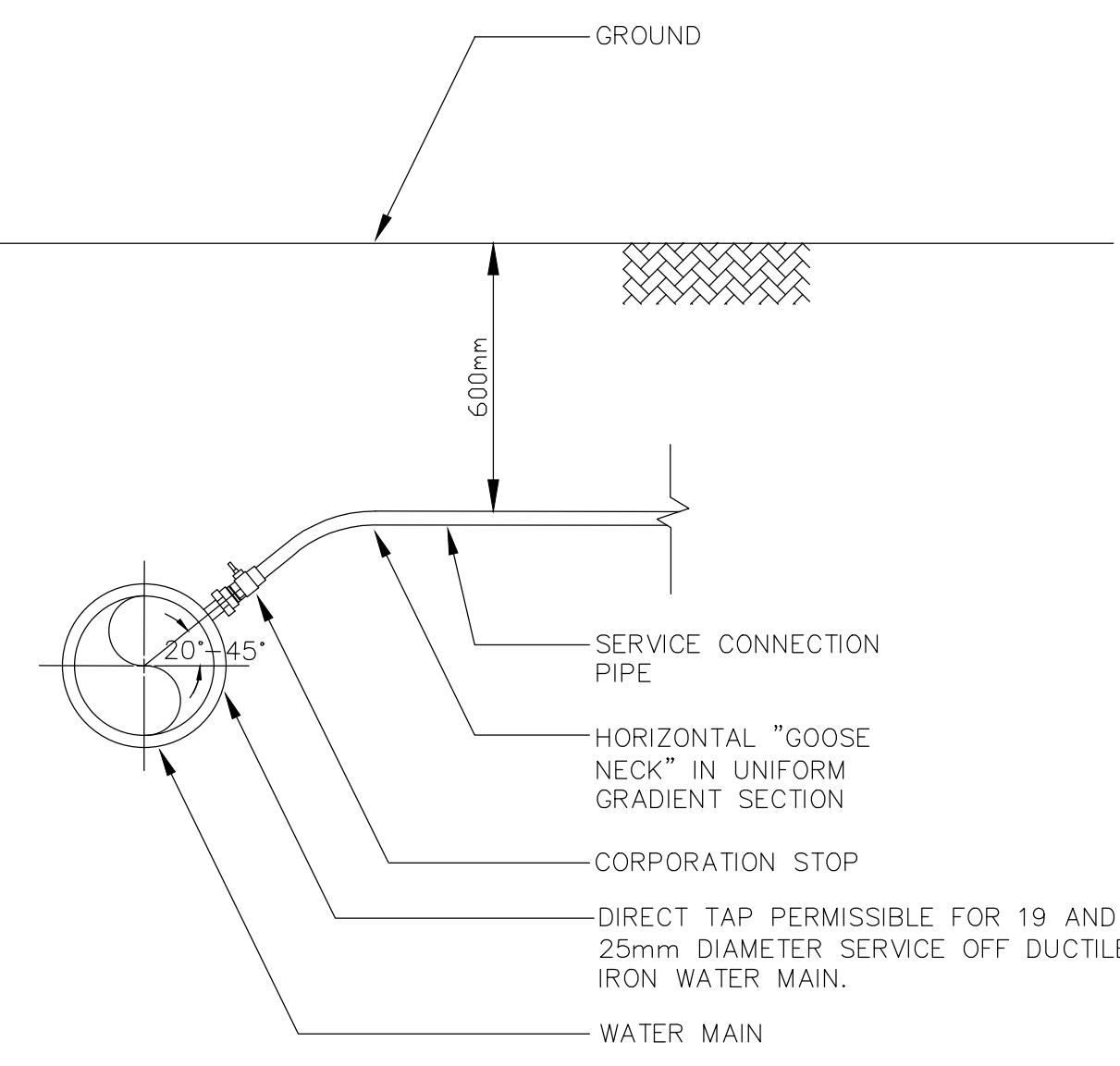
MANHOLE/CATCH BASIN
FRAME & COVER

REVISIONS:

--	--	--

 DRAWING NUMBER: **SD S16**

SUPPLEMENTARY STANDARD DETAIL DRAWINGS



NOTES

- THIS DETAIL FOR SERVICES 19 TO 50mm ONLY.
- PVC SADDLES AS PER THE APPROVED PRODUCT LIST.
- INSTALL SERVICE PIPE WITH "GOOSE NECK" IN HORIZONTAL POSITION.

NOT TO SCALE

WATER SERVICE CONNECTION
FOR 19mm TO 50mm

REVISIONS:

--	--	--

 DRAWING NUMBER: **SD W2a**



UNIT D, 203 38TH AVE NE CALGARY, ALBERTA T2E 2M3
 PHONE: (403) 230-3218 FAX: (403) 230-3208

THIS DRAWING MAY NOT BE REPRODUCED OR
 COPIED WITHOUT THE EXPRESS WRITTEN CONSENT
 OF RICHVIEW ENGINEERING INC.

MUNICIPAL ADDRESS
 2852 DOUGLAS STREET VICTORIA BC

REV.	Y	M	D	ISSUE/REVISION DESCRIPTION	DRN	CHK
0	21	10	19	FOR APPROVAL	EL	RL

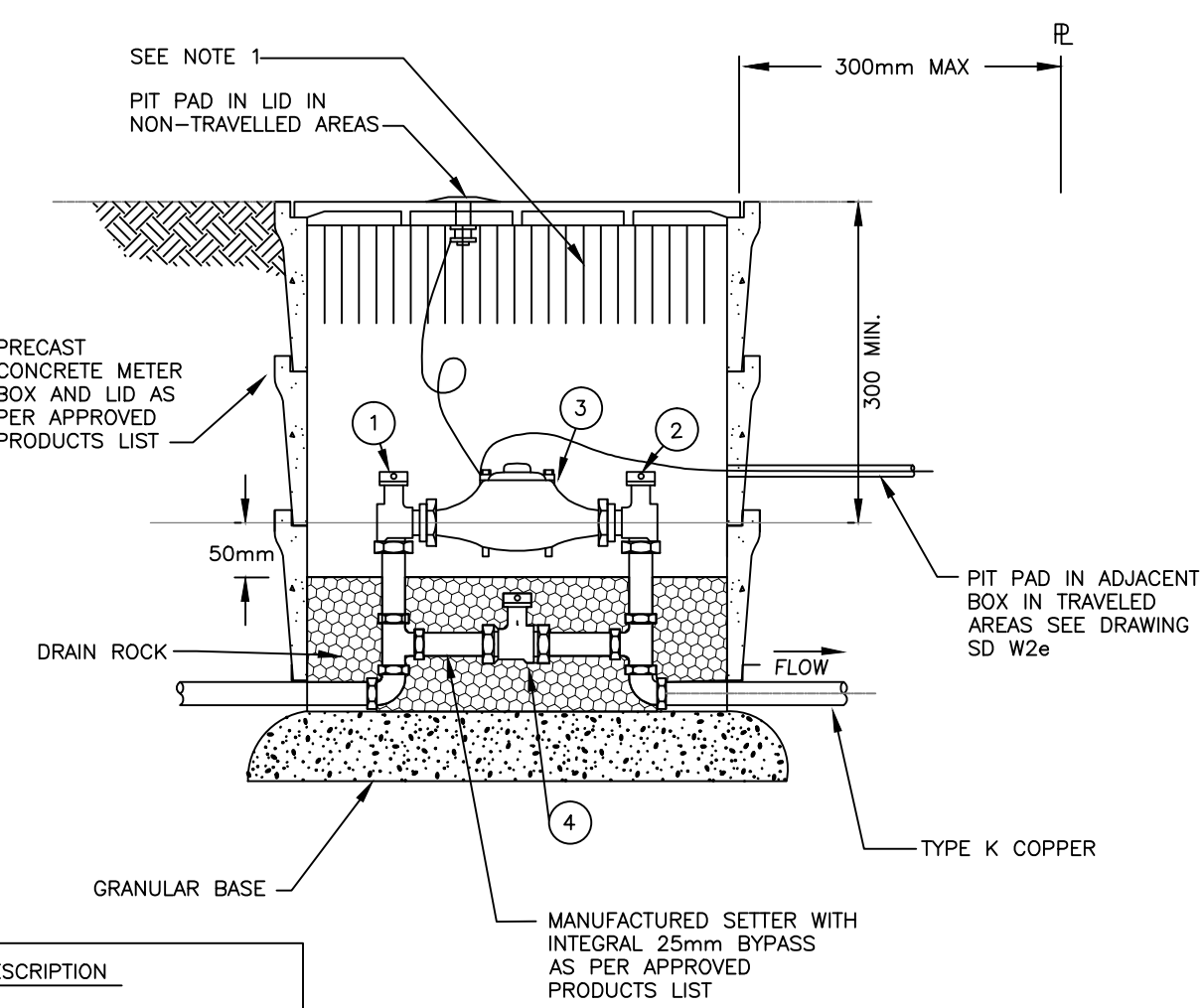


NORTHLAND PROPERTIES

PROPOSED HOTEL EXTENSION

DESIGN: RL	NOTES AND DETAILS PLAN			
DRAWN: EL				
CHECKED: RL				
DATE: MAY 30 2023	DEVELOPMENT PERMIT No. DP	PROJECT No. 1171	DWG. No. 02	ISS/REV 00
SCALE: NTS	DSSP CIRC. No.			

SUPPLEMENTARY STANDARD DETAIL DRAWINGS



No.	DESCRIPTION
1	STOP WITH LOCKWING
2	DOWNSTREAM BALL VALVE
3	METER AS PER APPROVED PRODUCTS LIST
4	BYPASS STOP WITH LOCKWING

NOTES:
 1. IF DISTANCE BETWEEN LID AND METER IS LESS THAN 600mm
 INSTALL 100mm OF STYROFOAM INSULATION CUT TO FIT METER
 BOX OPENING.

NOT TO SCALE

METER INSTALLATION FOR
38mm & 50mm WATER SERVICE CONNECTIONS

REVISIONS:

--	--	--

 DRAWING NUMBER: **SD W2d**

GENERAL NOTES:

- ALL THE EXISTING UTILITIES INFORMATION ARE EITHER FROM THE RECORD OF CITY OF VICTORIA OR THE SURVEY PLAN PROVIDED BY THE SURVEY COMPANY. THE CONTRACTOR SHOULD CONFIRM ALL THE EXISTING SERVICES INFORMATION (INVERTS, LOCATION, ETC) AND INFORM RICHVIEW ENGINEERING INC FOR NECESSARY ADJUSTMENT PRIOR TO CONSTRUCTION.
- ALL THE SURFACE LAYOUT, INCLUDING THE CURB LAYOUT, BUILDING LAYOUT, ETC, SHOULD FOLLOW THE LATEST SITE PLAN FROM ARCHITECT.
- IF THIS DRAWING IS TO BE USED FOR SURVEY PURPOSE, THE SURVEYOR NEED TO INPUT THIS DRAWING INTO HIS OWN COORDINATE SYSTEM FOR SURVEY LAYOUT.
- THE CONTRACTOR MUST SUPPLY WRITTEN NOTICE TO RICHVIEW ENGINEERING INC OF INTENT TO START CONSTRUCTION OF THE DEEP UTILITIES AT LEAST 3 DAYS IN ADVANCE OF THE CONSTRUCTION START.
- FAILURE TO DO SO MAY RESULT IN A REQUEST TO HAVE THE LINES EXCAVATED SO AS TO ASCERTAIN BEDDING CONDITIONS AND THAT PIPE HAS BEEN PLACED CORRECTLY AND/OR TO HAVE A VIDEO EXAMINATION OF THE PIPE PERFORMED AT THE CONTRACTOR'S EXPENSE.
- FAILURE TO HAVE THE INSPECTIONS COMPLETED ADEQUATELY WILL PREVENT RICHVIEW ENGINEERING INC'S BEING ABLE TO EXECUTE THE NECESSARY CERTIFICATIONS REQUIRED BY THE ALBERTA BUILDING CODE AND THE NATIONAL BUILDING CODE.

LEGEND

PROPOSED GRADE	+ 15.20
PROPOSED SLOPE	1.00%
EXISTING GRADE	+ 17.75
SLAB ELEVATION	MF=48.75

MUNICIPAL ADDRESS
2852 DOUGLAS STREET VICTORIA BC

REVISIONS

REV.	Y	M	D	ISSUE/REVISION DESCRIPTION	EL	RL
0	21	07	21	FOR APPROVAL		

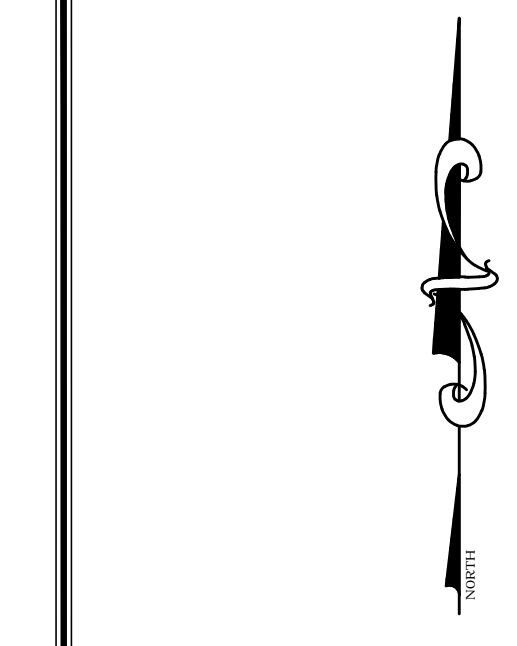
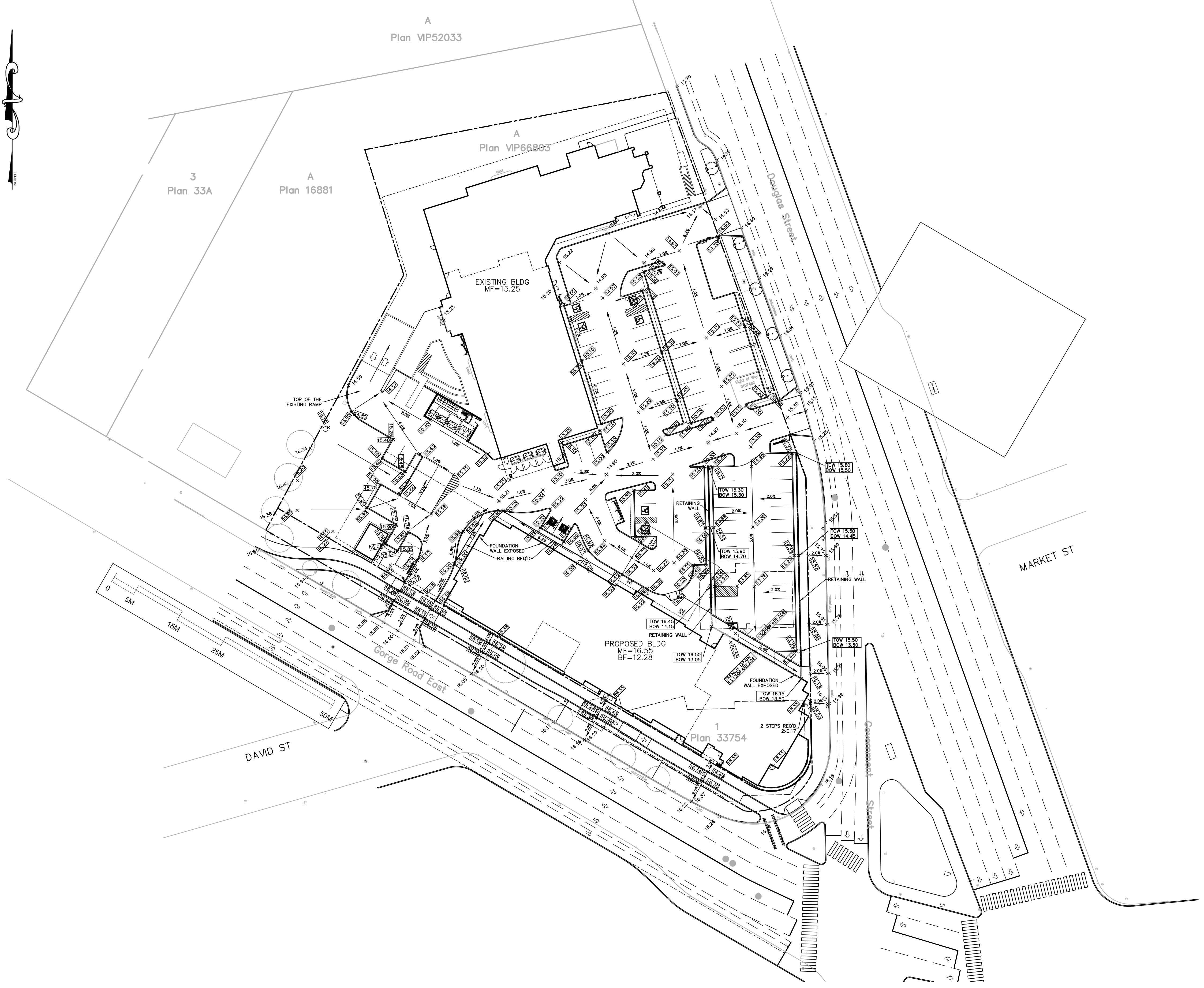
ENGINEER



CLIENT
NORTHLAND PROPERTIES

PROJECT
SANDMAN HOTEL EXTENSION

DESIGN:	RL	SITE GRADING PLAN
DRAWN:	EL	
CHECKED:	RL	
DATE:	MAY 30 2023	
SCALE:	1:400	DEVELOPMENT PERMIT No. DP
		PROJECT No. 1171
		DWG. No. 03
		ISS/REV 00



NOT FOR CONSTRUCTION
UNTIL FINAL APPROVAL IS GRANTED
BY THE CITY OF VICTORIA

• ALL THE SURFACE LAYOUT, INCLUDING THE CURB LAYOUT, BUILDING LAYOUT, ETC. SHOULD FOLLOW THE LATEST SITE PLAN FROM ARCHITECT.
• IF THIS DRAWING IS TO BE USED FOR SURVEY PURPOSE. THE SURVEYOR NEED TO INPUT THIS DRAWING INTO HIS OWN COORDINATE SYSTEM FOR SURVEY LAYOUT.

K:\1171 VICTORIA\DRAWINGS\1171-3D-GSSP-REV 4.DWG, GRADE, 09/31/2023 10:34 AM, JESBICA



N O R T H L A N D

PROPERTIES

October 12th, 2021

To Mayor and Council, care of:
Sustainable Planning and Community Development Department
Development Services Division
City of Victoria
1 Centennial Square,
Victoria, BC | V8W 1P6

Attention: Nina Jokinen
Planning Technician

RE: 2852 Douglas Street & 2706 Government Street
Rezoning and Development Permit Submission
Letter to the Mayor and Council

As per the rezoning and development application for this project, the following letter details how this proposed project will respond to the key design criteria as listed in the rezoning information package:

Description of Proposal

- i. Existing property at 2856 Douglas Street with a T-19 zoning is proposed to consolidate and subdivide with Lot at 2706 Government Street and rezone to a new site-specific zoning.
- ii. New Consolidated and subdivided property is proposed to have a 6 Storey, 177 rental Unit hotel with attached restaurant, indoor pool and below grade, 57 stall parkade.

Government Policies

- i. Proposed development conforms to the “Official Community Plan” and “Neighborhood/Precinct Plan”.

Project Benefits and Amenities

- i. The new development would offer amenities to the public such as a restaurant and ~150 SQM of Meeting space.
- ii. A new 57 stall below grade parkade and indoor pool will be made available to the hotel patrons.

Need & Demand

- ii. The Burnside Gorge Community has a beautiful history of transition and it is our desire to be a positive influence in the continued evolution of it. Victoria has recently seen a significant and steady uptick in employment growth that is having a positive influence on the Burnside Gorge Community. The challenge is that that the community is lacking four-star hotel product to ensure this growth is sustained.
- iii. The four-star Sandman Signature hotel is the perfect location given how central the site is to the surrounding employment, biking lanes, future light rail transportation and vehicular access. For these reasons, our proposed development meets the desired future zoning criteria under the Burnside Gorge Community Plan.

Neighborhood

- i. The redevelopment potential of the existing site is very low. At only 1,200 square meters of land area, the development options are very limited and likely would lead to a decision of further

NORTHLAND PROPERTIES CORP.



N O R T H L A N D

PROPERTIES

investment into the existing building or conversion into a gas station that we would argue is suboptimal for the Community. Our intent is to combine the existing site with the adjacent Sandman site to increase the development area to the point where it can support a larger development and different uses in keeping with the Burnside Gorge Community Plan.

- ii. The current zoning allows for a gas station that is not in keeping with the community plan. Our proposed zoning looks to bring the property in line with the Community's objective and the location of the site is where the Community wants to see uses like a hotel.

Positive Impacts

- i. The proposed development will eliminate dangerous access egress points along both Douglas Street and Gorge Road.
- ii. The proposed Sandman Signature hotel will frame the NW corner of Douglas Street and Gorge Road. This is an objective under the Burnside Gorge Community Plan for redevelopment of properties at high visual impact corners and will set the stage for the desired future pedestrian friendly streetscape within the immediate area.
- iii. As part of the hotel, there will be the addition of a full-service restaurant and patio. This addition will help further the Community's goal to create a pedestrian friendly streetscapes.

Design and Development Permit Guidelines

- i. The "Burnside Gorge Neighborhood Plan" was considered during the design of the proposed development in order to maintain the general employment zoning and be consistent with the "Official Community Plan"
- ii. The "Urban Design Policies" were considered to establish a prominent building on our triangular block.
- iii. BC Transit was consulted to enhance the pedestrian experience along Douglas Street adjacent to the BC Transit depot

Safety and Security

- i. The "Crime Prevention Through Environmental Design" was considered during the design of the proposed developments.
- ii. Main entries to the existing and proposed buildings are accentuated by the "Porte Cochere's", making it clear where pedestrian traffic should go.
- iii. All windows at the ground floor have no operable components, assisting in the prevention of unauthorized entry.
- iv. Landscaping is selected and will be trimmed to prevent places of concealment for unauthorized users and prevent opportunities for stolen goods to be hidden.

Transportation

- i. This site exceeds the minimum parking requirement outlined in the vehicle parking standards of Schedule C – Off-street Parking of 192 stalls by 4 stalls. This was achieved by way of our proposed below grade parkade, existing below grade parkade and surface parking, which includes 6 accessible parking stalls.
- ii. Minimum Bicycle stall requirement outlined in the vehicle parking standards of Schedule C – Off-street Parking demanded 14 Class A and 18 Class B stalls. This requirement has been met by way of our surface level temporary and below grade, long term bicycle storage.
- iii. Parcel is not on a Greenway



N O R T H L A N D

PROPERTIES

Heritage

- i. Neither buildings on the 2852 Douglas Street property nor the 2706 Government street property are of Heritage status.

Green Building Features

- i. Please find attached PCAI's **Sustainable "Green" Development Objectives**

Infrastructure

- i. There is adequate public infrastructure and community/recreation services available to meet the proposal for sewer, water, sidewalks, roads and parks.

Should you have any question regarding the information above or the enclosed drawings and documentation please do not hesitate to contact myself, Scott Harwood, Development and Permitting Manager at Northland Properties Corp., or the Architect, Paul Kwasnicky of Pacific Coast Architecture Inc.

Yours Truly,

Scott Harwood | Northland Construction

310 - 1755 W Broadway
P 604 730 6645 | F 604 730 4645
sharwood@northland.ca

Cc: Mr. Paul Kwasnicky, Architect, Mr. Josh Mutis, NPL