



## Advisory Design Panel Report For the Meeting of June 28, 2023

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**To:** Advisory Design Panel **Date:** June 2, 2023  
**From:** Geordie Gordon, Senior Planner – Sustainable Planning and Community Development  
**Subject:** **Development Permit with Variances Application No. 00239 for 854-880 Pandora Avenue**

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### EXECUTIVE SUMMARY

The Advisory Design Panel (ADP) is requested to review a Development Permit Application for 854-880 Pandora Avenue and provide advice to Council.

The proposal is for 68-metre, 14-storey mixed-use residential rental apartment building with two levels of parking underground and outdoor amenity spaces on the roof of the third level and the rooftop. Commercial frontage is provided on the main level at the corner of Pandora Avenue and Quadra Street, as well as along the Pandora Avenue frontage. The application requires a rezoning to increase the permitted density and number of storeys.

The subject property is designated Core Residential in the *Official Community Plan (OCP, 2012)*, which supports mixed-use buildings up to approximately twenty storeys up to a maximum 5:1 Floor Space Ratio (FSR) for the geographic area. The property is within Development Permit Area 3 Heritage Conservation: Core Mixed-Use Residential and subject to the Downtown Core Area Plan.

Staff are looking for commentary from the Advisory Design Panel with regard to:

- relationship with heritage designated church properties
- tower material colour
- any other aspects of the proposal on which the ADP chooses to comment.

The Options section of this report provides guidance on possible recommendations that the Panel may make, or use as a basis to modify, in providing advice on this application.

## BACKGROUND

|                                 |   |
|---------------------------------|---|
| <b>Applicant:</b>               | Mr. Devin Spence<br>Townline Homes                            |
| <b>Architect:</b>               | Mr. Mark Grimsrud, Architect AIBC<br>MCMP                     |
| <b>Development Permit Area:</b> | Development Permit Area 3 (HC), Core Mixed-Use<br>Residential |
| <b>Heritage Status:</b>         | n/a   |

## Description of Proposal

This proposal is for a mixed-use project with an 11-storey tower set atop a three-storey podium with two levels of underground parking. Outdoor amenity areas are accessed on the roof of level three and the rooftop. The application comprises three street frontages: Mason Street to the north (townhouses and parkade entrance); Quadra Street to the east (residential tower entrance and commercial units); and Pandora Avenue to the south (commercial unit entrance).

The proposal includes the following major design components:

- mixed-use commercial and residential
- small plaza areas at the corners Pandora Avenue and Quadra Street, and Mason Street and Quadra Street
- outdoor amenity area on the roof of podium level three, with outdoor seating area, dog run, and garden beds
- rooftop patio area with barbecue facilities
- ground oriented townhouses on Mason Street frontage
- landscaping materials include: composite wood decking, decorative river rocks, sodded and artificial turf, porcelain and concrete pavers, five tree species, fifteen shrub species, and nine varieties of perennials, grasses and groundcover.

Exterior finishes include:

- two colours of metal panel on tower (grey and black)
- four colours of metal panels on podium (white, terra cotta, red, and brown)
- light coloured brick on podium
- metal panel soffit in white oak
- black painted steel canopies
- clear glass
- black mullions.

The following data table compares the proposal with the existing CA-1 Zone, Pandora Avenue Special Commercial District. An asterisk is used to identify where the proposal does not meet the criterion of the existing Zone. Additionally, the key City policy that pertains to the area has been included in this table.

| Zoning Criteria   | Proposal  | Zone Standard | OCP Policy | Downtown Core Area Plan |
|---|---|---------------|------------|-------------------------|
| Site area (m <sup>2</sup> ) – minimum                           | 2,172.70  | n/a           | n/a        | n/a                     |
| Density (Floor Space Ratio) – maximum                           | 4.5:1*<br>(4.18:1 Residential<br>0.32:1 – Commercial) | 2:1           | 5:1        | 4.5:1                   |
| Total floor area (m <sup>2</sup> ) – maximum                    | 9,777.24*   | 4,345.4       | 10,861     | 9,777.15                |
| Height (m) – maximum  | 44.82*  | 15.50         | n/a        | 45                      |
| Storeys – maximum   | 14  | n/a           | Up to 20   | 15                      |
| Site coverage (%) – maximum                                     | 90.8  | n/a           | n/a        | n/a                     |
| Open site space (%) – minimum                                   | n/a   | n/a           | n/a        | n/a                     |
| <b>Setbacks (m) – minimum</b>                                   |   |               |            |                         |
| Front (Pandora Street)  | Podium – 0.00<br>Tower - TBD                          | 3.0           | n/a        | n/a                     |
| Rear (Mason Street)   | Podium – 2.21<br>Tower - TBD                          | 3.0           | n/a        | n/a                     |
| Side (Quadra Street)  | Podium – 0.61<br>Tower – TBD                          | 3.0           | n/a        | n/a                     |
| Side (W)  | Podium – 0.33<br>Tower - TBD                          | 3.0           | n/a        | n/a                     |
| Vehicle parking – minimum                                       | 79  | 80            | n/a        | n/a                     |
| Accessible Parking  | 3   | 3             | n/a        | n/a                     |
| Van Accessible  | 0   | 1             | n/a        | n/a                     |
| Visitor vehicle parking included in the overall units - minimum | 8*  | 14            | n/a        | n/a                     |
| Accessible  | 1   | 0             | n/a        | n/a                     |

| Zoning Criteria                         | Proposal | Zone Standard | OCP Policy | Downtown Core Area Plan |
|---|----------|---------------|------------|-------------------------|
| Van Accessible                          | 0*       | 1             | n/a        | n/a                     |
| Parking – Commercial                    | 17       | 17            | n/a        | n/a                     |
| Accessible                              | 2*       | 3             | n/a        | n/a                     |
| Van Accessible                          | 0        | 1             | n/a        | n/a                     |
| <b>Bicycle parking stalls – minimum</b> |          |               |            |                         |
| Residential Long-term                   | 158      | 157           | n/a        | n/a                     |
| Residential Short-term                  | 14       | 14            | n/a        | n/a                     |
| Commercial Long-term                    | 2*       | 3             | n/a/       | n/a                     |
| Commercial Short-term                   | 8        | 3             | n/a        | n/a                     |

### Sustainability Features

No sustainability features beyond minimum requirements have been proposed.

### Consistency with Policies and Design Guidelines

#### Official Community Plan

The *Official Community Plan* (OCP, 2012) designates the properties as Core Residential, which envisions multi-unit residential, commercial and mixed-used buildings from three storeys up to approximately 20 storeys. Density for the area west of Quadra Street, north of Pandora Avenue, and south of Caledonia Avenue is envisioned to be up to 5:1. Place Characteristic Features applicable to this application include three to five storey building facades with set-back upper storeys, buildings set close to the street to define the public realm along retail streets, with uses including high-rise multi-unit residential and mixed use.

The OCP also identifies the site within Development Permit Area 3 (HC): Core Mixed-Use Residential.

#### North Park Neighbourhood Plan

The *North Park Neighbourhood Plan* (NPNP, 2022) is consistent with the OCP and identifies the subject properties as Core Residential. The NPNP identifies North Park as being “on the shoulder of Victoria’s downtown”, with DCAP providing guidance for development in some areas of North Park, including along Pandora Avenue and encompassing the subject site. While within the North Park Neighbourhood boundaries, redevelopment of the subject site is therefore guided primarily by DCAP.

## Design Guidelines for DPA 3 (HC)

The OCP identifies this property in [Development Permit Area 3 \(HC\)](#) : Core Mixed Use Residential. The objective for this DPA that are relevant to this location include:

- to transform the function, form and character of the Core Residential area through mid-to-high-rise residential mixed use and commercial buildings, with greatest heights along Yates Street and Blanshard Street
- to enhance the area through a high quality of architecture, landscape and urban design that reflects the function of a major residential centre on the edge of a central business district in scale, massing and character, while responding to its context of a skyline with prominent heritage landmark buildings.

Special conditions that justify this DPA designation that are applicable to this application include:

- the Core Residential area is a major residential district on the edge of a regional commercial and employment district. It has lands available for residential growth through intensified multi-unit residential and mixed-use development. There is also some capacity for commercial development close to the Core Business area, along Blanshard Street, Pandora Avenue and Yates Street.

The design guidelines that apply to Development Permit Area 3 (HC) are:

[Downtown Core Area Plan \(DCAP\) \(2011, revised 2021\)](#) – with special attention to appendices (i) to (iv)

[Advisory Design Guidelines for Buildings, Signs and Awnings \(2006\)](#)

[Guidelines for Fences, Gates and Shutters \(2010\)](#)

## **ISSUES AND ANALYSIS**

The following section(s) identify and provide a brief analysis of the areas where the Panel is requested to provide commentary. The Panel's commentary on any other aspects of the proposal is also welcome.

### Relationship With Heritage Church Properties

The subject property is within a 90m heritage landmark radius from two heritage designated buildings: St. John the Divine Anglican Church (1611 Quadra) and Alix Goolden Performance Hall (907 Pandora Avenue). Both buildings are listed as prominent heritage buildings in the OCP. Official Community Plan policy indicates that the views of these landmark buildings from the public realm should be given careful consideration when new development is proposed within the identified radius. The proposed tower location is partially within the overlap of the two landmark building radii (see figure 1). Once the subject sites are consolidated there will be a portion of the subject property that is not impacted by the landmark radii, on the western portion of the site (with the current address of 854/858 Pandora Ave). This would allow for the tower to be located outside of the identified area of heritage impact. Staff are concerned that the tower design has not adequately contemplated the view of the heritage properties, particularly from the perspective

looking north, from south of the subject property, along Quadra Street and looking east along Pandora Avenue.

However, there are also competing priorities related to tower placement, which includes the relationship to future development of the adjacent property at 830-848 Pandora Avenue. Development of that site could see a similar podium and tower form (although given density restrictions, this would likely be at a lower storey count than the application under consideration). Consideration should be given to a future tower and associated separation distances. The adjacent property at 830-848 Pandora Avenue is also subject to a different heritage landmark radius from the Congregation Emanu-el Synagogue at 1461 Blanshard Street. Downtown Core Area Plan guidelines call for a minimum 10m setback from adjacent rear and side setbacks, as well as providing guidance on a 20m separation distance between residential towers (which would be accomplished with the 10m setback per lot). If the proposed tower were to be relocated to the western portion of the subject property, out of the heritage landmark radius, it may not meet the tower separation distance requirements upon future build out of the adjacent property. A future tower on the adjacent site would likely be unable to escape the heritage landmark radius and meet the 10m lot line setback guideline.

If the tower were to be relocated to the western portion of the subject property and maintain a 10m lot line setback, it would likely result in the fragmentation of the rooftop amenity space around the base of the tower, which could result in a less desirable area for residents to enjoy. The relocated tower would also likely impact the floorplan of the ground floor commercial space.

Staff recognize that there are other constraints to site design as well as competing priorities for tower placement, and are seeking ADP guidance on options to mitigate the impact of the tower on adjacent heritage properties through measures such as stepping back the upper stories of the tower or relocating the tower to the western end of the subject property.

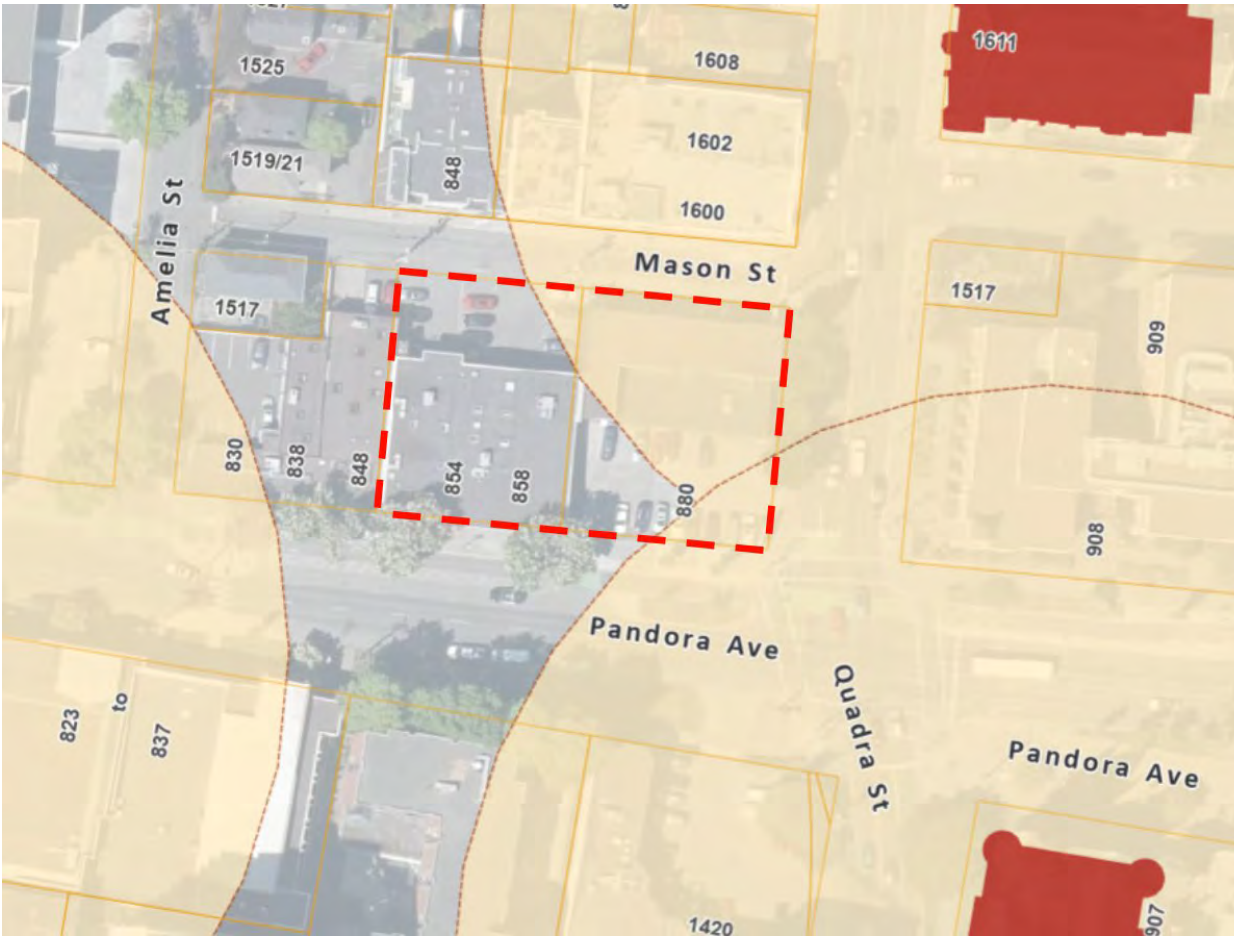


Figure 1 – Overlap of 90m radius from OCP heritage landmark buildings. Subject property (when consolidated) shown in dashed red outline.

Tower Material Colour

The Downtown Core Area Plan encourages consistency of materials, finishes, and patterns between the building base and the upper storey tower. The proposal substantially satisfies this requirement through use of metal throughout the base and tower. However, there is significant colour contrast between the base (lighter panel, as well as colour panels on the townhouse), and the tower (black and grey panels). Combined with the influence of surrounding heritage landmark buildings, staff have concerns that the tower may not be responding to surrounding context in colour choice, nor be well integrated with the base colour and welcome the ADPs comments on whether the colour choice proposed is appropriate.

**OPTIONS**

The following are three potential options that the Panel may consider using or modifying in formulating a recommendation to Council:

### **Option One**

That the Advisory Design Panel recommend to Council that Development Permit Application Development Permit with Variances Application No. 00239 for 854-880 Pandora Avenue be approved as presented.

### **Option Two**

That the Advisory Design Panel recommend to Council that Development Permit Application Development Permit with Variances Application No. 00239 for 854-880 Pandora Avenue be approved with the following changes:

- as listed by the ADP.

### **Option Three**

That the Advisory Design Panel recommend to Council that Development Permit Application Development Permit with Variances Application No. 00239 for 854-880 Pandora Avenue does not sufficiently meet the applicable design guidelines and polices and should be declined (and that the key areas that should be revised include:)

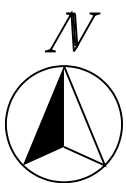
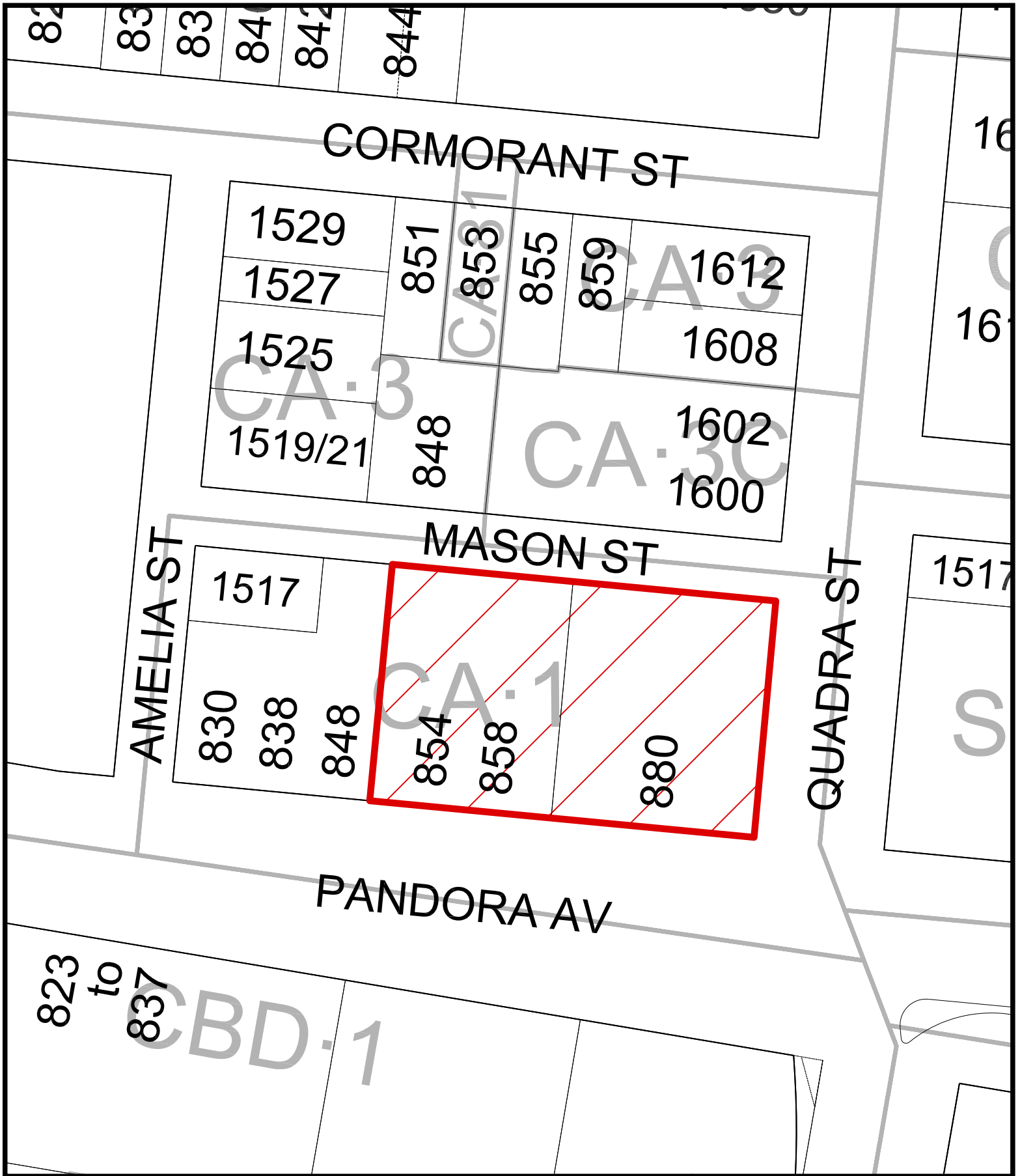
- as listed by the ADP, if there is further advice on how the application could be improved.

### **ATTACHMENTS**

- Subject Map
- Aerial Map
- Plans date stamped May 29, 2023
- Applicant's letter dated March 24, 2023

cc: Townline Homes, Applicant; MCMP, Architect





854, 858 & 880 Pandora Avenue  
Rezoning No.00849





# 854-880 PANDORA AVENUE

## ISSUED FOR REZONING AND DEVELOPMENT PERMIT

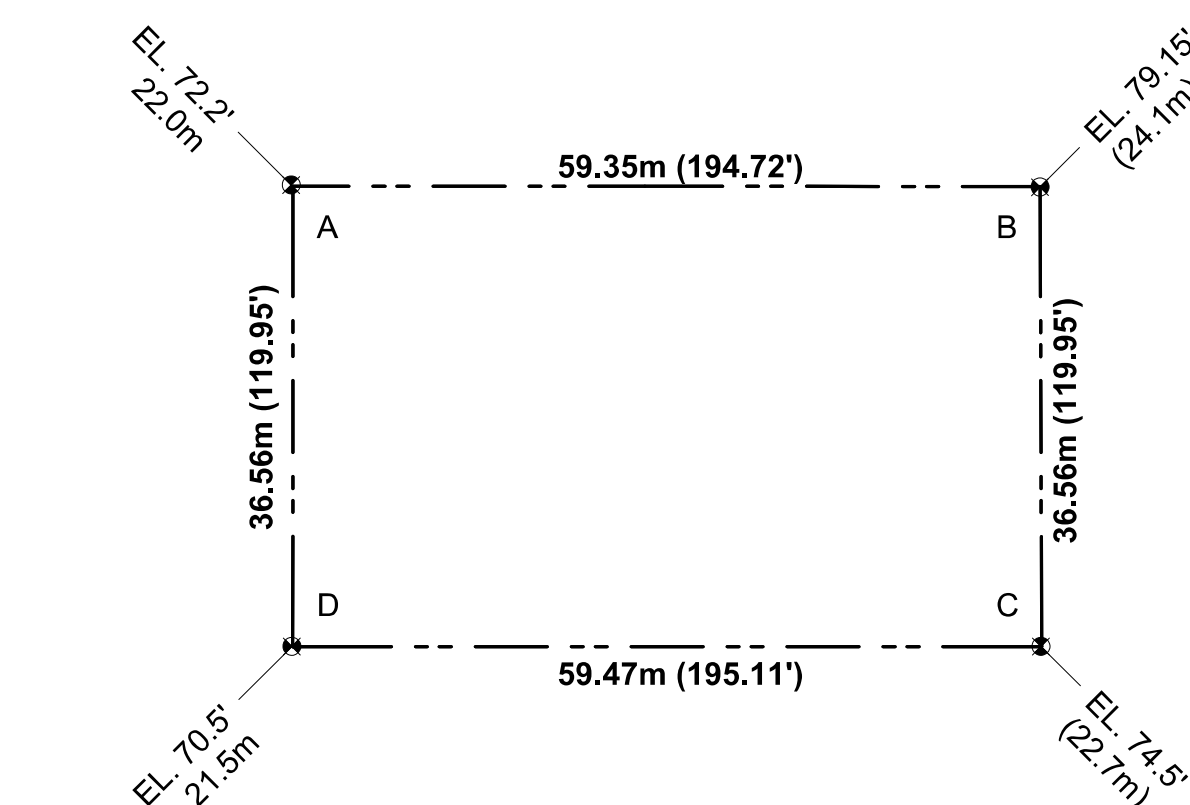


### CAR PARKING REQUIREMENTS

| RESIDENTIAL |                           |                              |                           |                        |       |
|-------------|---------------------------|------------------------------|---------------------------|------------------------|-------|
| APARTMENT   | 0.50 SPACES/UNIT (< 45m²) | 0.60 SPACES/UNIT (45m²-70m²) | 1.00 SPACES/UNIT (> 70m²) | 0.1 VISITOR SPACE/UNIT | TOTAL |
| REQUIRED    | 28                        | 44                           | 8                         | 14                     | 94    |
| PROVIDED    | ~0.51 SPACES/UNIT = 71    |                              |                           |                        | 85    |

| COMMERCIAL |                             |                         |                             |                                       |                           |       |
|------------|-----------------------------|-------------------------|-----------------------------|---------------------------------------|---------------------------|-------|
|            | RESTAURANT<br>1 SPACE /40m² | RETAIL<br>1 SPACE /80m² | RESTAURANT<br>1 SPACE /40m² | GROCERY<br>MIN. 3 SPACES/<br>1,000 SF | DAYCARE<br>1 SPACE /100m² | TOTAL |
| REQUIRED   | 6                           | 5                       | -                           | -                                     | -                         | 11    |
| PROVIDED   | 6                           | 5                       | -                           | -                                     | -                         | 11    |

| RESIDENTIAL + COMMERCIAL CAR PARKING TOTAL |     |
|--|-----|
| REQUIRED                                   | 105 |
| PROVIDED                                   | 96  |



### AVERAGE GRADE PLAN

### BIKE PARKING REQUIREMENTS

| RESIDENTIAL          |                       |                |                |                           |                            |       |
|----------------------|-----------------------|----------------|----------------|---------------------------|----------------------------|-------|
| APARTMENT (LONGTERM) | 1 SPACE/UNIT (< 45m²) |                |                | 1.25 SPACES/UNIT (< 45m²) |                            | TOTAL |
|                      | 1 SPACE/UNIT (< 45m²) | 1 SPACE /200m² | 1 SPACE /400m² | 1 SPACE /200m²            | 0.1 SPACES / DWELLING UNIT |       |
| REQUIRED             | 55                    | 103            | 158            | 14                        | 14                         | 14    |
| PROVIDED             | ~1.2 SPACES/UNIT      |                |                |                           | 14                         | 14    |

| COMMERCIAL |                          |                          |                              |                           |                           |       |
|------------|--------------------------|--------------------------|------------------------------|---------------------------|---------------------------|-------|
| (LONGTERM) | OFFICE<br>1 SPACE /150m² | RETAIL<br>1 SPACE /200m² | RESTAURANT<br>1 SPACE /400m² | GROCERY<br>1 SPACE /200m² | DAYCARE<br>1 SPACE /700m² | TOTAL |
| REQUIRED   | -                        | 2                        | 1                            | -                         | -                         | 3     |
| PROVIDED   | -                        | 2                        | 2                            | -                         | -                         | 4     |

| (SHORTTERM) |                          |                          |                              |                           |                           |       |
|-------------|--------------------------|--------------------------|------------------------------|---------------------------|---------------------------|-------|
|             | OFFICE<br>1 SPACE /400m² | RETAIL<br>1 SPACE /200m² | RESTAURANT<br>1 SPACE /100m² | GROCERY<br>1 SPACE /200m² | DAYCARE<br>1 SPACE /200m² | TOTAL |
| REQUIRED    | -                        | 2                        | 3                            | -                         | -                         | 5     |
| PROVIDED    | -                        | 2                        | 3                            | -                         | -                         | 5     |

| RESIDENTIAL + COMMERCIAL BIKE PARKING TOTAL (LONGTERM) |     |
|--|-----|
| REQUIRED   | 161 |
| PROVIDED   | 162 |

| RESIDENTIAL + COMMERCIAL BIKE PARKING TOTAL (SHORTTERM) |    |
|---|----|
| REQUIRED  | 19 |
| PROVIDED  | 20 |

### AVERAGE GRADE CALCULATION

|             |                                       |         |
|-------------|---------------------------------------|---------|
| A-B =       | $[(22.0m + 24.1m)/2] \times 59.35m =$ | 1368.02 |
| B-C =       | $[(24.1m + 22.7m)/2] \times 36.56m =$ | 855.50  |
| C-D =       | $[(22.7m + 21.5m)/2] \times 59.47m =$ | 1314.29 |
| D-A =       | $[(21.5m + 22.0m)/2] \times 36.56m =$ | 795.18  |
| AVG GRADE = | $4,332.99 / 191.94m =$                | 22.57m  |

NOTE:

BUILDING & ACCESS TO BUILDING DESIGNED TO BCBC 2018 REQUIREMENTS.

### SITE STATISTICS

|                                  |                         |
|----------------------------------|-------------------------|
| ZONING (EXISTING)                | CA-1                    |
| SITE AREA                        | 2,172.70 m <sup>2</sup> |
| TOTAL FLOOR AREA (FSR)           | 9,771.00 m <sup>2</sup> |
| COMMERCIAL FLOOR AREA (FSR)      | 680.15 m <sup>2</sup>   |
| FLOOR SPACE RATIO                | 4.50                    |
| SITE COVERAGE                    | 90.8% %                 |
| OPEN SITE SPACE                  | 7.6% %                  |
| HEIGHT OF BUILDING               | 44.82 m                 |
| NUMBER OF STOREYS                | 14                      |
| PARKING STALLS ON SITE           | 96                      |
| BICYCLE PARKING (STORAGE + RACK) | 182                     |

| BUILDING SETBACKS  |        |
|--------------------|--------|
| FRONT YARD (SOUTH) | 0.00 m |
| SIDE YARD (EAST)   | 0.61 m |
| REAR YARD (NORTH)  | 2.23 m |
| SIDE YARD (WEST)   | 0.33 m |

| RESIDENTIAL USE DETAILS      |                         |
|------------------------------|-------------------------|
| TOTAL NUMBER OF UNITS        | 137                     |
| UNIT TYPE                    |                         |
| STUDIO                       | 29                      |
| 1 BEDROOM                    | 40                      |
| 1 BEDROOM + DEN              | 22                      |
| 2 BEDROOM                    | 44                      |
| 3 BEDROOM                    | 2                       |
| GROUND ORIENTED UNIT         | 6                       |
| MINIMUM UNIT FLOOR AREA      | 37.80 m <sup>2</sup>    |
| TOTAL RESIDENTIAL FLOOR AREA | 7,406.30 m <sup>2</sup> |

### FLOOR SPACE AREAS + FSR

| RESIDENTIAL                               | AREA (m <sup>2</sup> ) |
|---|------------------------|
| LEVEL 1- RESIDENTIAL LOBBY/SERVICES/EXITS | 557.86                 |
| LEVEL 1 - UPPER TOWNHOUSE                 | 313.56                 |
| LEVEL 2                                   | 1,050.09               |
| LEVEL 3                                   | 1,050.09               |
| LEVEL 4                                   | 584.61                 |
| LEVEL 5                                   | 584.61                 |
| LEVEL 6                                   | 584.61                 |
| LEVEL 7                                   | 584.61                 |
| LEVEL 8                                   | 584.61                 |
| LEVEL 9                                   | 584.61                 |
| LEVEL 10                                  | 584.61                 |
| LEVEL 11                                  | 584.61                 |
| LEVEL 12                                  | 584.61                 |
| LEVEL 13                                  | 584.61                 |
| LEVEL 14 - ROOF AMENITY DECK              | 273.13                 |
| <b>TOTAL</b>                              | <b>9,090.85</b>        |

| COMMERCIAL                      | AREA (m <sup>2</sup> ) |
|---------------------------------|------------------------|
| LEVEL 1 CRU SPACE               | 607.9                  |
| RESTAURANT USE                  | 255.0                  |
| RETAIL USE                      | 425.0                  |
| LEVEL 1 CRU GARBAGE / RECYCLING | 26.8                   |
| LEVEL 1 CRU COMMUNICATION ROOM  | 16.8                   |
| LEVEL 1 CRU SERVICE CORRIDOR    | 28.7                   |
| <b>TOTAL</b>                    | <b>680.2</b>           |

| SITE AREA        | 2,172.7 (m <sup>2</sup> ) |
|------------------|---------------------------|
| COMMERCIAL       | 0.31 FSR                  |
| RESIDENTIAL      | 4.18 FSR                  |
| <b>TOTAL FSR</b> | <b>4.50 FSR</b>           |

### UNIT BREAKDOWN

|              | 1 BED +   |           |           |           | TOTAL      |
|--------------|-----------|-----------|-----------|-----------|------------|
|              | STUDIO    | 1 BED     | 2 BED     | 3 BED     |            |
| LEVEL 1      | 0         | 0         | 6         | 0         | 6          |
| LEVEL 2      | 4         | 4         | 1         | 4         | 14         |
| LEVEL 3      | 5         | 6         | 1         | 4         | 17         |
| LEVEL 4      | 2         | 3         | 2         | 3         | 10         |
| LEVEL 5      | 2         | 3         | 2         | 3         | 10         |
| LEVEL 6      | 2         | 3         | 2         | 3         | 10         |
| LEVEL 7      | 2         | 3         | 2         | 3         | 10         |
| LEVEL 8      | 2         | 3         | 2         | 3         | 10         |
| LEVEL 9      | 2         | 3         | 2         | 3         | 10         |
| LEVEL 10     | 2         | 3         | 2         | 3         | 10         |
| LEVEL 11     | 2         | 3         | 2         | 3         | 10         |
| LEVEL 12     | 2         | 3         | 2         | 3         | 10         |
| LEVEL 13     | 2         | 3         | 2         | 3         | 10         |
| <b>TOTAL</b> | <b>29</b> | <b>40</b> | <b>22</b> | <b>44</b> | <b>137</b> |

| UNIT MIX     |               |
|--------------|---------------|
| STUDIO       | 21.2%         |
| 1 BED        | 29.2%         |
| 1 BED + DEN  | 16.1%         |
| 2 BED        | 32.1%         |
| 3 BED        | 1.5%          |
| <b>Total</b> | <b>100.0%</b> |

### UNIT COUNT / AREA

| L1           |       |                      |                     |                                |
|--------------|-------|----------------------|---------------------|--------------------------------|
| Unit         | Type  | Interior Area        | Balcony             |                                |
| TH-1         | 2 BED | 767.6 SQ.FT.         | 71.3 SQ. M.         | 28.6 SQ.FT. 2.7 SQ. M.         |
| TH-2         | 2 BED | 783.1 SQ.FT.         | 72.8 SQ. M.         | 28.6 SQ.FT. 2.7 SQ. M.         |
| TH-3         | 2 BED | 783.1 SQ.FT.         | 72.8 SQ. M.         | 28.6 SQ.FT. 2.7 SQ. M.         |
| TH-4         | 2 BED | 783.1 SQ.FT.         | 72.8 SQ. M.         | 28.6 SQ.FT. 2.7 SQ. M.         |
| TH-5         | 2 BED | 783.1 SQ.FT.         | 72.8 SQ. M.         | 28.6 SQ.FT. 2.7 SQ. M.         |
| TH-6         | 2 BED | 764.6 SQ.FT.         | 71.0 SQ. M.         | 29.3 SQ.FT. 2.7 SQ. M.         |
| <b>TOTAL</b> |       | <b>4664.6 SQ.FT.</b> | <b>433.4 SQ. M.</b> | <b>30.3 SQ.FT. 16.0 SQ. M.</b> |

| L2           |             |                       |                     |                                    |
|--------------|-------------|-----------------------|---------------------|------------------------------------|
| Unit         | Type        | Interior Area         | Balcony             |                                    |
| 201          | 1 BED + DEN | 593.9 SQ.FT.          | 55.2 SQ. M.         | 74.4 SQ.FT. 6.9 SQ. M.             |
| 202          | 2 BED       | 687.0 SQ.FT.          | 63.8 SQ. M.         | 69.0 SQ.FT. 6.4 SQ. M.             |
| 203          | 2 BED       | 687.0 SQ.FT.          | 63.8 SQ. M.         | 69.0 SQ.FT. 6.4 SQ. M.             |
| 204          | 2 BED       | 720.2 SQ.FT.          | 66.9 SQ. M.         | 69.0 SQ.FT. 6.4 SQ. M.             |
| 205          | STUDIO      | 518.3 SQ.FT.          | 48.2 SQ. M.         | 69.0 SQ.FT. 6.4 SQ. M.             |
| 206          | STUDIO      | 529.6 SQ.FT.          | 49.2 SQ. M.         | 69.0 SQ.FT. 6.4 SQ. M.             |
| 207          | STUDIO      | 529.6 SQ.FT.          | 49.2 SQ. M.         | 69.0 SQ.FT. 6.4 SQ. M.             |
| 208          | STUDIO      | 529.6 SQ.FT.          | 49.2 SQ. M.         | 69.0 SQ.FT. 6.4 SQ. M.             |
| 209          | 3 BED       | 941.7 SQ.FT.          | 87.5 SQ. M.         | 224.4 SQ.FT. 20.8 SQ. M.           |
| 210          | 1 BED       | 563.2 SQ.FT.          | 52.3 SQ. M.         | 131.3 SQ.FT. 12.2 SQ. M.           |
| 211          | 1 BED       | 510.7 SQ.FT.          | 47.4 SQ. M.         | 115.0 SQ.FT. 10.7 SQ. M.           |
| 212          | 2 BED       | 643.8 SQ.FT.          | 59.8 SQ. M.         | 113.7 SQ.FT. 10.6 SQ. M.           |
| 213          | 1 BED       | 432.9 SQ.FT.          | 40.2 SQ. M.         | 113.3 SQ.FT. 10.5 SQ. M.           |
| 214          | 1 BED       | 438.5 SQ.FT.          | 40.7 SQ. M.         | 103.2 SQ.FT. 9.6 SQ. M.            |
| <b>TOTAL</b> |             | <b>8,326.0 SQ.FT.</b> | <b>773.5 SQ. M.</b> | <b>1,358.3 SQ.FT. 126.2 SQ. M.</b> |

| L3           |             |                       |                     |                                    |
|--------------|-------------|-----------------------|---------------------|------------------------------------|
| Unit         | Type        | Interior Area         | Balcony             |                                    |
| 301          | 1 BED + DEN | 593.9 SQ.FT.          | 55.2 SQ. M.         | 74.4 SQ.FT. 6.9 SQ. M.             |
| 302          | 2 BED       | 687.0 SQ.FT.          | 63.8 SQ. M.         | 69.0 SQ.FT. 6.4 SQ. M.             |
| 303          | 2 BED       | 687.0 SQ.FT.          | 63.8 SQ. M.         | 69.0 SQ.FT. 6.4 SQ. M.             |
| 304          | 2 BED       | 687.0 SQ.FT.          | 63.8 SQ. M.         | 69.0 SQ.FT. 6.4 SQ. M.             |
| 305          | STUDIO      | 518.3 SQ.FT.          | 48.2 SQ. M.         | 69.0 SQ.FT. 6.4 SQ. M.             |
| 306          | STUDIO      | 529.6 SQ.FT.          | 49.2 SQ. M.         | 69.0 SQ.FT. 6.4 SQ. M.             |
| 307          | STUDIO      | 529.6 SQ.FT.          | 49.2 SQ. M.         | 69.0 SQ.FT. 6.4 SQ. M.             |
| 308          | STUDIO      | 529.6 SQ.FT.          | 49.2 SQ. M.         | 69.0 SQ.FT. 6.4 SQ. M.             |
| 309          | 3 BED       | 941.7 SQ.FT.          | 87.5 SQ. M.         | 224.4 SQ.FT. 20.8 SQ. M.           |
| 310          | 1 BED       | 563.2 SQ.FT.          | 52.3 SQ. M.         | 131.3 SQ.FT. 12.2 SQ. M.           |
| 311          | 1 BED       | 510.7 SQ.FT.          | 47.4 SQ. M.         | 115.0 SQ.FT. 10.7 SQ. M.           |
| 312          | 2 BED       | 643.8 SQ.FT.          | 59.8 SQ. M.         | 113.7 SQ.FT. 10.6 SQ. M.           |
| 313          | 1 BED       | 432.9 SQ.FT.          | 40.2 SQ. M.         | 113.3 SQ.FT. 10.5 SQ. M.           |
| 314          | 1 BED       | 433.6 SQ.FT.          | 40.3 SQ. M.         | 96.3 SQ.FT. 8.9 SQ. M.             |
| 315          | 1 BED       | 540.8 SQ.FT.          | 50.2 SQ. M.         | 128.2 SQ.FT. 11.9 SQ. M.           |
| 316          | 1 BED       | 475.0 SQ.FT.          | 44.1 SQ. M.         | 123.7 SQ.FT. 11.5 SQ. M.           |
| 317          | STUDIO      | 419.8 SQ.FT.          | 39.0 SQ. M.         | 96.1 SQ.FT. 8.9 SQ. M.             |
| <b>TOTAL</b> |             | <b>9,723.5 SQ.FT.</b> | <b>903.3 SQ. M.</b> | <b>1,638.5 SQ.FT. 150.7 SQ. M.</b> |

| L4-L13 (10 LEVELS) |               |                     |                      |                                   |
|--------------------|---------------|---------------------|----------------------|-----------------------------------|
| Unit               | Type          | Interior Area       | Balcony              |                                   |
| 401-1301           | 1 BED B       | 466.0 SQ.FT.        | 43.3 SQ. M.          | 115.0 SQ.FT. 10.7 SQ. M.          |
| 402-1302           | STUDIO A      | 397.6 SQ.FT.        | 36.9 SQ. M.          | 98.0 SQ.FT. 9.1 SQ. M.            |
| 403-1303           | 2 BED A       | 673.1 SQ.FT.        | 62.5 SQ. M.          | 154.0 SQ.FT. 14.3 SQ. M.          |
| 404-1304           | 1 BED A       | 437.1 SQ.FT.        | 40.6 SQ. M.          | 111.0 SQ.FT. 10.3 SQ. M.          |
| 405-1305           | 1 BED + DEN B | 593.8 SQ.FT.        | 55.2 SQ. M.          | 154.0 SQ.FT. 14.3 SQ. M.          |
| 406-1306           | STUDIO A      | 397.6 SQ.FT.        | 36.9 SQ. M.          | 98.0 SQ.FT. 9.1 SQ. M.            |
| 407-1307           | 1 BED + DEN A | 580.0 SQ.FT.        | 53.9 SQ. M.          | 79.0 SQ.FT. 7.3 SQ. M.            |
| 408-1308           | 2 BED C       | 686.2 SQ.FT.        | 63.8 SQ. M.          | 81.0 SQ.FT. 7.5 SQ. M.            |
| 409-1309           | 1 BED A       | 437.1 SQ.FT.        | 40.6 SQ. M.          | 111.0 SQ.FT. 10.3 SQ. M.          |
| 410-1310           | 2 BED B       | 704.3 SQ.FT.        | 65.4 SQ. M.          | 105.0 SQ.FT. 9.8 SQ. M.           |
| <b>TOTAL</b>       |               | <b>53728 SQ.FT.</b> | <b>4991.5 SQ. M.</b> | <b>11060 SQ.FT. 1027.5 SQ. M.</b> |

137 TOTAL UNITS

Revisions

Received Date:  
May 29, 2023

### DRAWING LIST

|                  |                              |
|------------------|------------------------------|
| A-000            | COVER SHEET                  |
| A-101            | SITE PLAN EXISTING           |
| A-102            | SITE PLAN PROPOSED           |
| A-201            | LEVEL P2 PLAN                |
| A-202            | LEVEL P1 PLAN                |
| A-203            | LEVEL 1 FLOOR PLAN           |
| A-204            | LEVEL 1 UPPER                |
| A-205            | LEVEL 2 FLOOR PLAN           |
| A-206            | LEVEL 3 FLOOR PLAN           |
| A-207            | TYPICAL TOWER LEVEL PLAN     |
| A-208            | ROOF DECK PLAN               |
| A-209            | ROOF PLAN / ELEVATOR OVERRUN |
| A-300            | MATERIALS                    |
| A-301            | SOUTH ELEVATION              |
| A-302            | EAST ELEVATION               |
| A-303            | NORTH ELEVATION              |
| A-304            | WEST ELEVATION               |
| A-311            | BUILDING SECTION             |
| A-312            | BUILDING SECTION             |
| A-313            | BUILDING SECTION             |
| A-314            | BUILDING SECTION             |
| A-315            | BUILDING SECTION             |
| A-401            | STREETSCAPE ELEVATIONS       |
| A-402            | STREETSCAPE ELEVATIONS       |
| A-403            | SHADOW STUDY                 |
| A-404            | RENDERINGS                   |
| A-405            | RENDERINGS                   |
| A-406            | RENDERINGS                   |
| TOTAL SHEETS: 28 |                              |

Musson  
Cattell  
Mackey  
Partnership

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Oceanic Plaza  
1066 West Hastings Street  
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TOWNLIN

Revisions YYY-MM-DD

1 ISSUED FOR RZ/DP 2023-03-24  
2 RE-ISSUED FOR RZ/DP 2023-05-19

Seal

854-880  
Pandora Avenue

854-880 Pandora Ave  
Victoria, BC

Project

COVER SHEET

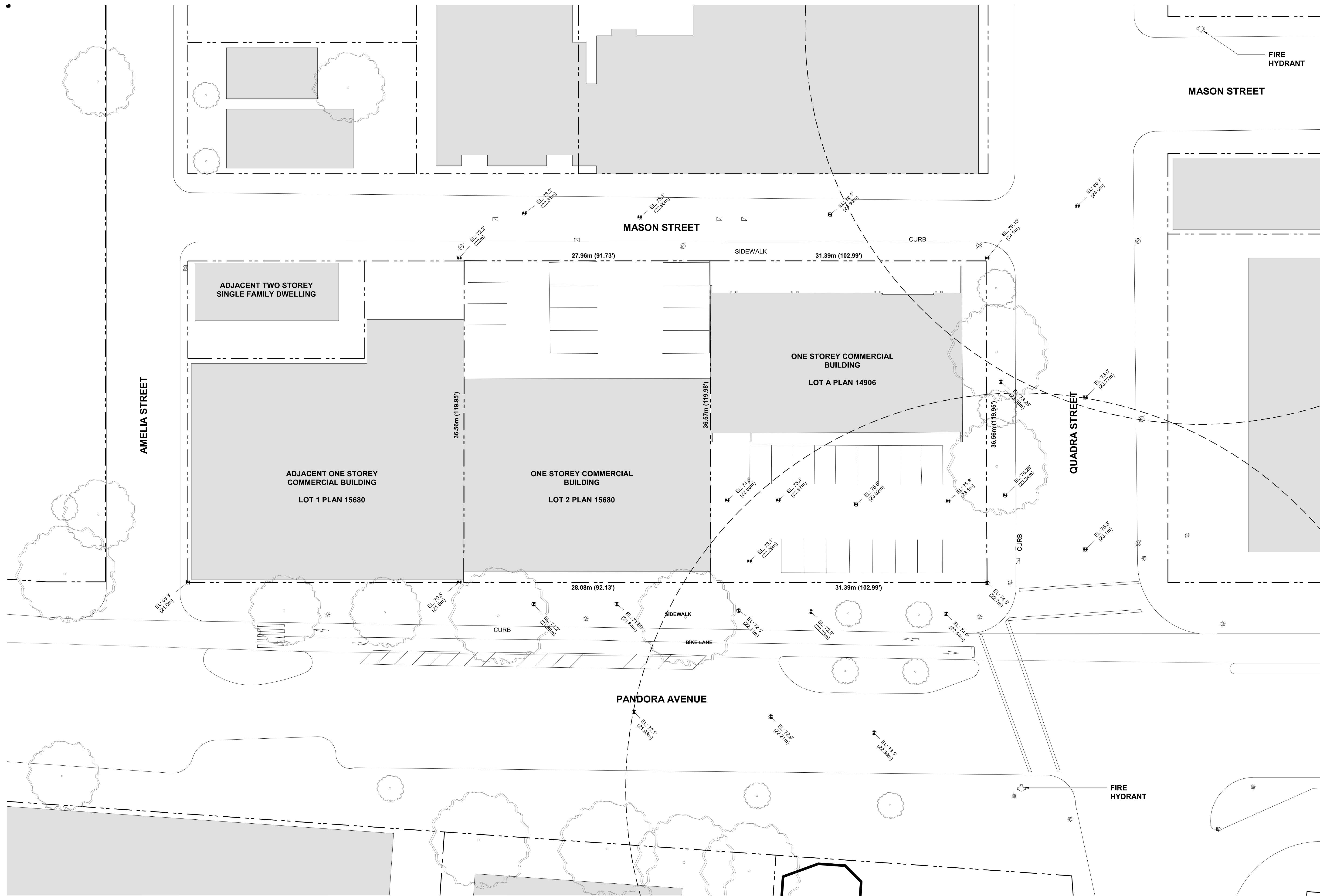
Drawing

Scale 1" = 50'-0"

Project 222011

Sheet

**A-000**



1 SITE PLAN EXISTING

A301 SCALE: 1 : 200

Seal

854-880  
Pandora Avenue

854-880 Pandora Ave  
Victoria, BC

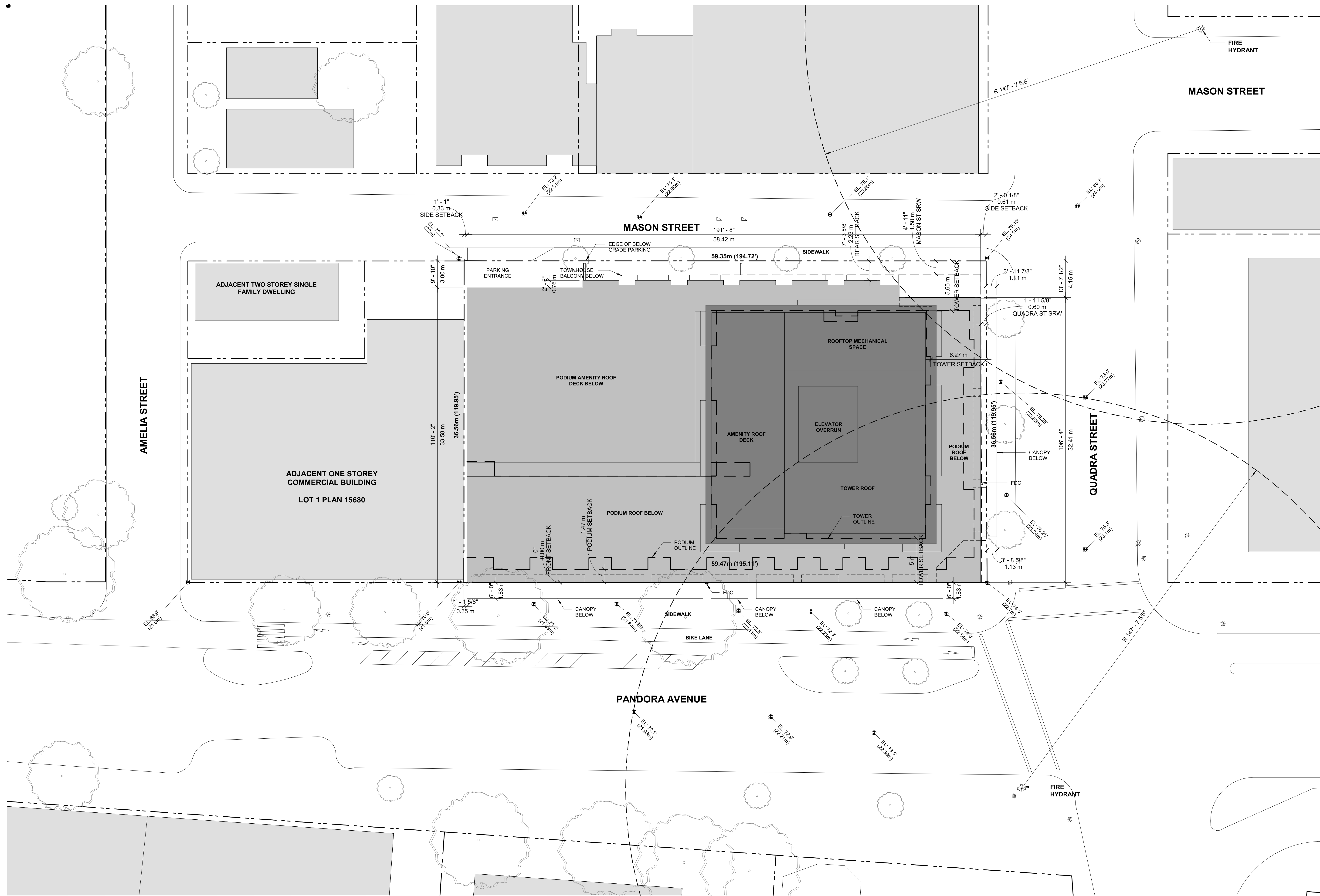
Project  
SITE PLAN EXISTING

Drawing

Scale 1 : 200

Project 222011

Sheet **A-101**



1 SITE PLAN PROPOSED

SCALE: 1 : 200  
REFER TO LANDSCAPE DRAWINGS FOR PLANTING, HARDSCAPE & FURNISHING DETAILS  
REFER TO CIVIL DRAWINGS FOR SITE SERVICING DETAILS

Seal

854-880 Pandora Avenue

854-880 Pandora Ave  
Victoria, BC

Project

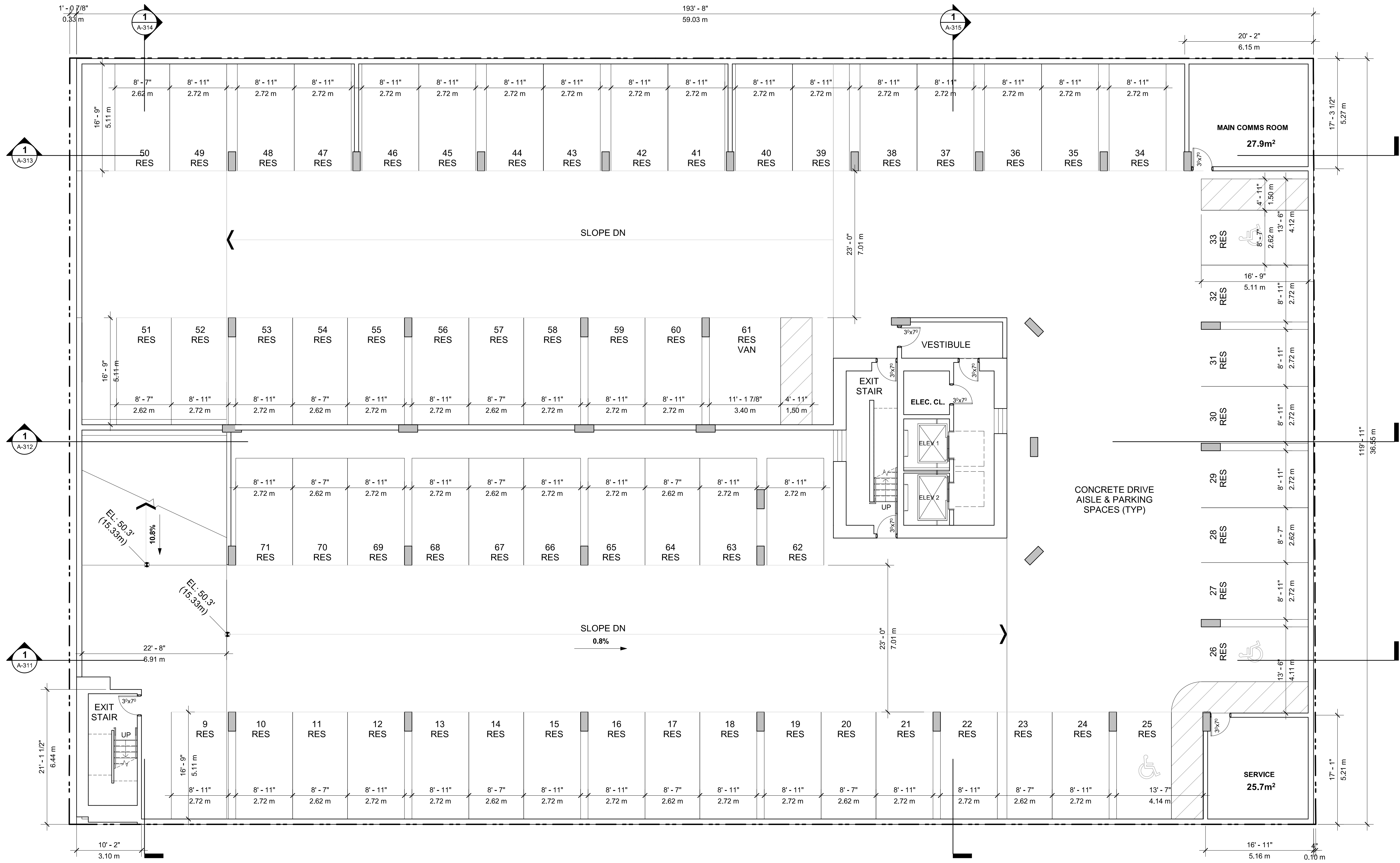
SITE PLAN PROPOSED

Drawing

Scale 1 : 200

Project 222011

Sheet A-102



LEVEL P2  
TOTAL PARKING SPACES  
63

1 LEVEL P2 PLAN  
SCALE: 1 : 100

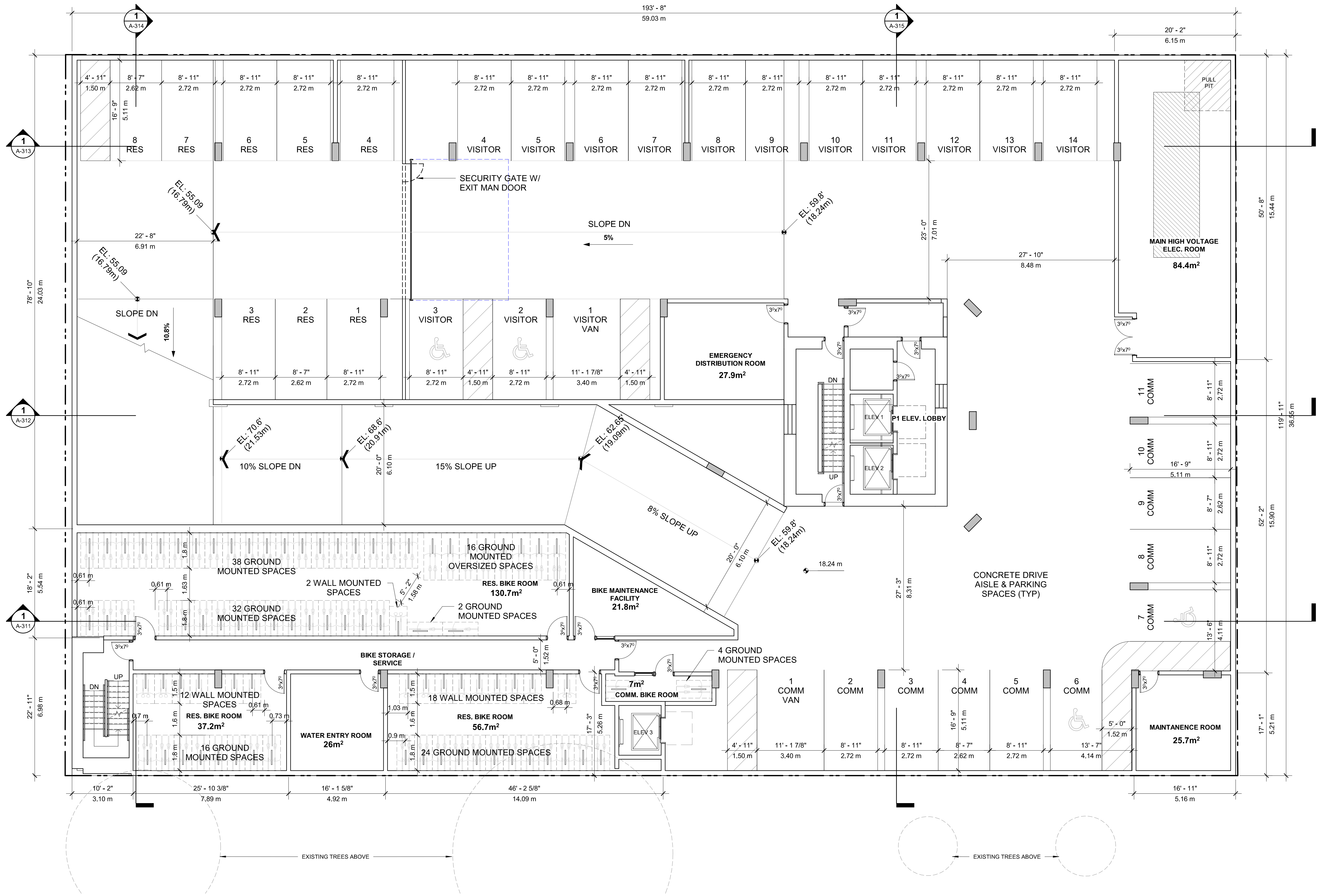
Seal  
854-880  
Pandora Avenue

854-880 Pandora Ave  
Victoria, BC  
Project  
LEVEL P2 PLAN

Drawing  
Scale 1 : 100

Project 222011

Sheet **A-201**



**LEVEL P1**

**TOTAL PARKING SPACES**  
33

**COMMERCIAL SPACES**  
11

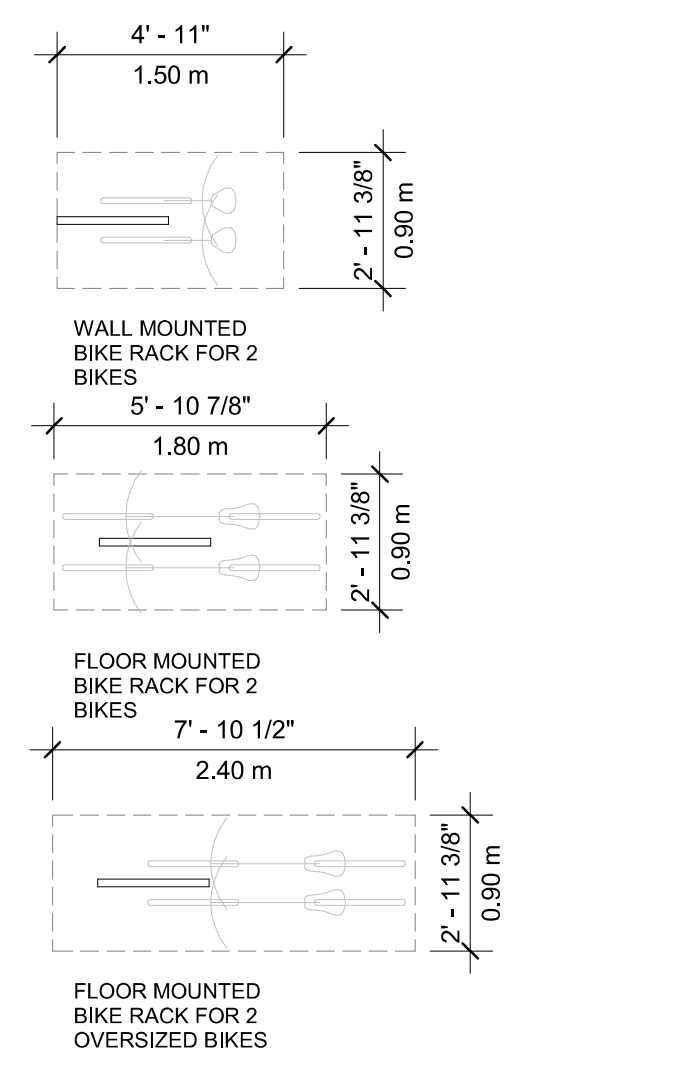
**VISITOR SPACES**  
14

**RESIDENTIAL SPACES**  
8

**TOTAL LONG TERM BICYCLE SPACES**  
160

**RESIDENTIAL SPACES**  
158  
(110 GROUND MOUNTED)  
(16 GROUND MOUNTED OVERSIZED)  
(32 WALL MOUNTED) (20%)

**COMMERCIAL SPACES**  
4 GROUND MOUNTED



NOTE:  
ELECTRICAL OUTLETS PROVIDED  
FOR 50% LONG-TERM BICYCLE  
PARKING

**LEVEL P1 PLAN**  
SCALE: 1 : 100

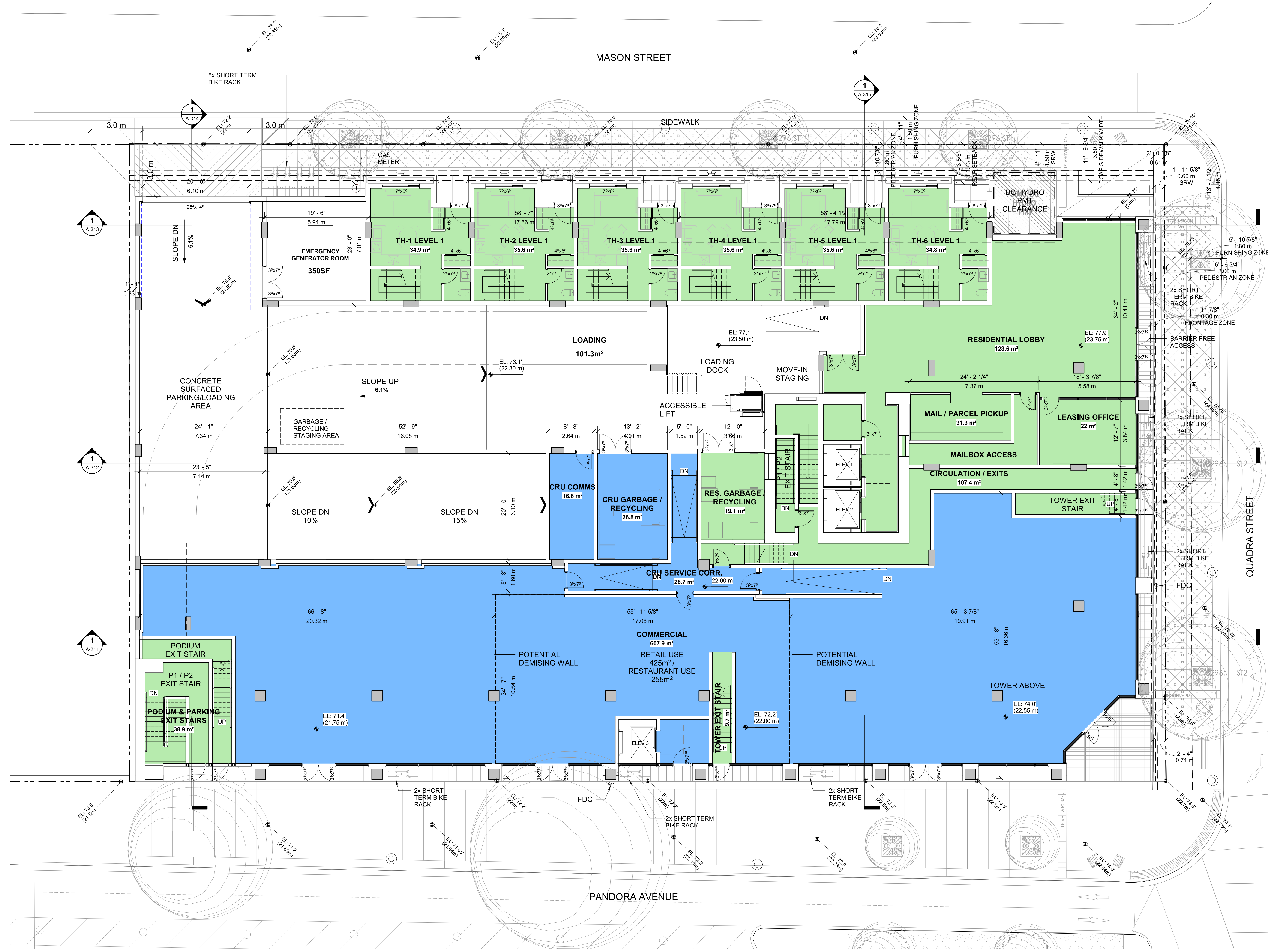
854-880  
Pandora Avenue

854-880 Pandora Ave  
Victoria, BC  
Project  
**LEVEL P1 PLAN**

Scale As indicated

Project 222011

Sheet **A-202**



|  |                             |
|--|-----------------------------|
| <b>LEVEL 1</b>   |                             |
| <b>TOTAL FLOOR AREA</b>  | 13,392.8 SQ.FT. / 1,244.2m² |
| <b>RESIDENTIAL AREA</b>  | 6,004.8 SQ.FT. / 557.9m²    |
| <b>COMMERCIAL AREA</b>   | 6,543.4 SQ.FT. / 680.2m²    |
| <b>TOTAL RESIDENTIAL UNITS</b>   | 6 UNITS                     |
| 6  | TWO BEDROOM TOWNHOUSE       |
| <span style="display:inline-block; width:10px; height:10px; background-color:#90EE90; border:1px solid black;"></span> | RESIDENTIAL AREA            |
| <span style="display:inline-block; width:10px; height:10px; background-color:#ADD8E6; border:1px solid black;"></span> | COMMERCIAL AREA             |

**1 LEVEL 1 FLOOR PLAN**  
 SCALE: 1:100

Seal  
 854-880 Pandora Avenue

854-880 Pandora Ave  
 Victoria, BC  
 Project  
**LEVEL 1 FLOOR PLAN**

Drawing  
 Scale As indicated  
 Project 222011

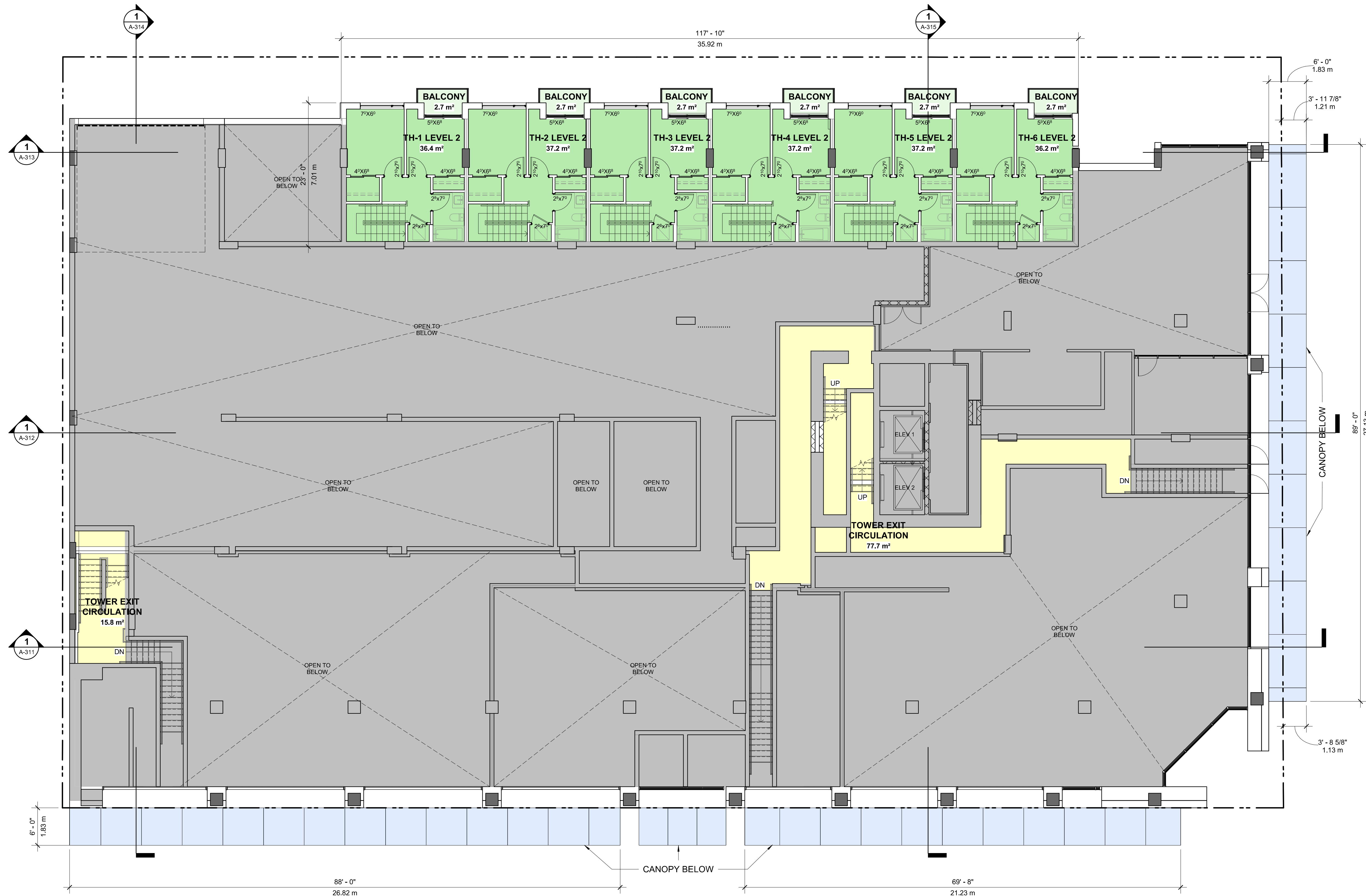
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**LEVEL 1 UPPER**  
**TOTAL FLOOR AREA**  
 3,375.1 SQ.FT. / 313.5m<sup>2</sup>  
**TOWNHOUSE AREA**  
 2,382SQ.FT. / 221.3m<sup>2</sup>  
**CIRCULATION AREA**  
 993.1 SQ.FT. / 92.2m<sup>2</sup>

- RESIDENTIAL SUITE
- RESIDENTIAL COMMON AREA / CIRCULATION
- EXTERIOR BALCONY



**LEVEL 1 UPPER FLOOR PLAN**  
 SCALE: 1 : 100

Seal  
 854-880  
 Pandora Avenue

854-880 Pandora Ave  
 Victoria, BC  
 Project  
 LEVEL 1 UPPER

Drawing  
 Scale As indicated

Project 222011

Sheet **A-204**





**LEVEL 3**

**TOTAL FLOOR AREA (FSR)**  
11,303.1 SQ.FT. / 1,050.1m<sup>2</sup>

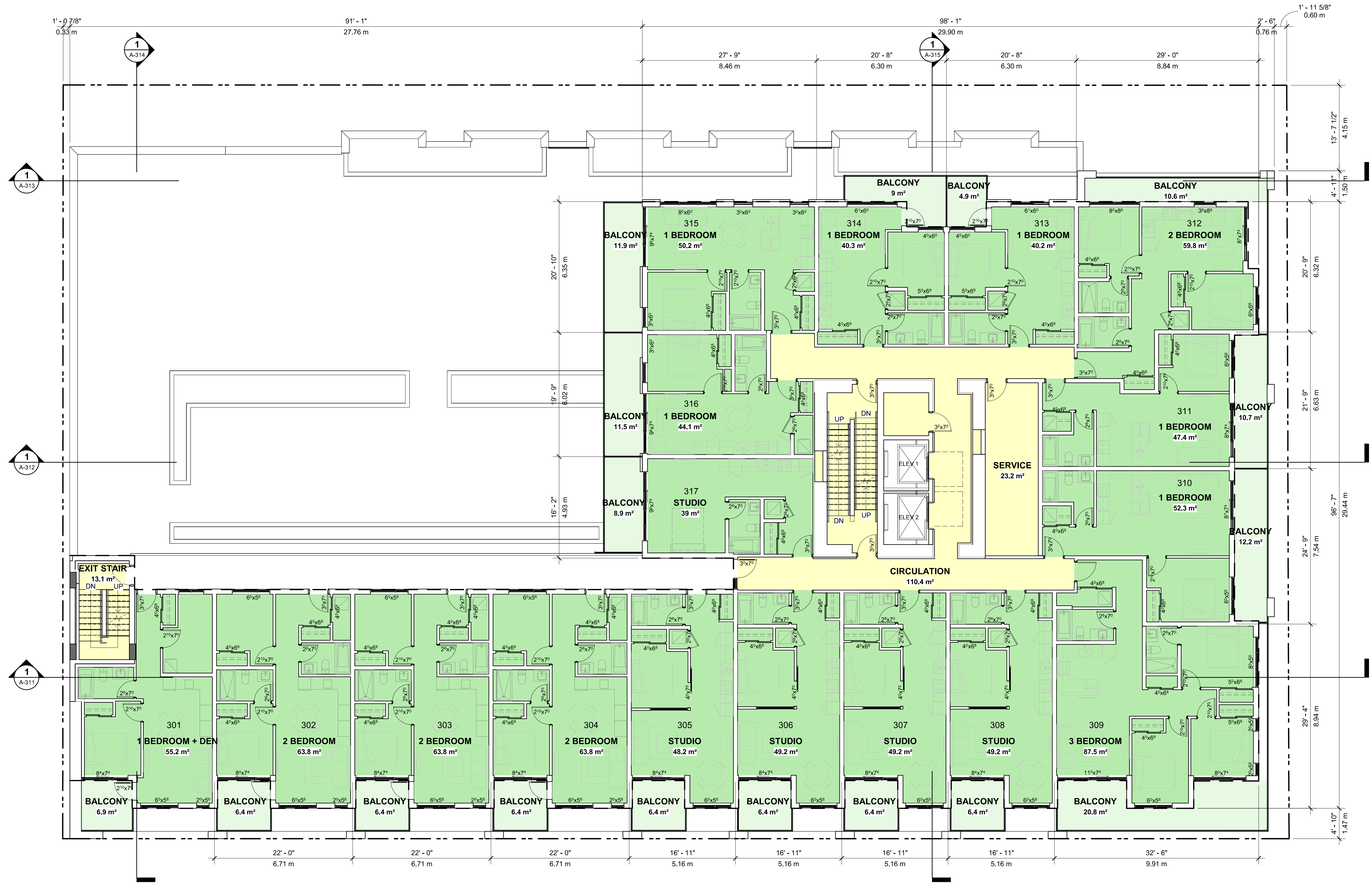
**SUITE AREA**  
9,722.9 SQ.FT. / 903.3m<sup>2</sup>

**COMMON / CIRCULATION AREA**  
1,580.2 SQ.FT. / 146.8m<sup>2</sup>

**TOTAL UNITS**  
17 UNITS

|   |                   |
|---|-------------------|
| 1 | THREE BEDROOM     |
| 4 | TWO BEDROOM       |
| 1 | ONE BEDROOM + DEN |
| 6 | ONE BEDROOM       |
| 5 | STUDIO            |

- RESIDENTIAL SUITE
- RESIDENTIAL COMMON AREA / CIRCULATION
- EXTERIOR BALCONY



**1 LEVEL 3 FLOOR PLAN**  
SCALE: 1 : 100

Seal  
854-880  
Pandora Avenue

854-880 Pandora Ave  
Victoria, BC  
Project  
LEVEL 3 FLOOR PLAN

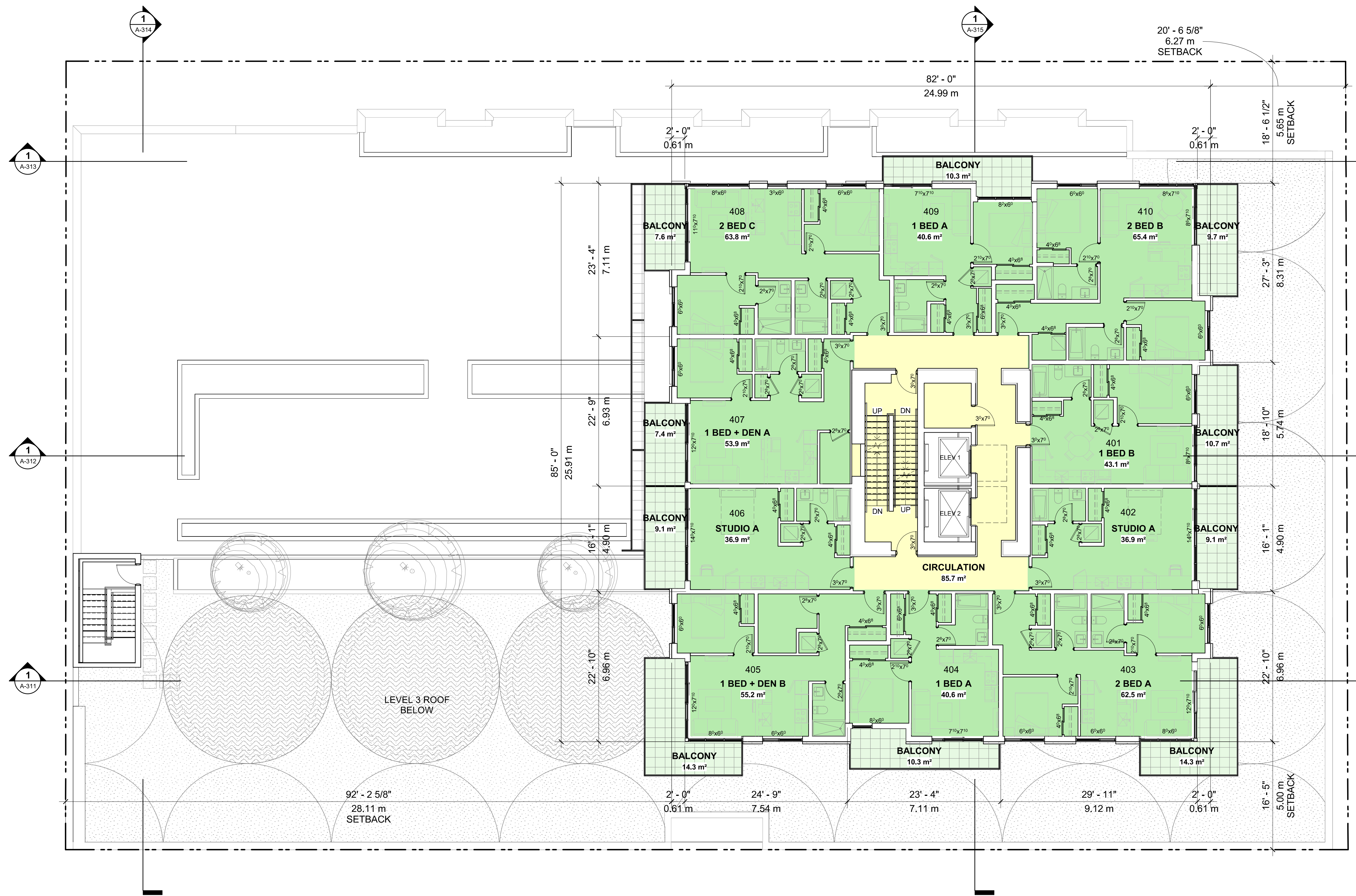
Drawing  
Scale As indicated  
Project 222011  
Sheet **A-206**

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**LEVEL 4 - 13**  
**TOTAL FLOOR AREA (FSR)**  
 6,292.7 SQ.FT. / 584.6m<sup>2</sup>  
**SUITE AREA**  
 5,372.7 SQ.FT. / 499.1m<sup>2</sup>  
**CIRCULATION AREA**  
 920 SQ.FT. / 85.5m<sup>2</sup>  
**TOTAL UNITS**  
 10 UNITS  
 3 TWO BEDROOM  
 2 ONE BEDROOM + DEN  
 3 ONE BEDROOM  
 2 STUDIO

- RESIDENTIAL SUITE
- RESIDENTIAL COMMON AREA / CIRCULATION
- EXTERIOR BALCONY



**1 TYPICAL TOWER FLOOR PLAN (4-13)**

A301 SCALE: 1 : 100

Seal  
**854-880  
 Pandora Avenue**

854-880 Pandora Ave  
 Victoria, BC

Project  
**TYPICAL TOWER  
 LEVEL PLAN**

Drawing

Scale As indicated

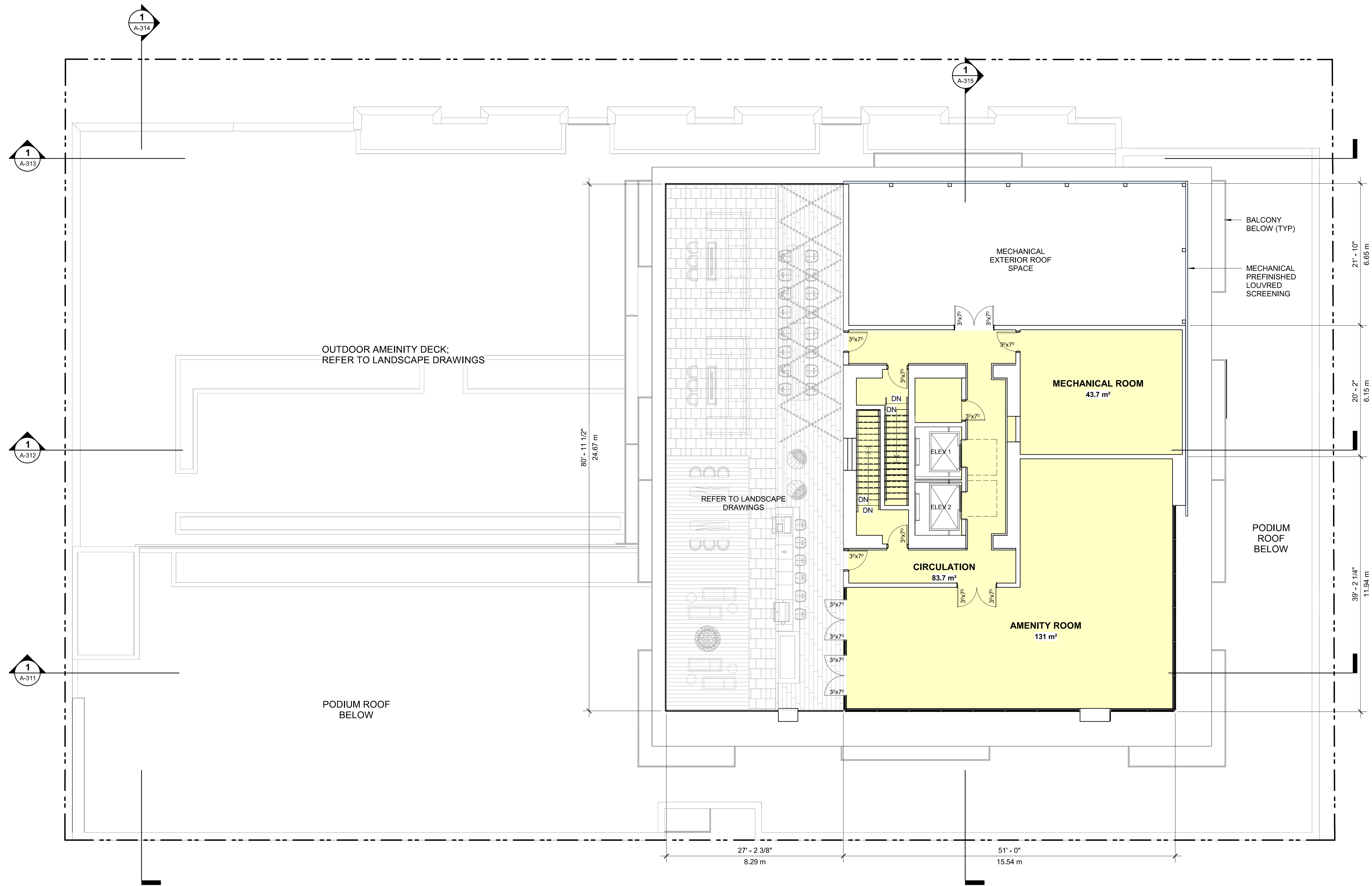
Project 222011

Sheet **A-207**



**LEVEL 14 (ROOF DECK)**  
**TOTAL FLOOR AREA**  
 2,781.3 SQ.FT. / 258.4m<sup>2</sup>  
**AMENITY AREA**  
 1,409.9 SQ.FT. / 131m<sup>2</sup>  
**CIRCULATION AREA**  
 901.2 SQ.FT. / 83.7m<sup>2</sup>  
**MECHANICAL ROOM**  
 470.2 SQ.FT. / 43.7m<sup>2</sup>

RESIDENTIAL COMMON  
 AREA / CIRCULATION



1 LEVEL 14 AMENITY ROOF PLAN  
 SCALE: 1 : 100

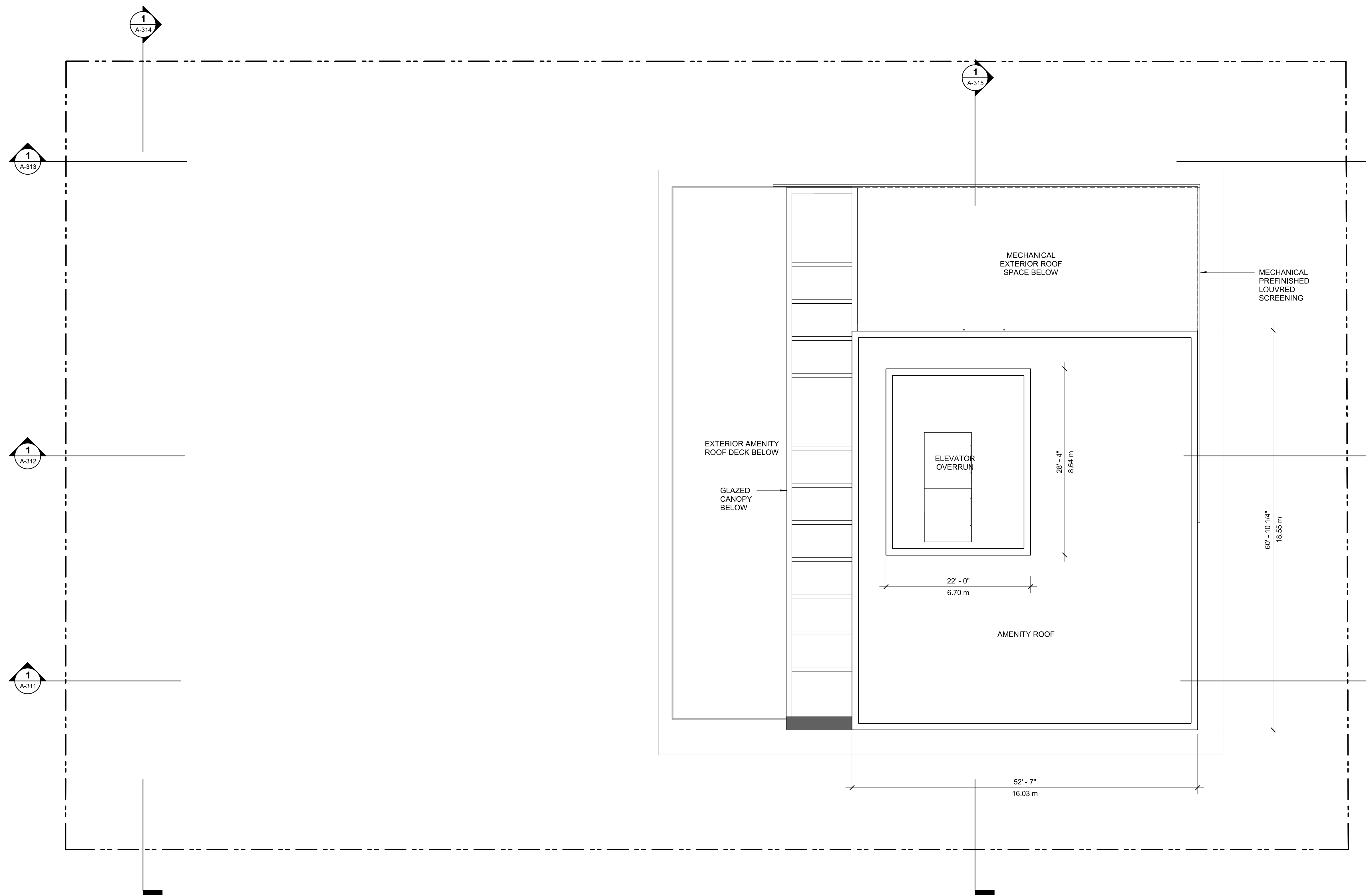
Seal  
 854-880  
 Pandora Avenue

854-880 Pandora Ave  
 Victoria, BC  
 Project  
 ROOF DECK PLAN

Drawing  
 Scale As indicated  
 Project 222011



| Revisions             | YYYY-MM-DD |
|-----------------------|------------|
| 1 ISSUED FOR RZ/DP    | 2023-03-24 |
| 2 RE-ISSUED FOR RZ/DP | 2023-05-19 |



1 ROOF PLAN / ELEVATOR OVERRUN PLAN  
A301 SCALE: 1 : 100

Seal  
854-880  
Pandora Avenue

854-880 Pandora Ave  
Victoria, BC  
Project  
ROOF PLAN /  
ELEVATOR OVERRUN

Drawing  
Scale 1 : 100  
Project 222011

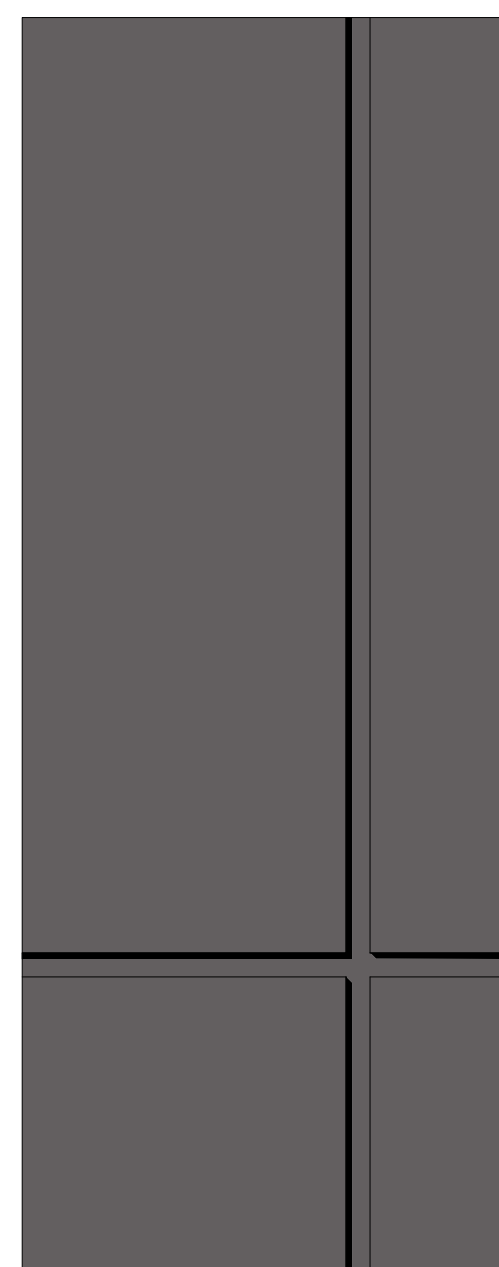
TOWER LEVELS



CLEAR GLASS  
LOW REFLECTIVITY



BLACK MULLIONS



GREY SPANDREL PANEL



DARK CHARCOAL RAISED  
METAL PANEL

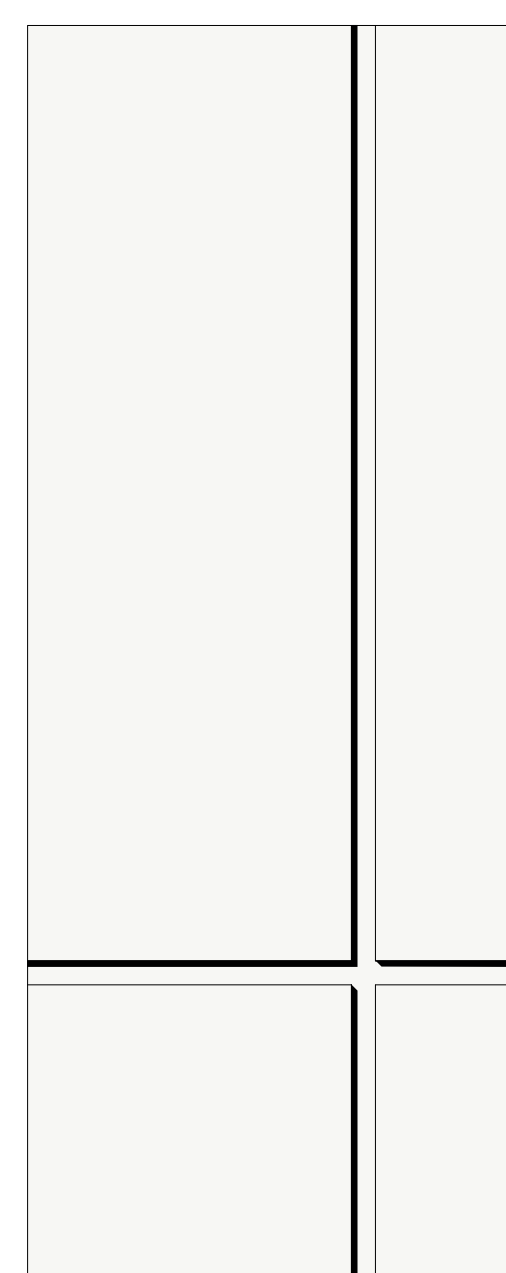
PODIUM LEVELS



CLEAR GLASS  
LOW REFLECTIVITY

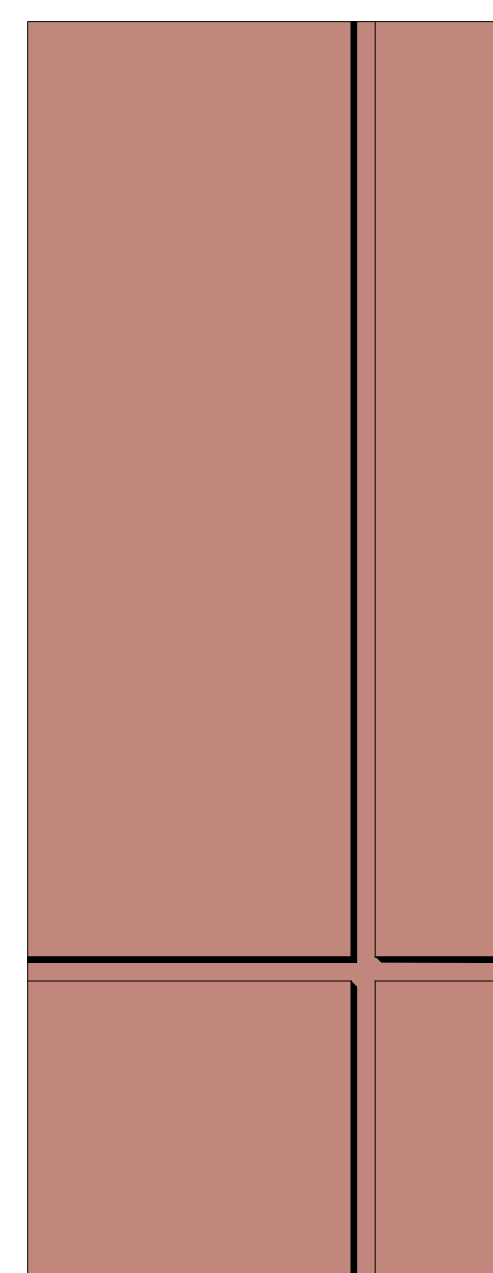


BLACK MULLIONS

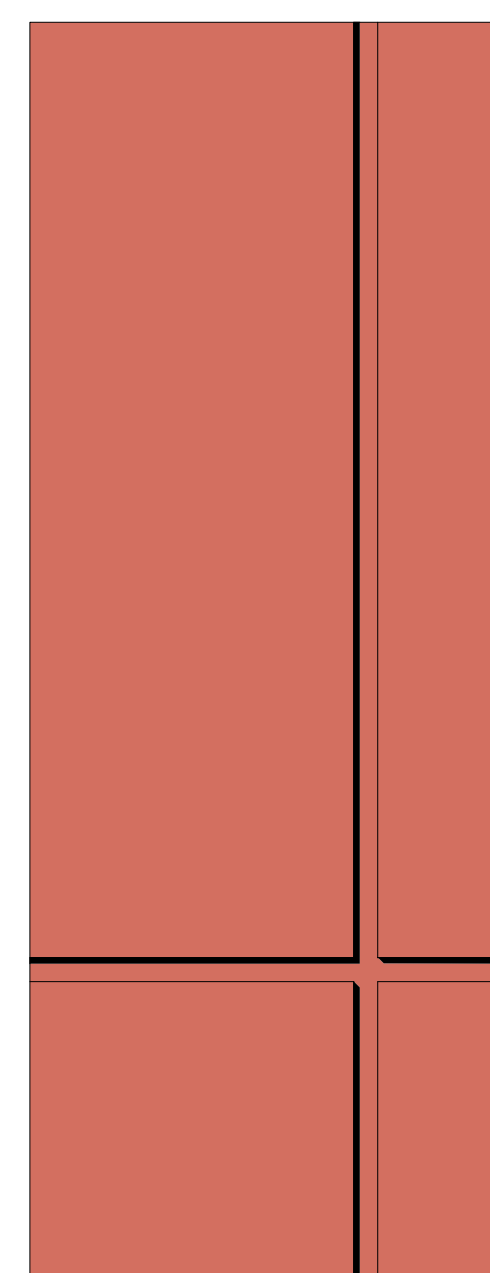


WINDOW WALL  
METAL PANEL - WHITE

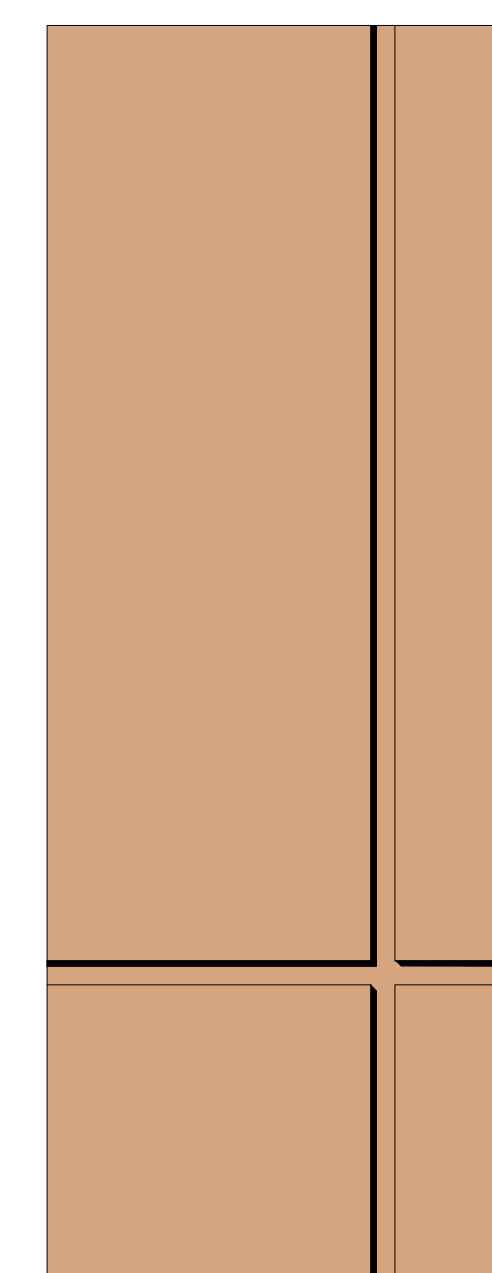
TOWNHOUSE EXTERIOR



WINDOW WALL  
METAL PANEL -  
TERRACOTTA (LIGHT RED)



WINDOW WALL  
METAL PANEL - RED



WINDOW WALL  
METAL PANEL - BROWN



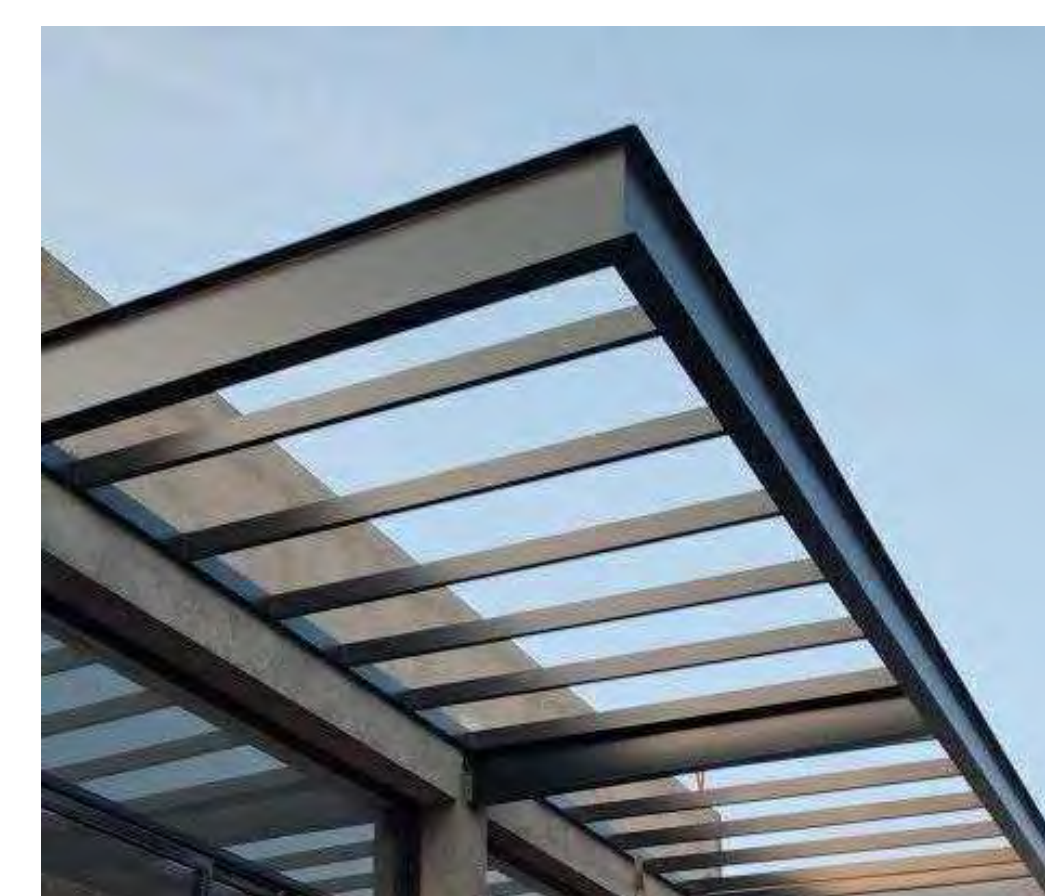
LIGHT COLOURED BRICK



HORIZONTAL BRICK REVEAL DETAILING



METAL PANEL SOFFIT - WHITE OAK



BLACK PAINTED STEEL CANOPY  
W/ LAMINATED GLAZING



**MATERIAL LEGEND**

|     |  |
|-----|--|
| B1  | RUNNING BOND BRICK; COLOUR: LIGHT BEIGE                                |
| B2  | BRICK REVEAL; COLOUR: LIGHT BEIGE                                      |
| C1  | PAINTED CONCRETE; COLOUR: CHARCOAL                                     |
| C2  | CONCRETE FACED INSULATED PANEL   |
| F2  | PREFINISHED METAL FLASHING; COLOUR: CHARCOAL                           |
| G1  | DOUBLE GLAZED STOREFRONT GLAZING; DARK FRAME; CLEAR (LOW REFLECTIVITY) |
| G2  | LOUVRE; COLOUR: CHARCOAL   |
| G3  | PUNCHED WINDOW; CLEAR (LOW REFLECTIVITY)                               |
| G4  | GUARDRAIL GLASS; CLEAR-LAMINATED                                       |
| G5  | LAMINATED PRIVACY SCREEN; FROSTED                                      |
| M1  | STEEL CANOPY W/ LAMINATED GLAZING; COLOUR: DARK                        |
| M2  | ROOF MECHANICAL LOUVRE; COLOUR: LIGHT GREY                             |
| M3  | PREFINISHED METAL PICKET GUARDRAIL; COLOUR: WHITE                      |
| WW1 | DOUBLE GLAZED WINDOW WALL; DARK FRAME; CLEAR (LOW REFLECTIVITY)        |
| WW2 | SPANDREL PANEL; COLOUR: DARK GREY                                      |
| WW3 | METAL PANEL WINDOW WALL; COLOUR: RED                                   |
| WW4 | METAL PANEL WINDOW WALL; COLOUR: LIGHT RED                             |
| WW5 | METAL PANEL WINDOW WALL; COLOUR: BROWN                                 |
| WW6 | METAL PANEL WINDOW WALL; COLOUR: WHITE                                 |
| WW7 | RAISED METAL PANEL WINDOW WALL; COLOUR: DARK GREY                      |

ADJACENT 1 STOREY COMMERCIAL BUILDING

EXTERIOR COLUMN LIGHTING

**1 SOUTH ELEVATION**  
SCALE: 1 : 100

Seal  
**854-880 Pandora Avenue**

854-880 Pandora Ave  
Victoria, BC  
Project  
**SOUTH ELEVATION**

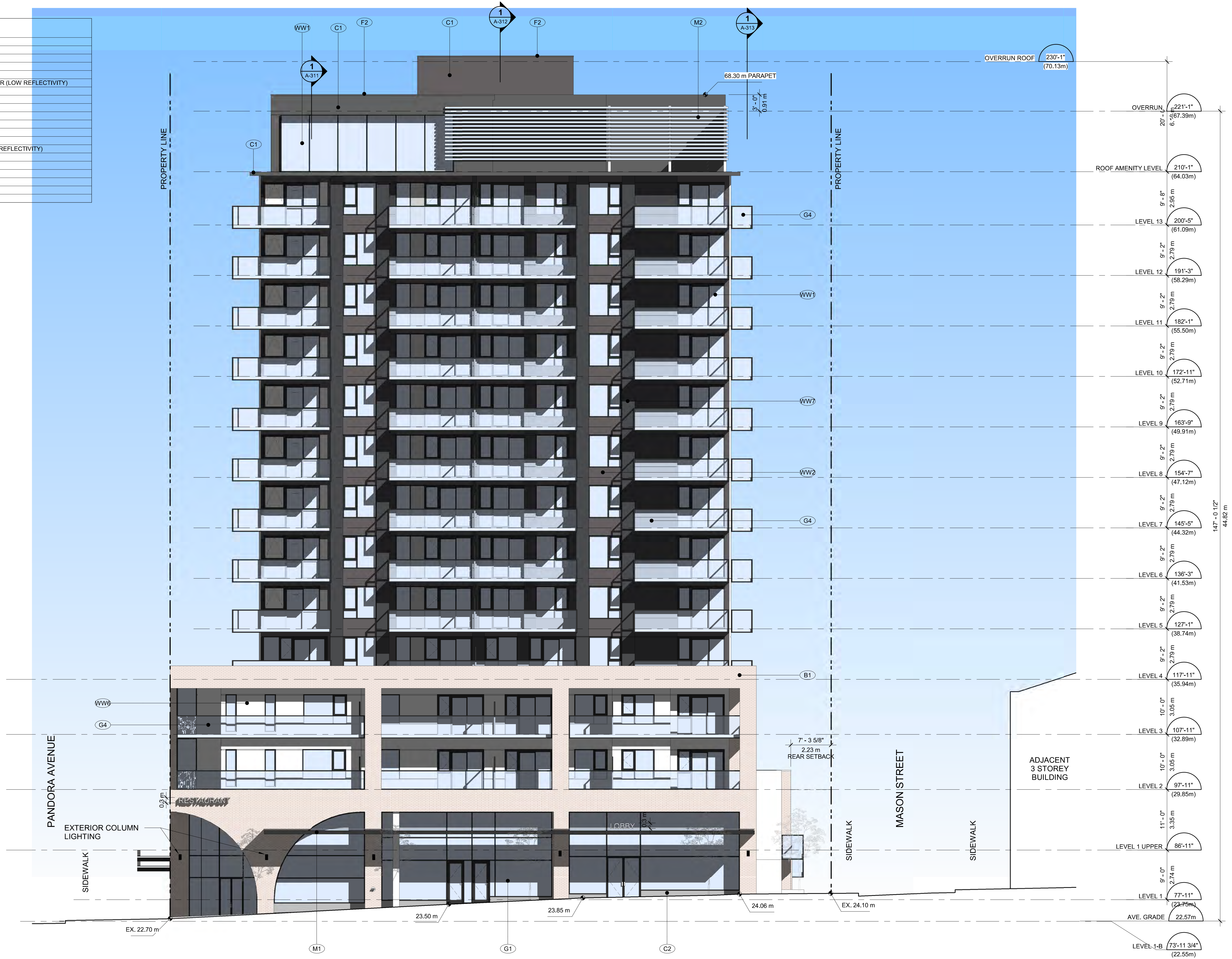
Drawing  
Scale 1 : 100  
Project 222011

Sheet **A-301**

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| MATERIAL LEGEND |  |
|-----------------|--|
| B1              | RUNNING BOND BRICK; COLOUR: LIGHT BEIGE                                |
| B2              | BRICK REVEAL; COLOUR: LIGHT BEIGE                                      |
| C1              | PAINTED CONCRETE; COLOUR: CHARCOAL                                     |
| C2              | CONCRETE FACED INSULATED PANEL   |
| F2              | PREFINISHED METAL FLASHING; COLOUR: CHARCOAL                           |
| G1              | DOUBLE GLAZED STOREFRONT GLAZING; DARK FRAME; CLEAR (LOW REFLECTIVITY) |
| G2              | LOUVRE; COLOUR: CHARCOAL   |
| G3              | PUNCHED WINDOW; CLEAR (LOW REFLECTIVITY)                               |
| G4              | GUARDRAIL GLASS; CLEAR-LAMINATED                                       |
| G5              | LAMINATED PRIVACY SCREEN; FROSTED                                      |
| M1              | STEEL CANOPY W/ LAMINATED GLAZING; COLOUR: DARK                        |
| M2              | ROOF MECHANICAL LOUVRE; COLOUR: LIGHT GREY                             |
| M3              | PREFINISHED METAL PICKET GUARDRAIL; COLOUR: WHITE                      |
| WW1             | DOUBLE GLAZED WINDOW WALL; DARK FRAME; CLEAR (LOW REFLECTIVITY)        |
| WW2             | SPANDREL PANEL; COLOUR: DARK GREY                                      |
| WW3             | METAL PANEL WINDOW WALL; COLOUR: RED                                   |
| WW4             | METAL PANEL WINDOW WALL; COLOUR: LIGHT RED                             |
| WW5             | METAL PANEL WINDOW WALL; COLOUR: BROWN                                 |
| WW6             | METAL PANEL WINDOW WALL; COLOUR: WHITE                                 |
| WW7             | RAISED METAL PANEL WINDOW WALL; COLOUR: DARK GREY                      |



1 EAST ELEVATION  
 SCALE: 1:100

Seal  
 854-880 Pandora Avenue  
 Victoria, BC

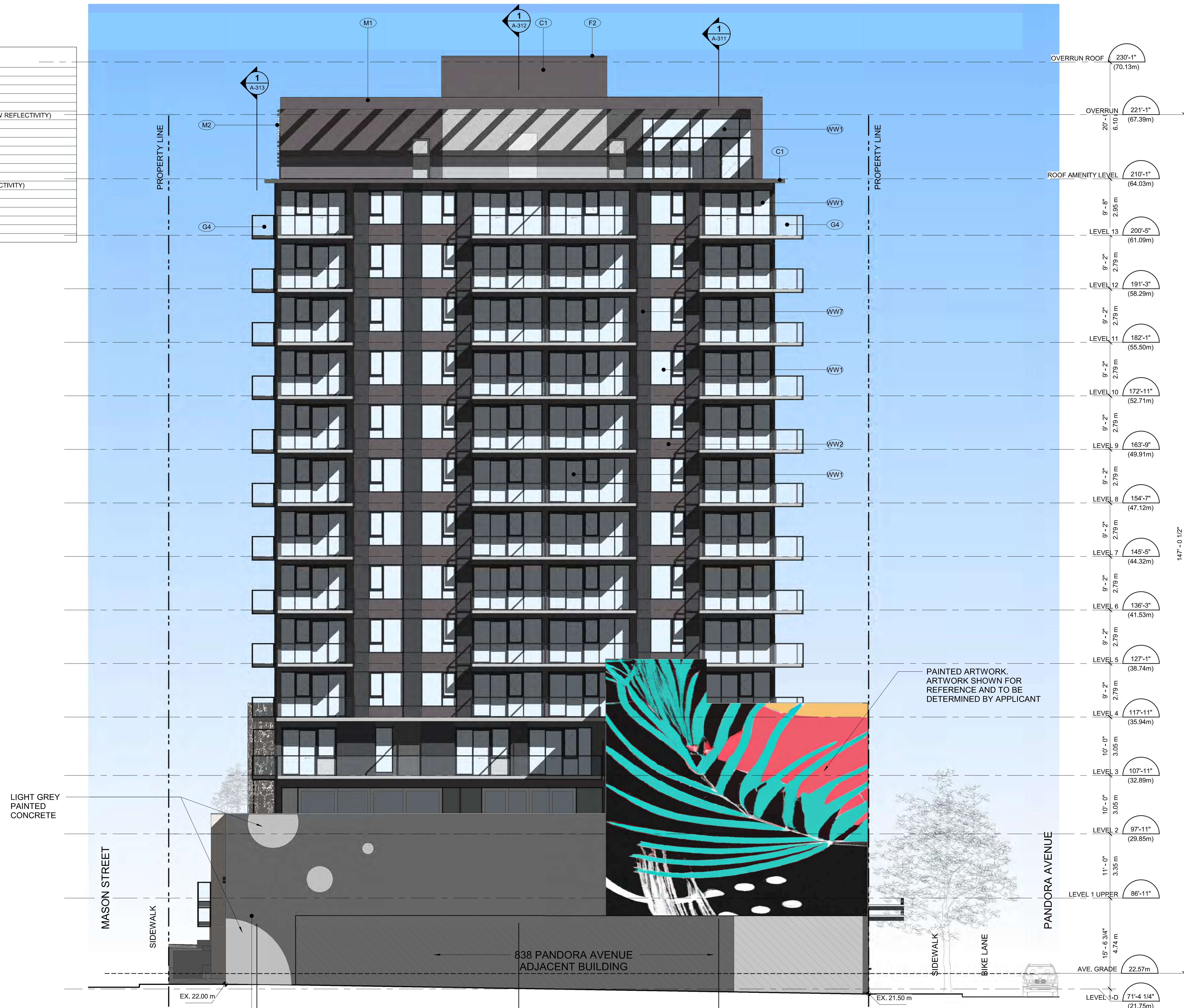
Project  
 EAST ELEVATION

Drawing  
 Scale 1:100  
 Project 222011

Sheet  
**A-302**



| MATERIAL LEGEND |  |
|-----------------|--|
| B1              | RUNNING BOND BRICK; COLOUR: LIGHT BEIGE                                |
| B2              | BRICK REVEAL; COLOUR: LIGHT BEIGE                                      |
| C1              | PAINTED CONCRETE; COLOUR: CHARCOAL                                     |
| C2              | CONCRETE FACED INSULATED PANEL   |
| F2              | PREFINISHED METAL FLASHING; COLOUR: CHARCOAL                           |
| G1              | DOUBLE GLAZED STOREFRONT GLAZING; DARK FRAME; CLEAR (LOW REFLECTIVITY) |
| G2              | LOUVRE; COLOUR: CHARCOAL   |
| G3              | PUNCHED WINDOW; CLEAR (LOW REFLECTIVITY)                               |
| G4              | GUARDRAIL GLASS; CLEAR LAMINATED                                       |
| G5              | LAMINATED PRIVACY SCREEN; FROSTED                                      |
| M1              | STEEL CANOPY W/ LAMINATED GLAZING; COLOUR: DARK                        |
| M2              | ROOF MECHANICAL LOUVRE; COLOUR: LIGHT GREY                             |
| M3              | PREFINISHED METAL PICKET GUARDRAIL; COLOUR: WHITE                      |
| WW1             | DOUBLE GLAZED WINDOW WALL; DARK FRAME; CLEAR (LOW REFLECTIVITY)        |
| WW2             | SPANDREL PANEL; COLOUR: DARK GREY                                      |
| WW3             | METAL PANEL WINDOW WALL; COLOUR: RED                                   |
| WW4             | METAL PANEL WINDOW WALL; COLOUR: LIGHT RED                             |
| WW5             | METAL PANEL WINDOW WALL; COLOUR: BROWN                                 |
| WW6             | METAL PANEL WINDOW WALL; COLOUR: WHITE                                 |
| WW7             | RAISED METAL PANEL WINDOW WALL; COLOUR: DARK GREY                      |



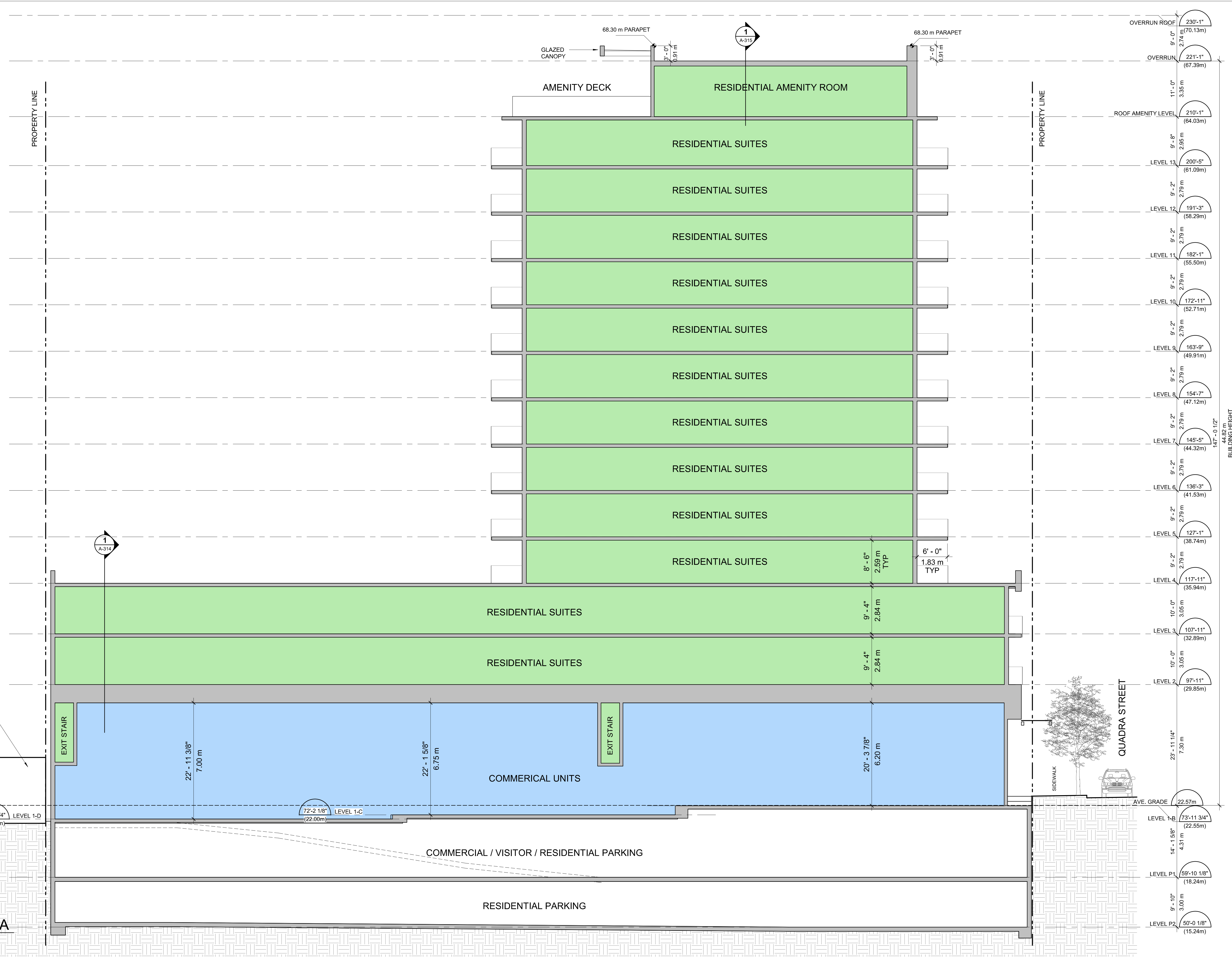
1 WEST ELEVATION  
SCALE: 1:100

Seal  
854-880  
Pandora Avenue

854-880 Pandora Ave  
Victoria, BC

Project  
WEST ELEVATION

Drawing  
Scale: 1:100  
Project: 222011



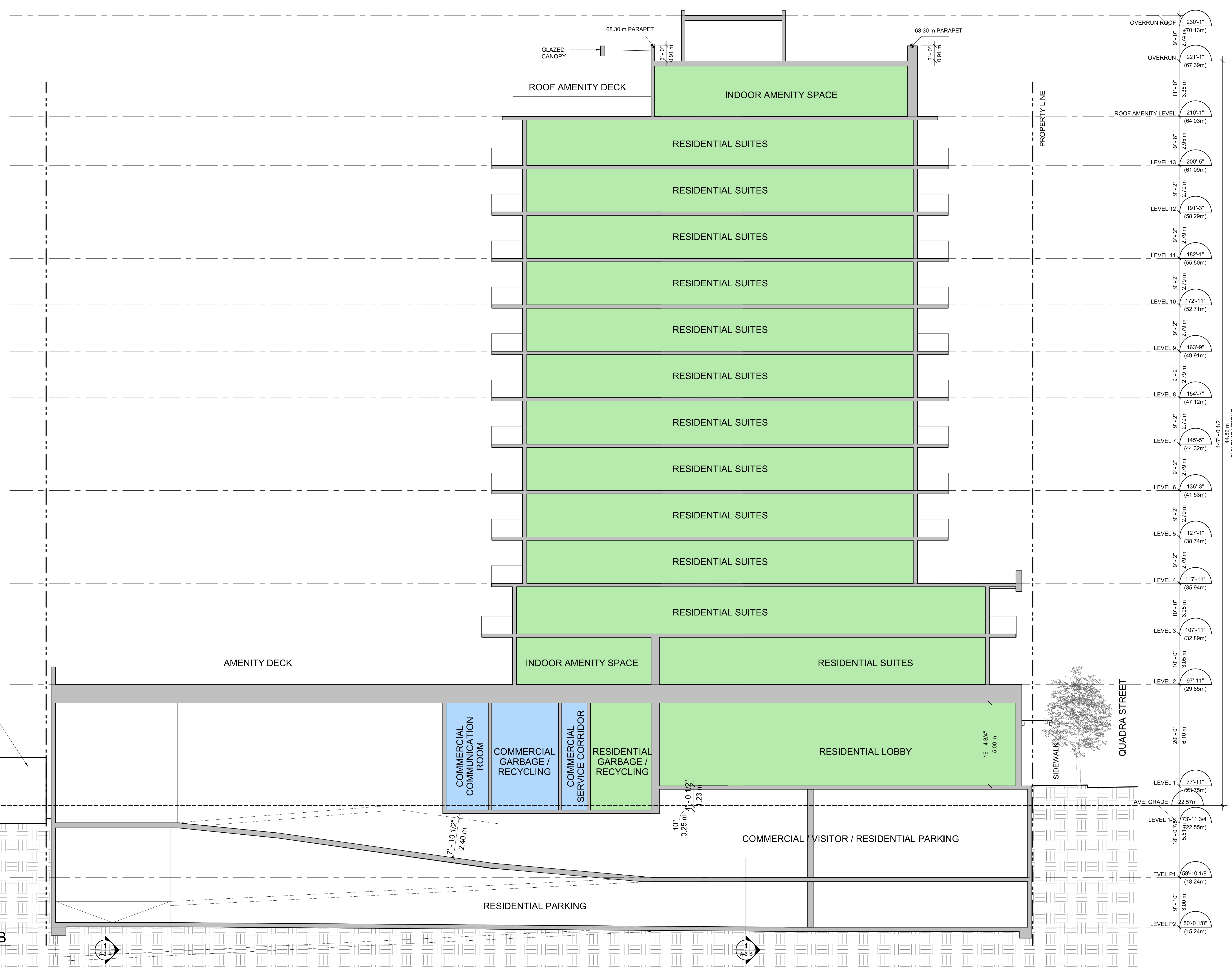
**SECTION A-A**  
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Seal  
**854-880  
 Pandora Avenue**

854-880 Pandora Ave  
 Victoria, BC  
 Project  
**BUILDING SECTION**

Drawing  
 Scale 1:100  
 Project 222011

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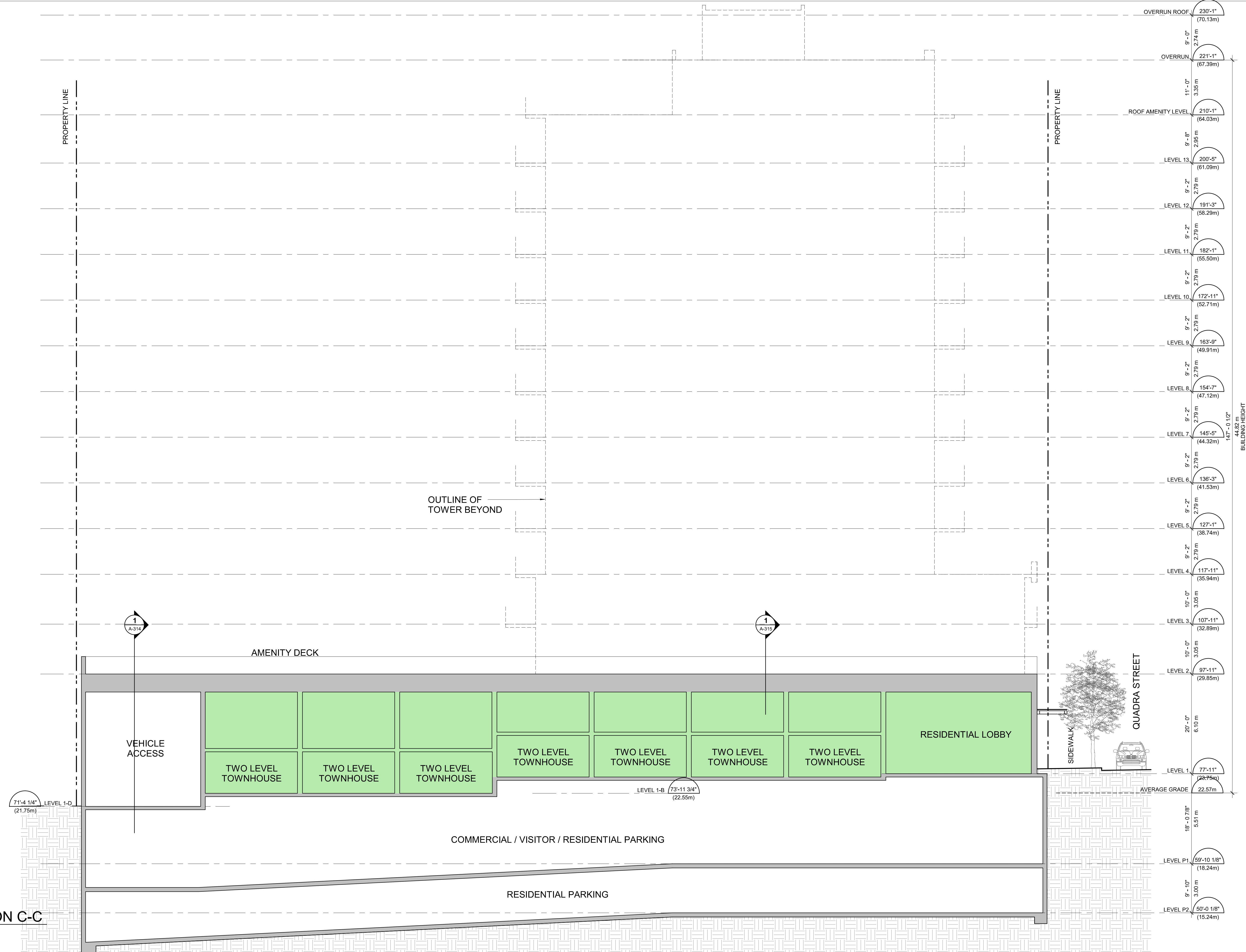
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Seal  
**854-880  
 Pandora Avenue**

854-880 Pandora Ave  
 Victoria, BC  
 Project  
**BUILDING SECTION**

Drawing  
 Scale 1 : 100  
 Project 222011

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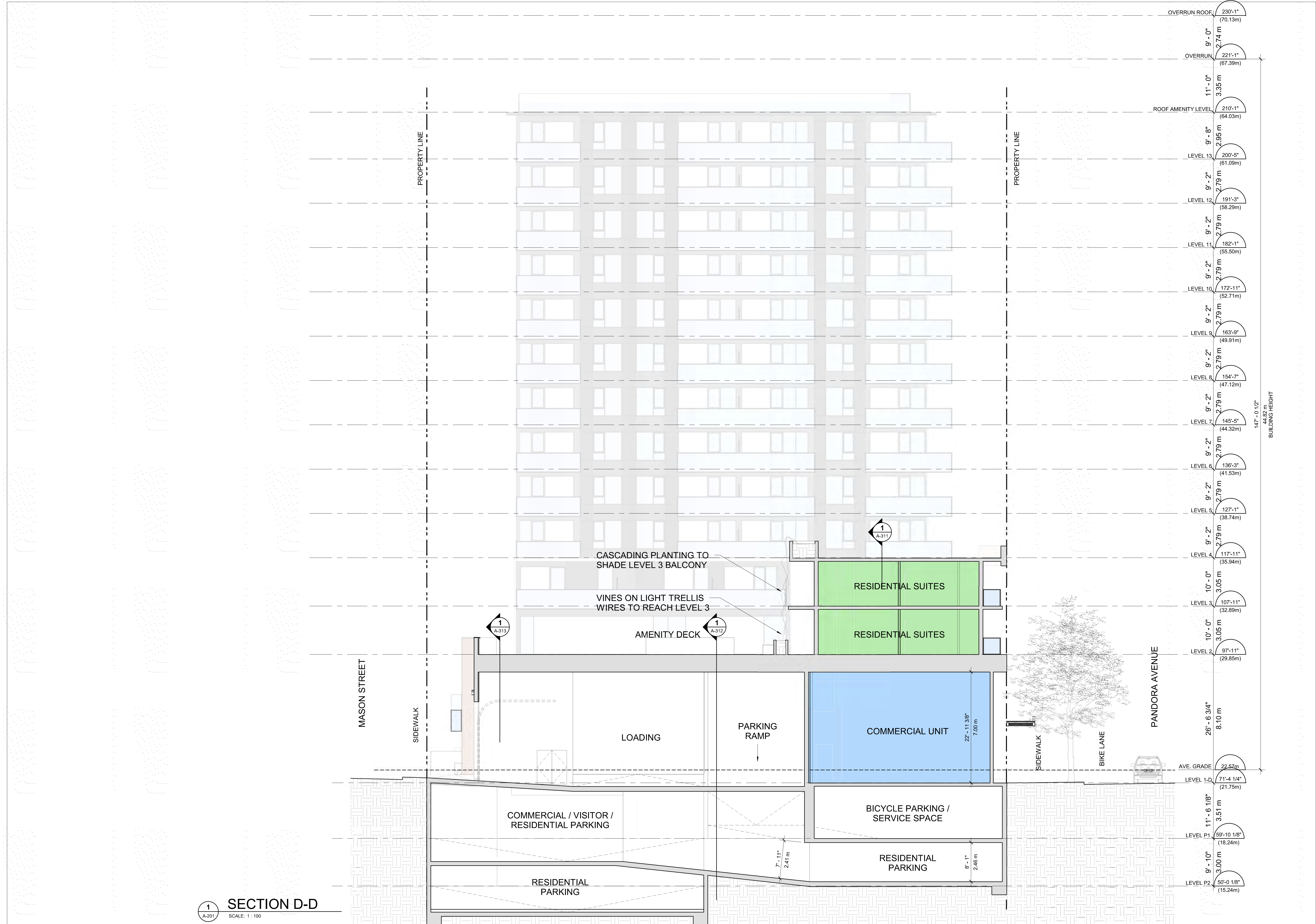
Seal  
**854-880  
 Pandora Avenue**

854-880 Pandora Ave  
 Victoria, BC  
 Project  
**BUILDING SECTION**

Drawing  
 Scale      1 : 100

Project      222011

Sheet      **A-313**



1 SECTION D-D  
A-201 SCALE: 1 : 100

| Level              | Height (ft) | Height (m) |
|--------------------|-------------|------------|
| OVERRUN ROOF       | 230'-1"     | (70.13m)   |
| OVERRUN            | 221'-1"     | (67.39m)   |
| ROOF AMENITY LEVEL | 210'-1"     | (64.03m)   |
| LEVEL 13           | 200'-5"     | (61.09m)   |
| LEVEL 12           | 191'-3"     | (58.29m)   |
| LEVEL 11           | 182'-1"     | (55.50m)   |
| LEVEL 10           | 172'-11"    | (52.71m)   |
| LEVEL 9            | 163'-9"     | (49.91m)   |
| LEVEL 8            | 154'-7"     | (47.12m)   |
| LEVEL 7            | 145'-5"     | (44.32m)   |
| LEVEL 6            | 136'-3"     | (41.53m)   |
| LEVEL 5            | 127'-1"     | (38.74m)   |
| LEVEL 4            | 117'-11"    | (35.94m)   |
| LEVEL 3            | 107'-11"    | (32.89m)   |
| LEVEL 2            | 97'-11"     | (29.85m)   |
| AVE. GRADE         | 22.52m      |            |
| LEVEL 1-D          | 71'-4 1/4"  | (21.75m)   |
| LEVEL P1           | 59'-10 1/8" | (18.24m)   |
| LEVEL P2           | 50'-0 1/8"  | (15.24m)   |

Seal  
854-880  
Pandora Avenue

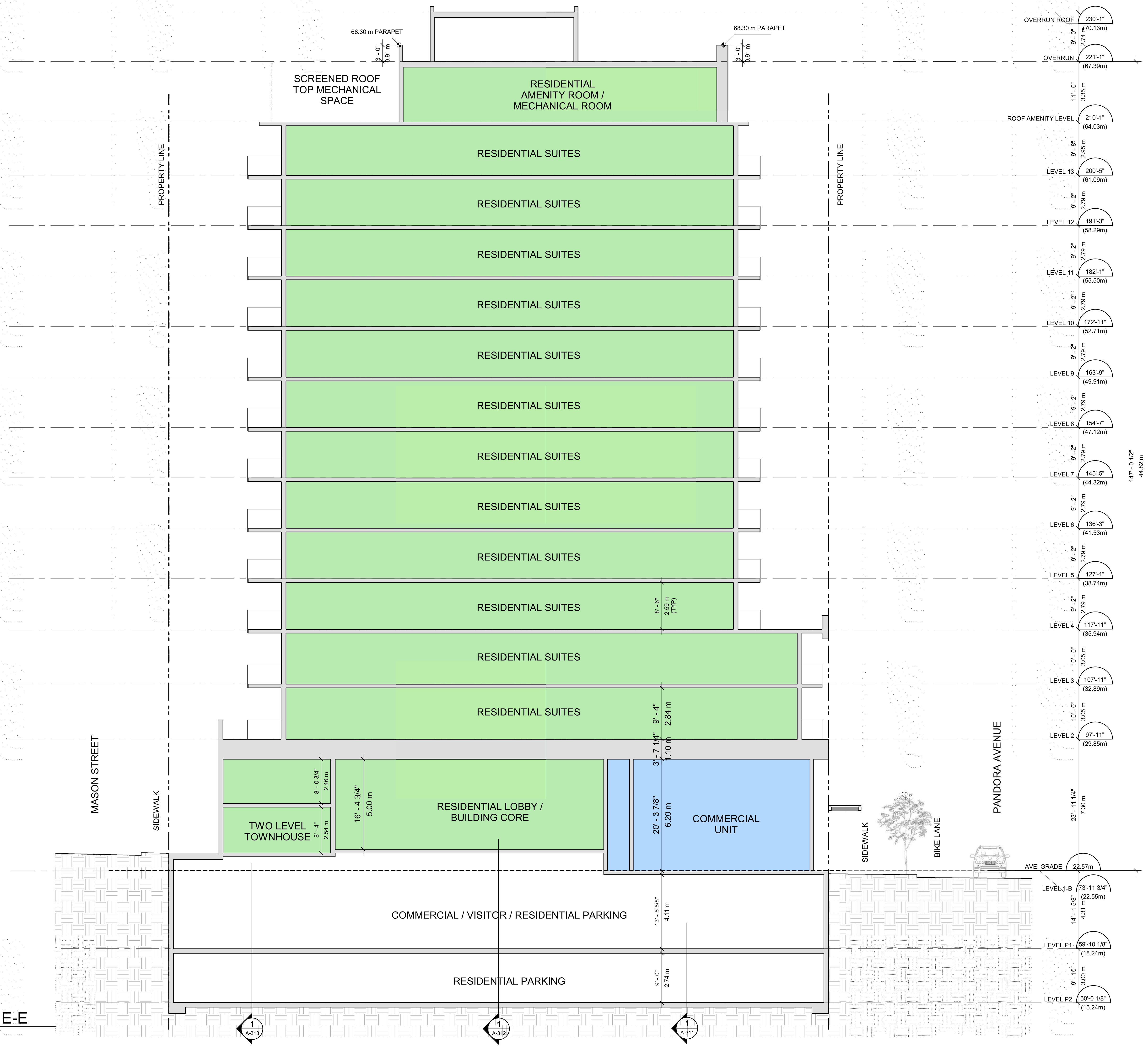
854-880 Pandora Ave  
Victoria, BC  
Project  
BUILDING SECTION

Scale 1 : 100

Project 222011

Sheet A-314

SECTION E-E  
SCALE: 1:100



Seal  
854-880  
Pandora Avenue

854-880 Pandora Ave  
Victoria, BC  
Project

BUILDING SECTION

Drawing

Scale 1:100

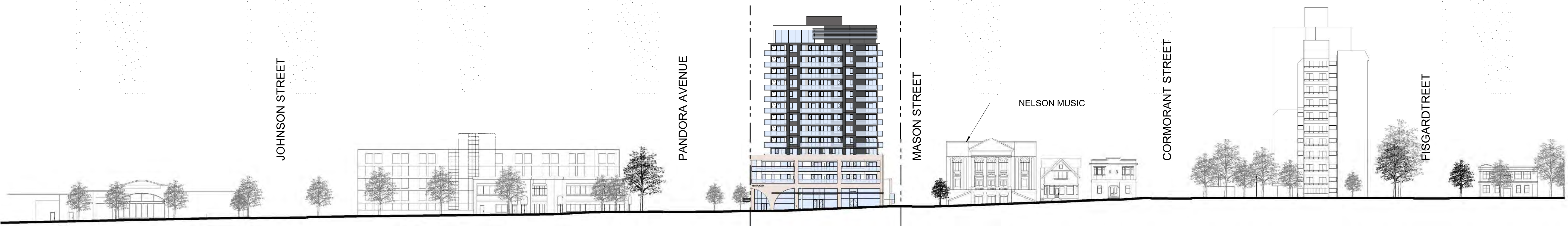
Project 222011

Sheet **A-315**

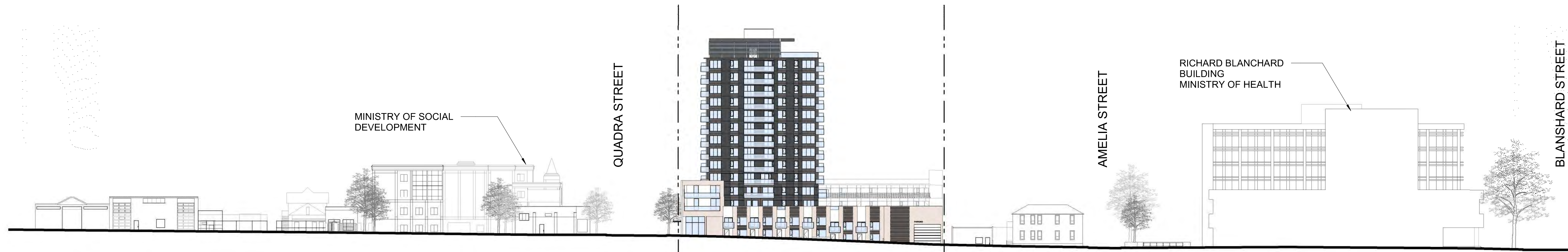




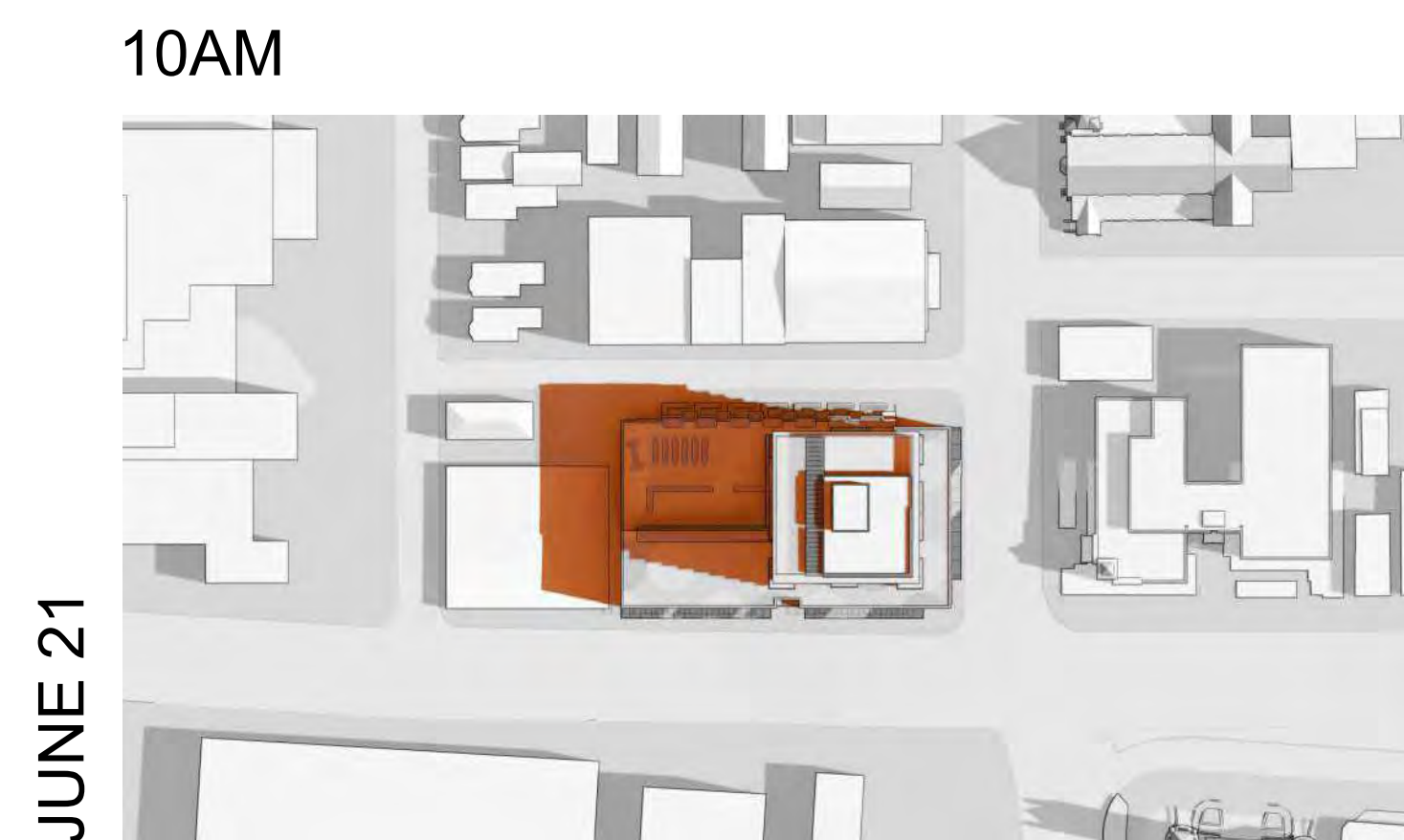
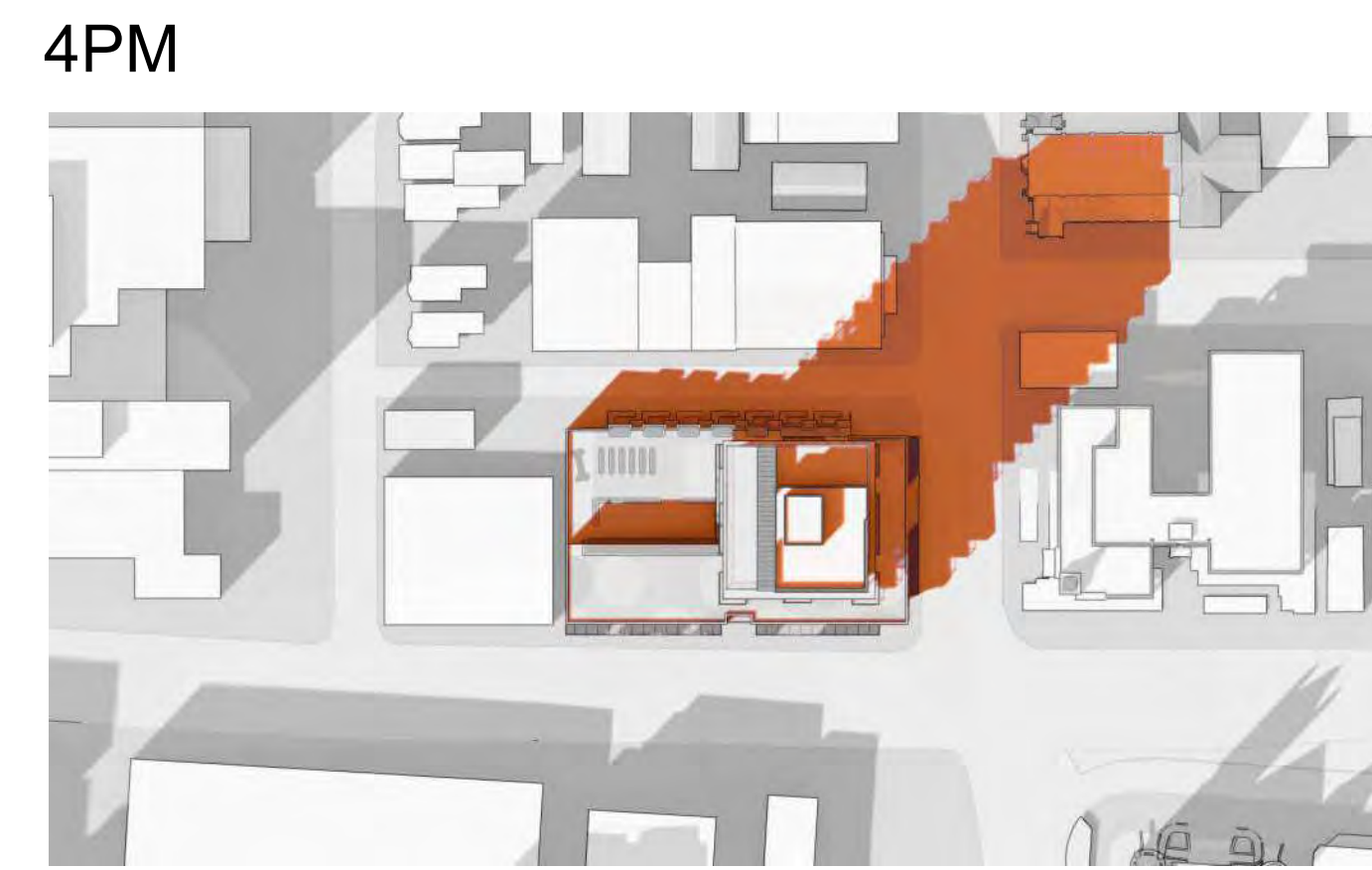
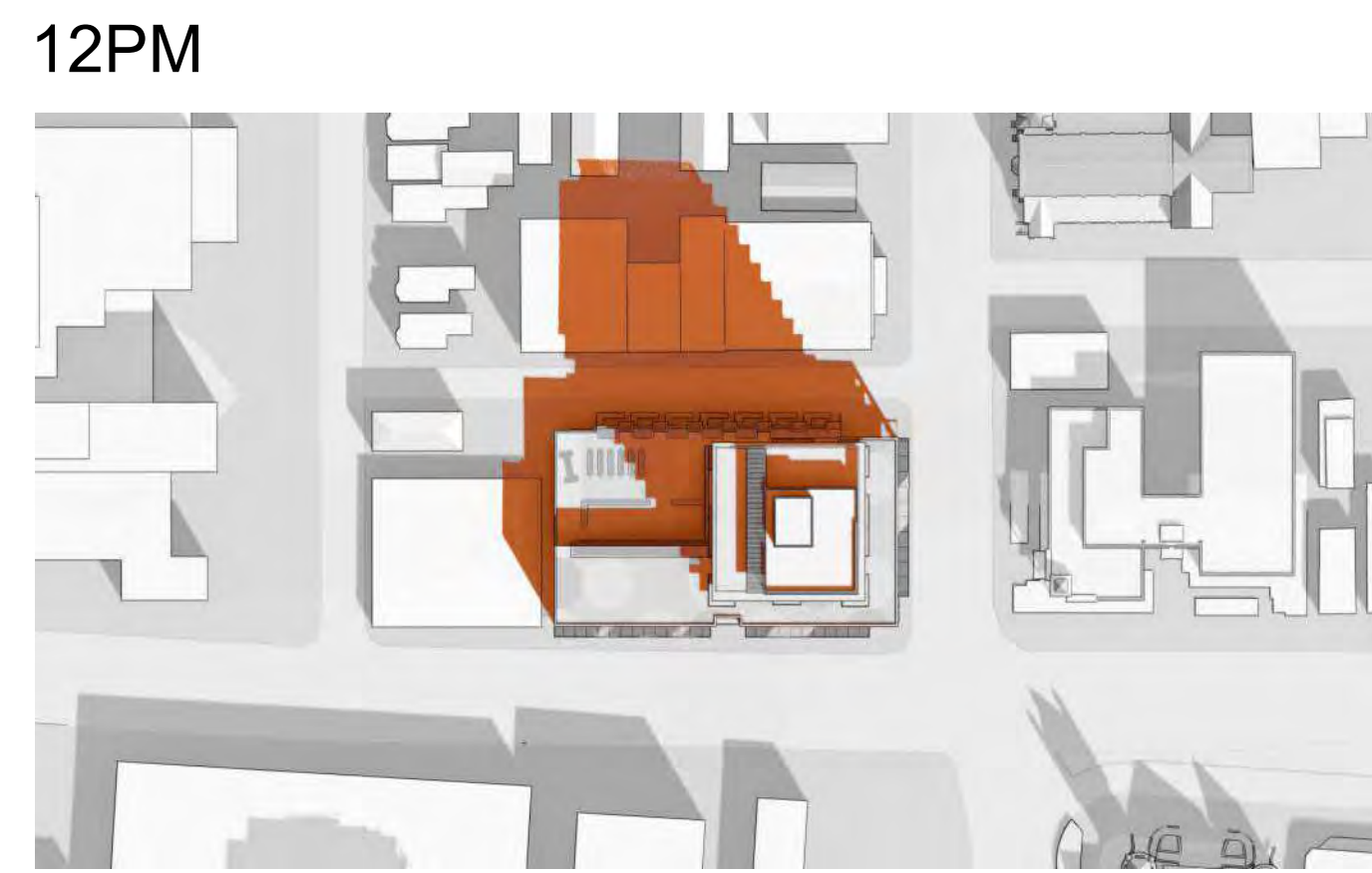
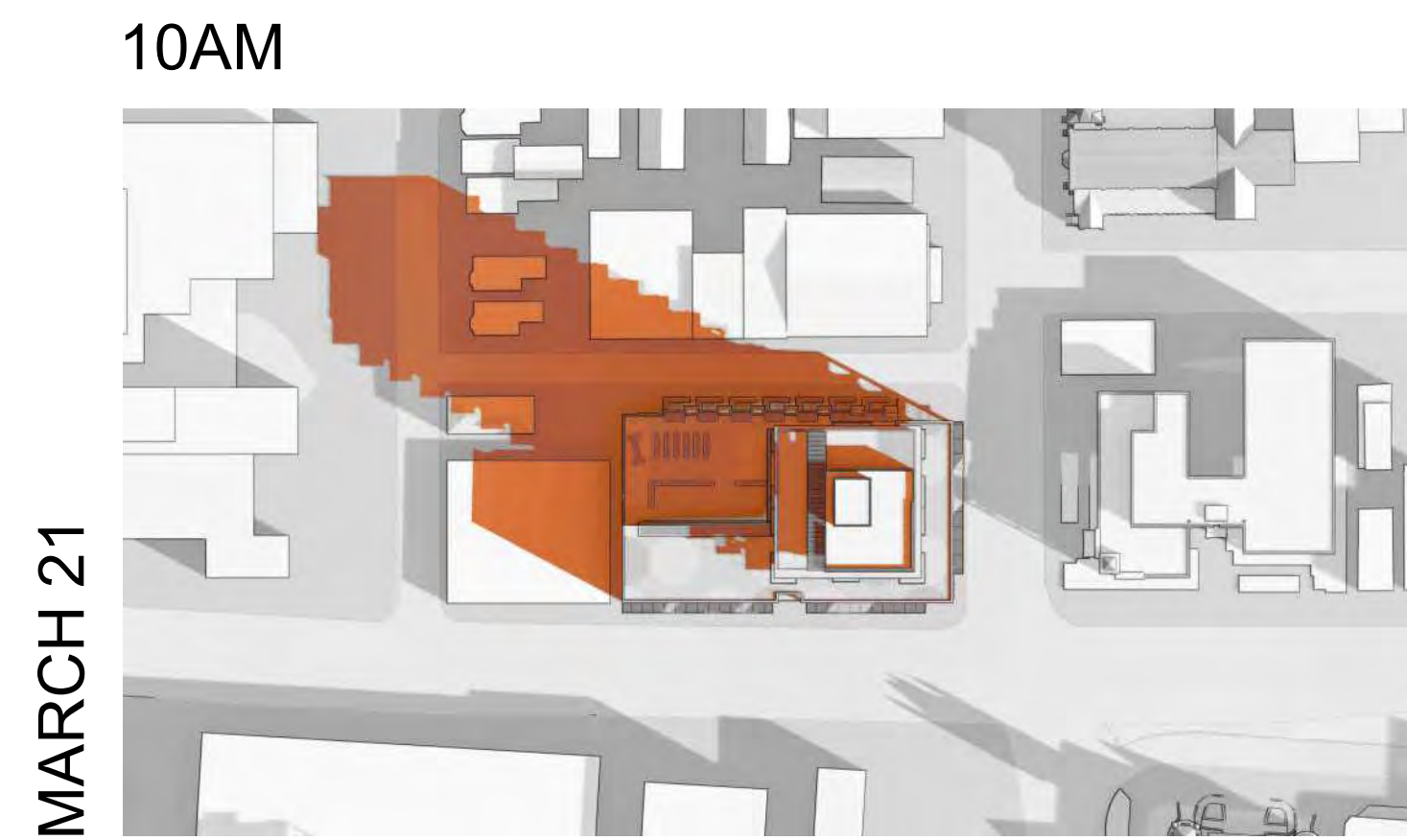
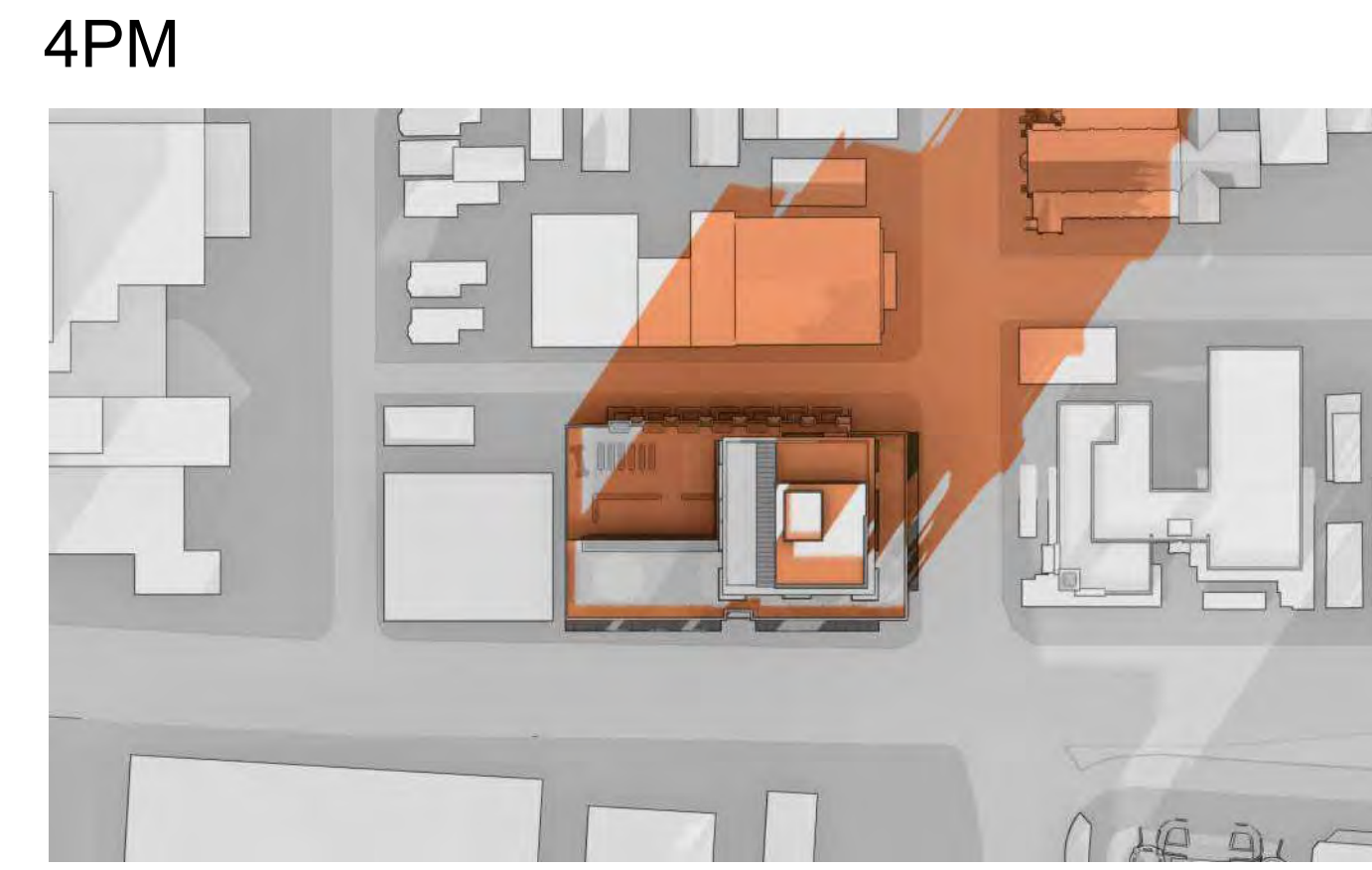
STREETSCAPE - PANDORA AVE



STREETSCAPE - QUADRA ST



STREETSCAPE - MASON ST



Seal  
854-880  
Pandora Avenue

854-880 Pandora Ave  
Victoria, BC  
Project  
SHADOW STUDY

Drawing

Scale

Project 222011

Sheet **A-403**



PANDORA AVENUE STREETSCAPE



QUADRA STREET STREETSCAPE



MASON ST & QUADRA ST CORNER



MASON STREET STREETSCAPE



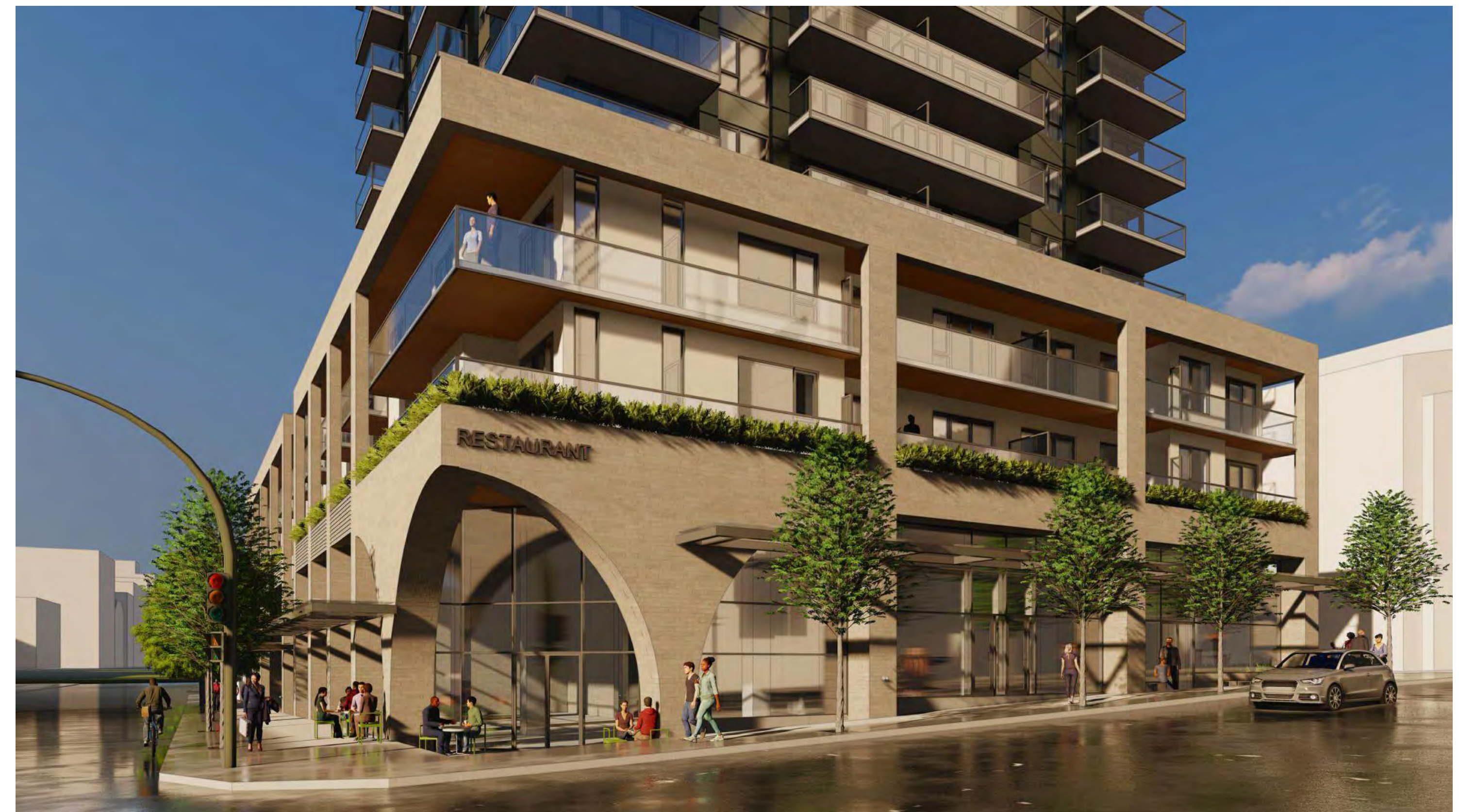
SOUTHEAST BIRDSEYE



VIEW LOOKING SOUTH DOWN QUADRA ST



VIEW LOOKING NORTH DOWN QUADRA ST



PANDORA AVE AND QUADRA ARCHED CORNER



LOOKING SOUTH ON QUADRA ST.



LOOKING NORTH ON QUADRA ST.



LOOKING NORTHWEST ON PANDORA AVE.



LOOKING NORTHEAST ON PANDORA AVE.

# 854-880

# PANDORA

Victoria, BC

## OWNER

**CLIENT**  
**TOWNLINE | VANCOUVER HEAD OFFICE**  
**#1212 - 450 SW MARINE DRIVE**  
**VANCOUVER, BC, V5X 0C3**  
**T+ (604) 327 8760**

## LEGENDS

| HARDSCAPE LEGEND |         |  | FURNISHING LEGEND |   |
|------------------|---------|--|-------------------|---|
| KEY              | GRAPHIC | DESCRIPTION  | GRAPHIC           | DESCRIPTION   |
| T-1              |         | SW   CIP Concrete Paving<br>Colour: Integral coloured<br>Finish: Light Broom<br>Pattern: Saw-cut |                   | Bike Racks  |
| T-2              |         | Concrete Unit Pavers<br>Size: 60x60x50cm & 30x60x50cm<br>Colour: Natural & Charcoal              |                   | Commercial Planters<br>Size: Cylinders (36" dia, typ)                             |
| T-3              |         | Plank Porcelain Paver<br>Size: 30 x 120 x 2cm<br>Colours: Noon - Daylight                        |                   | Custom Canitlevered Ipe<br>Wood Bench   |
| T-4              |         | Pour-In-Place Virgin Rubber Play Surfacing w/<br>Galvanized Metal Edge<br>Colours: Flint         |                   | Outdoor Gym Equipment<br>and Synthetic Play Boulders                              |
| T-5              |         | 'AZEK' Composite Wood Deck Assembly<br>Colour: Tigerwood   |                   | Illustrative Furnishing ONLY<br>(At Podium & Roof Amenity,<br>Supplied By Owners) |
| T-6              |         | Planting (61cm depth typ., Avg #2 pots)<br>w/ Hedge Screening (1.2m ht.)                         |                   |   |
| T-7              |         | Sodded Lawn (Offsite)<br>Artificial Turf "SynFescue343"  |                   | Fire Stands & Water Feature   |
| T-8              |         | Urban Agriculture Plots (46cm depth typ.)<br>Xeriscape & Bee Flower Mixes (25cm depth)           |                   | Custom Trellis and<br>Toolshed w/ Seed Library                                    |
| T-9              |         | Decorative River Rocks (at Building Faces)<br>Size: 10-20 cm<br>Colour: Ebony Black              |                   | Modular Custom Outdoor Kitchens<br>Appliances: TBD                                |
| T-10             |         | Roof Ballast<br>Colours: Varies  |                   |   |

## LISTS

### DRAWINGS LIST

|       |                       |        |
|-------|-----------------------|--------|
| L-0.0 | Legends & Notes       | N.T.S. |
| L-1.1 | Ground Level          | 1:100  |
| L-1.2 | Podium Level          | 1:100  |
| L-1.3 | Roof Levels           | 1:100  |
| L-2.1 | Planting Level 1      | 1:100  |
| L-2.2 | Planting Level 2      | 1:100  |
| L-2.3 | Planting Level 4      | 1:100  |
| L-3.1 | Illustrative Lighting | 1:100  |
| L-3.2 | Soil Loading          | 1:100  |
| L-4.1 | Illustrative Sections | 1:100  |

### PRELIMINARY PLANT LIST

| Sym   | Qty | Botanical Name                         | Common Name                 | Size             | Bylaw 21-035 / UFA                           |
|---|-----|--|-----------------------------|------------------|--|
| <b>Offsite Trees</b>                          |     |  |                             |                  |  |
| ST1   | 4   | TBD City of Victoria Parks Department  | Through Servicing Agreement | 7cm cal. B&B     |  |
| ST2   | 3   | TBD City of Victoria Parks Department  | Through Servicing Agreement | 7cm cal. B&B     |  |
| <b>On-Site Trees</b>                          |     |  |                             |                  |  |
| AG  | 2   | Acer griseum                           | Paperbark Maple             | 6cm cal. B&B     | 1:1, Medium / Suitable                       |
| CK  | 3   | Cornus kousa 'Satomi'                  | Satomi Dogwood              | 6cm cal. B&B     | 1:1, Small / Marginal                        |
| GTI   | 1   | Gleditsia tricanthos 'Shademaster'     | Shademaster Locust          | 6cm cal. B&B     | 1:1, Medium / Very Suitable                  |
| MxG   | 3   | Magnolia x 'Galaxy'                    | Galaxy Magnolia             | 2.0m ht., B&B, l | 1:1, Small / Marginal                        |
| PP  | 3   | Parrotia Persica 'Igne Ruby Vase'      | Ruby Vase Persian Ironwood  | 6cm cal. B&B     | 1:1, Small / Suitable                        |
| <b>Shrubs</b>                                 |     |  |                             |                  |  |
| x   | 342 | Buxus mic. 'Green Beauty'              | Japanese Boxwood            | #1 pot, 12" o.c. |  |
| Bs  | 68  | Blechnum spicant                       | Deer Fern                   | #2 pot, 24" o.c. | Native Year-Round Food                       |
| Cc  | 29  | Cornus canadensis                      | Bunchberry                  | #1 pot, 12" o.c. | Native Pollinators                           |
| Ch  | 52  | Cephalotaxus harringtonia 'Fastigiata' | Plum Yew                    | 4' ht., B&B, RB- |  |
| Cs  | 4   | Cornus sanguinea 'Midwinter Fire'      | Blood-twigged Dogwood       | #2 pot, 36" o.c. | Pollinators                                  |
| Co  | 11  | Cornus sericea 'Cardinal'              | Red-twigged Dogwood         | #2 pot, 36" o.c. | Native Pollinators, Hummingbirds, Year-Round |
| Eu  | 6   | Euphorbia characias subsp. wulfenii    | Mediterranean Spurge        | #1 pot 18" o.c.  |  |
| Hy  | 4   | Hydrangea arborescens 'Annabelle'      | Smooth Hydrangea            | #3 pot, 48" o.c. | Pollinators                                  |
| Ma  | 30  | Matteucia struthiopteris               | Ostrich Fern                | #2 pot, 36" o.c. |  |
| PL  | 6   | Philadelphus lewisii                   | Wild Mock Orange            | 1.0m ht, Multi   | Native Pollinators, Spring/Summer Food       |
| Pm  | 25  | Pinus mugo 'Carstens'                  | Dwarf Mountain Pine         | #2 pot, 30" o.c. |  |
| Pr  | 13  | Prunus laurocerasus                    | Cherry Laurel               | 3' ht., B&B, RB- | Pollinators, Fall/Winter Food                |
| RB  | 3   | Rosa 'Ballerina'                       | Ballerina Rose              | #2 pot, 36" o.c. |  |
| RM  | 6   | Rhodo macrophyllum                     | Pacific Rhododendron        | 1.0m ht, Multi   | Native                                       |
| Sc  | 26  | Sarcococca hookeriana var 'Humilis'    | Sweet Box                   | #1 pot, 30" o.c. | Pollinators, Spring/Summer Food              |
| <b>Perennials, Grasses &amp; Groundcovers</b> |     |  |                             |                  |  |
| Ard   | 6   | Aruncus dioicus var 'Acuminatus'       | Goat's Beard                | #2 pot, 36" o.c. | Native Pollinators                           |
| As  | 13  | Astilbe japonica 'Deutschland'         | Hybrid Japonica             | #2 pot, 18" o.c. | Pollinators                                  |
| Auu   | 26  | Arcostaphylos uva-ursi (ROOF ONLY)     | Bearberry (ROOF ONLY)       | #2 pot, 24" o.c. | Native Pollinators, Year-Round Food          |
| Hk  | 49  | Hakonechloa macra 'Aureola'            | Japanese Forest Grass       | #1 pot, 24" o.c. |  |
| Ho  | 74  | Hosta 'Victory'                        | Plantain Lily               | #2 pot, 24" o.c. | Pollinators                                  |
| La  | 8   | Lavendula angustifolia                 | English Lavender            | #2 pot, 24" o.c. |  |
| Pa  | 101 | Pachysandra terminalis 'Green Sheen'   | Japanese Spurge             | 4" pot, 12" o.c. |  |
| Pq  | 19  | Parthenocissus quinquefolia            | Virginia Creeper            | #3 pot, 3 leads  | Spring/Summer Food                           |
| Tg  | 6   | Tellima grandiflora                    | Fringe Cups                 | #1 pot, 12" o.c. | Native Pollinators                           |
| <b>Urban Agriculture Mix (13.4 SQ.M.)</b>     |     |  |                             |                  |  |
|   |     | Allium tuberosum                       | Dwarf Chives                | 4" pot; 10" O.C. |  |
|   |     | Achillea millefolium                   | White yarrow                | 4" pot; 10" O.C. |  |
|   |     | Liatris spicata                        | Gayfeather                  | 4" pot; 10" O.C. |  |
|   |     | Origanum vulgare                       | Oregano                     | 4" pot; 10" O.C. |  |
|   |     | Origanum vulgare                       | Golden Oregano              | 4" pot; 10" O.C. |  |
|   |     | Salvia officinalis                     | Sage                        | 4" pot; 10" O.C. |  |
|   |     | Salvia purpurascens                    | Purple Sage                 | 4" pot; 10" O.C. |  |
|   |     | Rosmarinus officinalis                 | Rosemary                    | 4" pot; 10" O.C. |  |
|   |     | Thymus vulgaris                        | Woolly Thyme                | 4" pot; 10" O.C. |  |

## NOTES

|  |
|--|
| <p>General Notes</p> <ol style="list-style-type: none"> <li>Refer to architectural drawings for all walls and stair layout and elevations, unless otherwise noted.</li> <li>Refer to electrical drawings for all final landscape lighting layout and specifications.</li> <li>Refer to architectural and mechanical drawings for all drain locations and rim elevations.</li> </ol>  |
| <p>Irrigation Notes</p> <ol style="list-style-type: none"> <li>All 'Soft Landscape Areas' are to be irrigated with a high efficiency design/built irrigation system to IIABC Standards., complete with Rain and Wind Sensor.</li> <li>The irrigation system design and installation shall be in accordance with the Irrigation Industry of BC Standards and Guidelines.</li> <li>System design and installation shall take into account elevation differences, sun orientation and other factors affecting zoning and operation of the system to minimized evapotranspiration and wind lost.</li> <li>System design shall provide for uniform complete 'Head to Head' coverage of all lawns and planted areas.</li> <li>Contractor shall be responsible to provide SHOP DRAWINGS a minimum of 3 weeks prior to installation of any irrigation for review and approval.</li> <li>Should the contractor proceed without approval, any additional modifications to the irrigation systems, as directed by the Landscape Architect shall be at contractors cost.</li> <li>Lawns shall be irrigated on separate zones from planted areas.</li> <li>Controller shall be located in mechanical room.</li> <li>PRIOR to Substantial Performance, contractor shall provide a maintenance data and Operation instruction manual containing operational information for all operating components, cleaning and lubrication schedules, overhaul/adjustment schedule.</li> <li>Record Drawings: Submit with the operating and maintenance manuals a reproducible copy of the AS-BUILT condition of the system.</li> <li>Contractor shall instruct a designated representative of the Owner in the complete operating and maintenance procedures for the irrigation system, including winterizing for the first time with the designated representative observing.</li> <li>All piping shall be class 200.</li> <li>Use GSR Schedule 40 PVC designed for solvent welding to PVC pipe except where valves, risers, etc. require threaded joints.</li> <li>Provide sleeves under all hard surfaces and as required through walls. If under vehicular paving, cast iron piping required.</li> <li>Solenoid valves shall be first quality, compatible with the controller selected.</li> <li>Valve boxes shall be reinforced plastic boxes manufactured specifically for landscape irrigation, complete with captive lock bolt cover, sized to suit valves and other components with adequate room for operation and maintenance.</li> </ol> |
| <p>Planting Notes</p> <ol style="list-style-type: none"> <li>All plants / planting to be per Canadian Landscape Standards (C.L.S.) latest edition.</li> <li>Plant selection subject to availability at the time of planting.</li> <li>Contractor shall source specified plant material and only after area of search has been exhausted will substitutions be considered.</li> <li>All trees to be staked in accordance with C.L.S.</li> <li>All plants to be sourced from nurseries certified free of P. ramorum.</li> <li>Plant sizes and related container classes are specified according to the C.L.S. current edition. For container classes #3 and smaller, plant sizes shall be as shown in the plant list and the standard; for all other plants, both plant size and container calls shall be as shown in the plant list. Specifically, when the plant list calls for #5 class containers, these shall be as defined in the C.L.S.</li> <li>All trees to have minimum 10 cubic meters of growing medium unless otherwise specified.</li> </ol>   |
| <p>Soil Preparation and Placement Notes</p> <ol style="list-style-type: none"> <li>All growing medium placed on project to meet or exceed Canadian Landscape Standards (C.L.S.) latest edition.</li> <li>Submit sieve analysis by an approved independent soil testing laboratory for each type of growing medium being used on the project PRIOR to placement for review and approval. Clearly identify source and type for each. Resubmit as required until growing medium is approved. Provide one composite sample of each type of proposed growing medium for each different application within the project. minimum 1 litre physical sample.</li> <li>Submittals shall be made at least seven (7) days before</li> <li>Contractor shall not move or work growing medium or additives when they are excessively wet, extremely dry, or frozen or in any manner which will adversely affect growing medium structure. Growing medium whose structure has been destroyed by handling under these conditions will be rejected. Growing medium shall not be handled in wet or frozen conditions.</li> <li>Slab drainage shall be 19mm (3/4") diameter drain gravel free from any silt and clay as shown in details.</li> <li>Place growing medium, except structural to required finish grades and minimum depths as detailed, unless shown otherwise.</li> </ol>   |
| <p>Product and Material Notes</p> <ol style="list-style-type: none"> <li>All materials to be as specified or pre-approved equivalent.</li> <li>All material and products to be installed per manufacturer's specifications.</li> </ol>   |

|    |           |                    |
|----|-----------|--------------------|
| 03 | May 19-23 | City Comments      |
| 02 | Mar 24-23 | RZ/DP Submission   |
| 01 | Feb 28-23 | CALUC Presentation |

No.: | Date: | Submission:  
 Revisions:



Project:  
**854-880 PANDORA**

854-880 Pandora Avenue,  
 Victoria, BC

Drawn by: JBT

Checked by: PK

Date Modified: May 19, 2023

Scale: NTS

Drawing Title:

**Landscape  
 Notes & Legends**

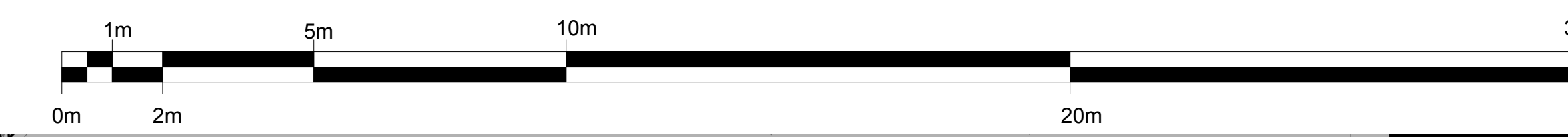
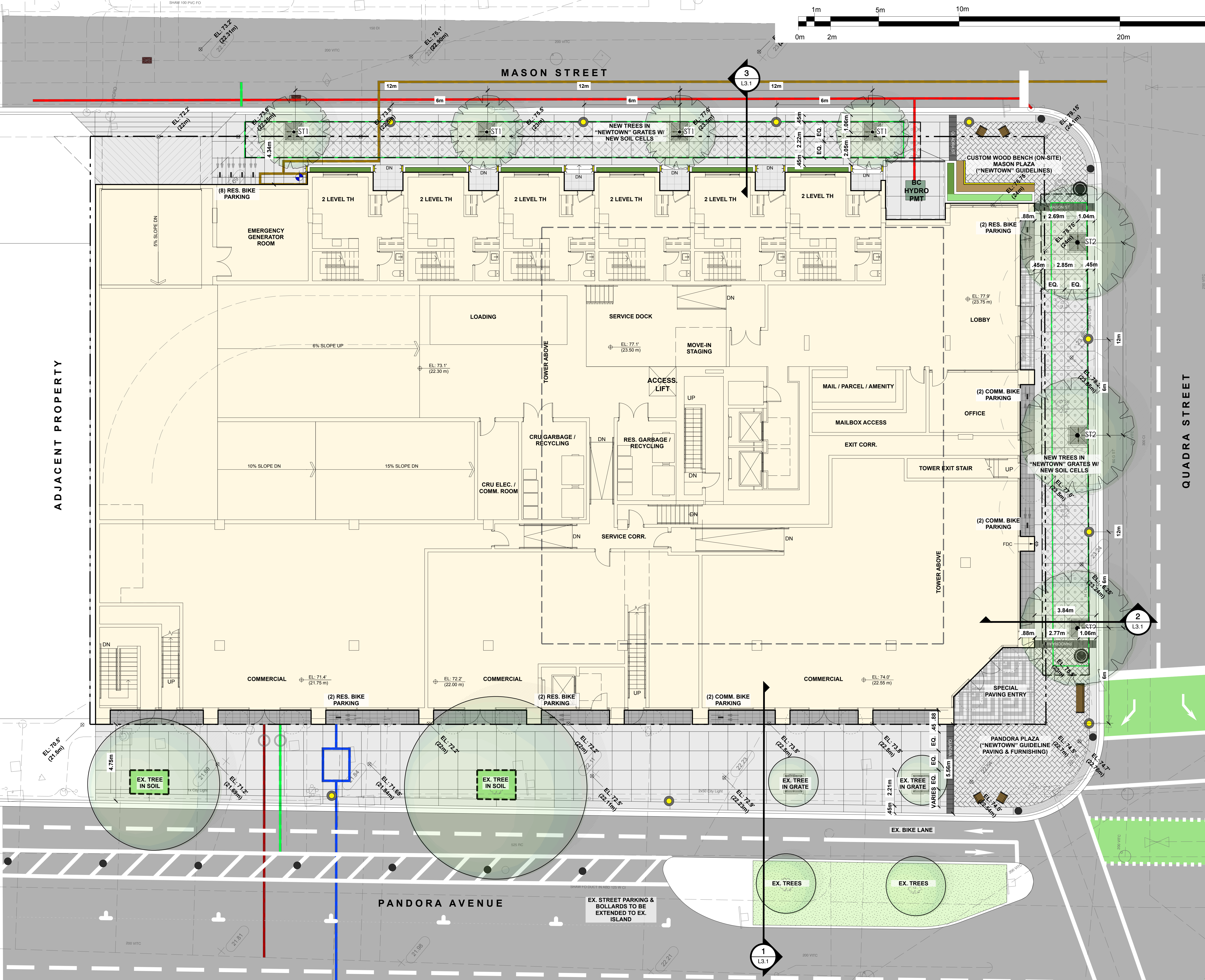
DK Project No.: MCMP Project No.:

22081

222011

Sheet No.:

L-0.0



**GENERAL NOTES**

1. All proposed boulevard trees as species to be determined by City of Victoria Parks Department.

**Street Tree Inspection Notes:**

Proposed Street Trees must comply to City of Victoria Supplementary Specifications for Street Trees and Irrigation Schedule C, Bylaw 12-042, Subdivision Bylaw and the current version of the Canadian Landscape Standard. Planting details can be found in Schedule B3-4 or on the approved landscape plan. The following tree inspections by Parks Staff are required by Schedule C. To schedule an inspection please contact Rob Hughes, rhughes@victoria.ca and also copy treepermits@victoria.ca 48 hours prior to the required inspection time.

2. Irrigation must meet the Standards for Irrigation Installation set out in the City of Victoria Supplementary Specifications for Street Trees and Irrigation, Schedule C, to Victoria Subdivision and Development Servicing Bylaw.

**Irrigation Inspection Notes:**

All irrigation systems will require inspection by the Director of Parks. Inspections require 24hr notice. Inspections will be according to Table 6.1 of The CoV Supplementary Specifications for Street Trees and Irrigation Schedule C, Bylaw 12-042.

|    |           |                    |
|----|-----------|--------------------|
| 03 | May 19-23 | City Comments      |
| 02 | Mar 24-23 | RZ/DP Submission   |
| 01 | Feb 28-23 | CALUC Presentation |

No.: \_\_\_\_\_ Date: \_\_\_\_\_ Submission: \_\_\_\_\_  
Revisions: \_\_\_\_\_



Project:  
**854-880 PANDORA**

854-880 Pandora Avenue,  
Victoria, BC

Drawn by: JBT

Checked by: PK

Date Modified: May 19, 2023

Scale: 1:100

Drawing Title:  
**Landscape Plan -  
Ground Level (Lv 1)**

DK Project No.: 22081  
MCMP Project No.: 222011

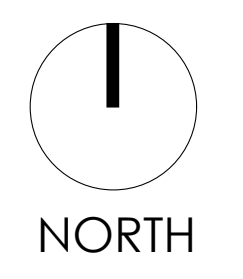
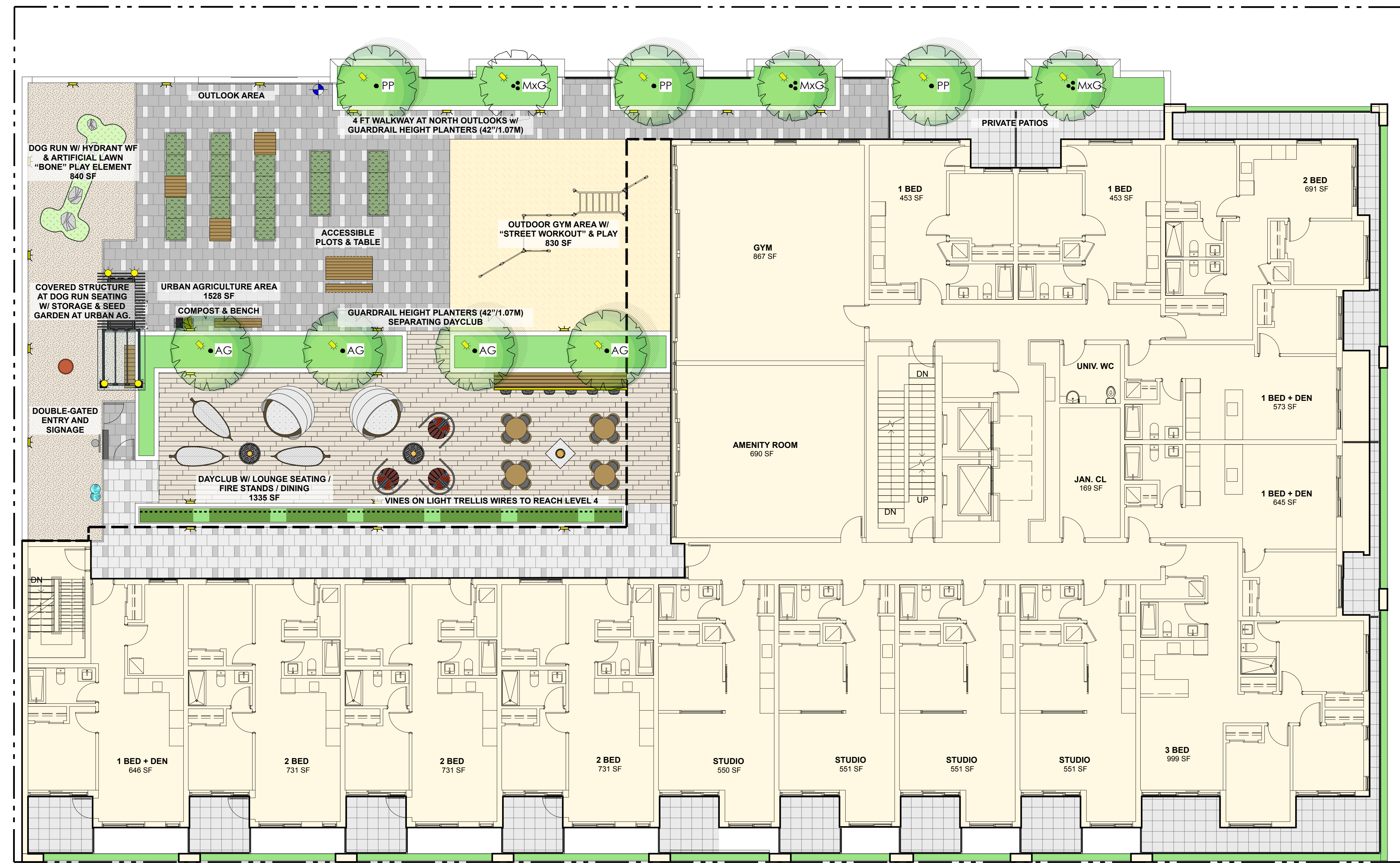
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MASON STREET

ADJACENT PROPERTY



QUADRA STREET

PANDORA AVENUE

- 03 May 19-23 City Comments
- 02 Mar 24-23 RZ/DP Submission
- 01 Feb 28-23 CALUC Presentation

No.: | Date: | Submission:  
Revisions:



Project:  
**854-880 PANDORA**

854-880 Pandora Avenue,  
Victoria, BC

Drawn by: JBT

Checked by: PK

Date Modified: May 19, 2023

Scale: 1:100

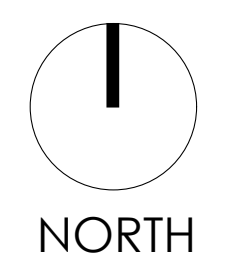
Drawing Title:  
**Landscape Plan -  
Podium Level (Lv 2)**

DK Project No.: 22081 | MCMP Project No.: 222011

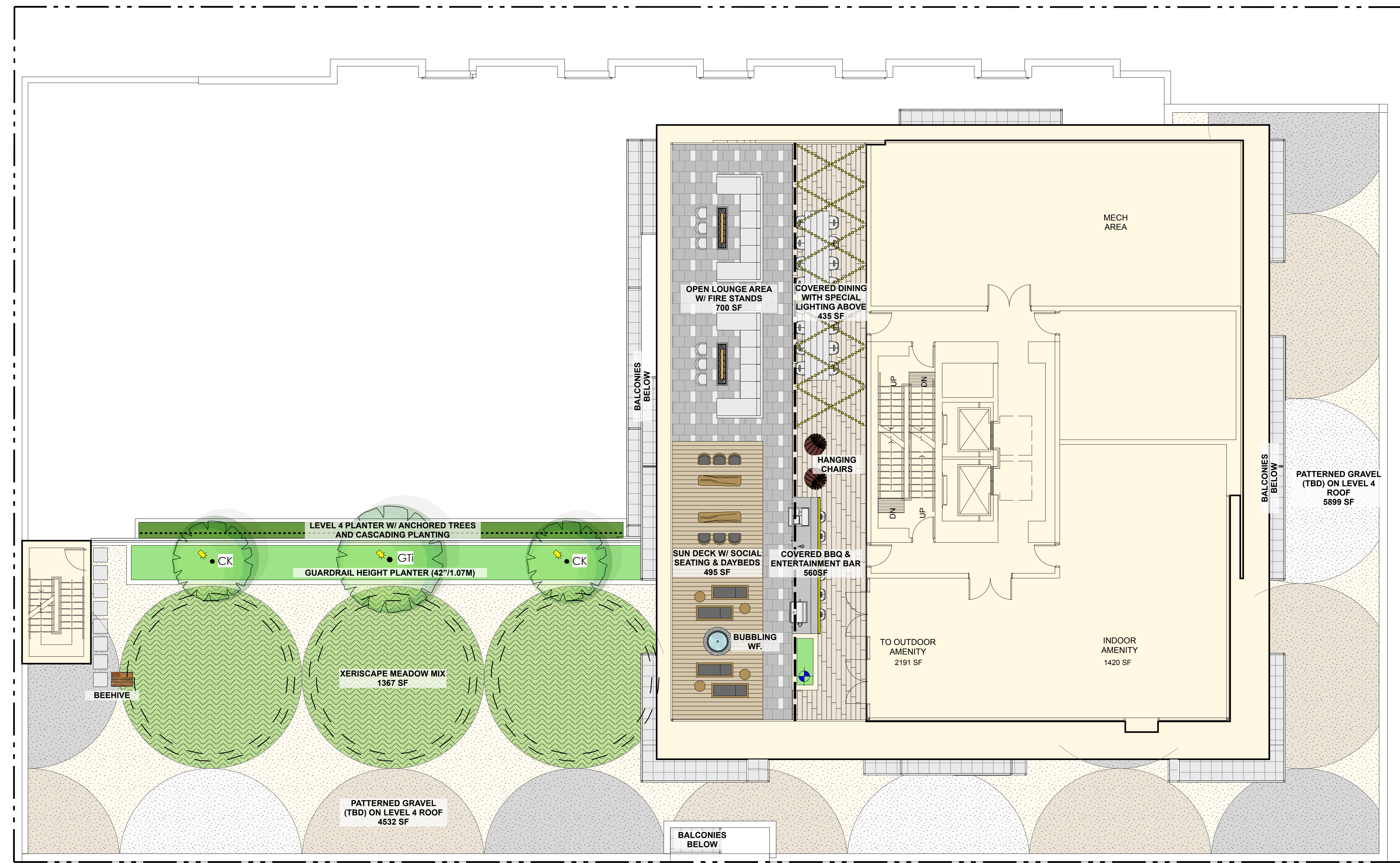
Sheet No.:



MASON STREET



ADJACENT PROPERTY



QUADRA STREET

|    |           |                    |
|----|-----------|--------------------|
| 03 | May 19-23 | City Comments      |
| 02 | Mar 24-23 | RZ/DP Submission   |
| 01 | Feb 28-23 | CALUC Presentation |

No.: | Date: | Submission:  
Revisions:



Project:  
**854-880 PANDORA**

854-880 Pandora Avenue,  
Victoria, BC

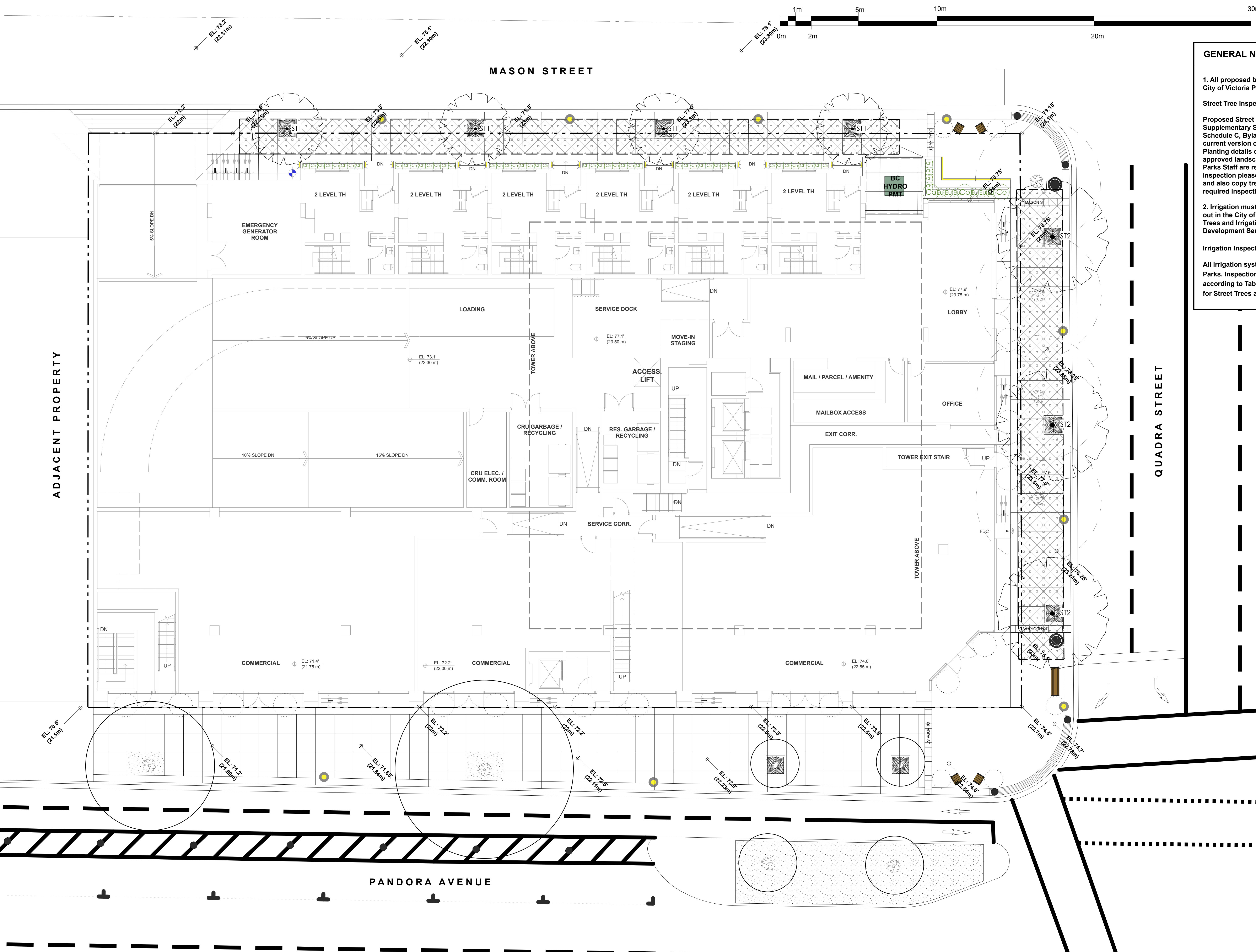
Drawn by: JBT  
Checked by: PK  
Date Modified: May 19, 2023  
Scale: 1:100

Drawing Title:  
**Landscape Plan -  
Roof Levels (Lvs 3+)**

PANDORA AVENUE

DK Project No.: 22081 | MCMP Project No.: 222011

Sheet No.:



**GENERAL NOTES**

1. All proposed boulevard trees as species to be determined by City of Victoria Parks Department.

**Street Tree Inspection Notes:**

Proposed Street Trees must comply to City of Victoria Supplementary Specifications for Street Trees and Irrigation Schedule C, Bylaw 12-042, Subdivision Bylaw and the current version of the Canadian Landscape Standard. Planting details can be found in Schedule B3-4 or on the approved landscape plan. The following tree inspections by Parks Staff are required by Schedule C. To schedule an inspection please contact Rob Hughes, rhughes@victoria.ca and also copy treepermits@victoria.ca 48 hours prior to the required inspection time.

2. Irrigation must meet the Standards for Irrigation Installation set out in the City of Victoria Supplementary Specifications for Street Trees and Irrigation, Schedule C, to Victoria Subdivision and Development Servicing Bylaw.

**Irrigation Inspection Notes:**

All irrigation systems will require inspection by the Director of Parks. Inspections require 24hr notice. Inspections will be according to Table 6.1 of The CoV Supplementary Specifications for Street Trees and Irrigation Schedule C, Bylaw 12-042.

|    |           |                    |
|----|-----------|--------------------|
| 03 | May 19-23 | City Comments      |
| 02 | Mar 24-23 | RZ/DP Submission   |
| 01 | Feb 28-23 | CALUC Presentation |

No.: \_\_\_\_\_ Date: \_\_\_\_\_ Submission: \_\_\_\_\_

Revisions: \_\_\_\_\_



Project:  
**854-880 PANDORA**  
 854-880 Pandora Avenue,  
 Victoria, BC

Drawn by: JBT  
 Checked by: PK  
 Date Modified: May 19, 2023  
 Scale: 1:100

Drawing Title:  
**Landscape Planting Plan -  
 Level 1**

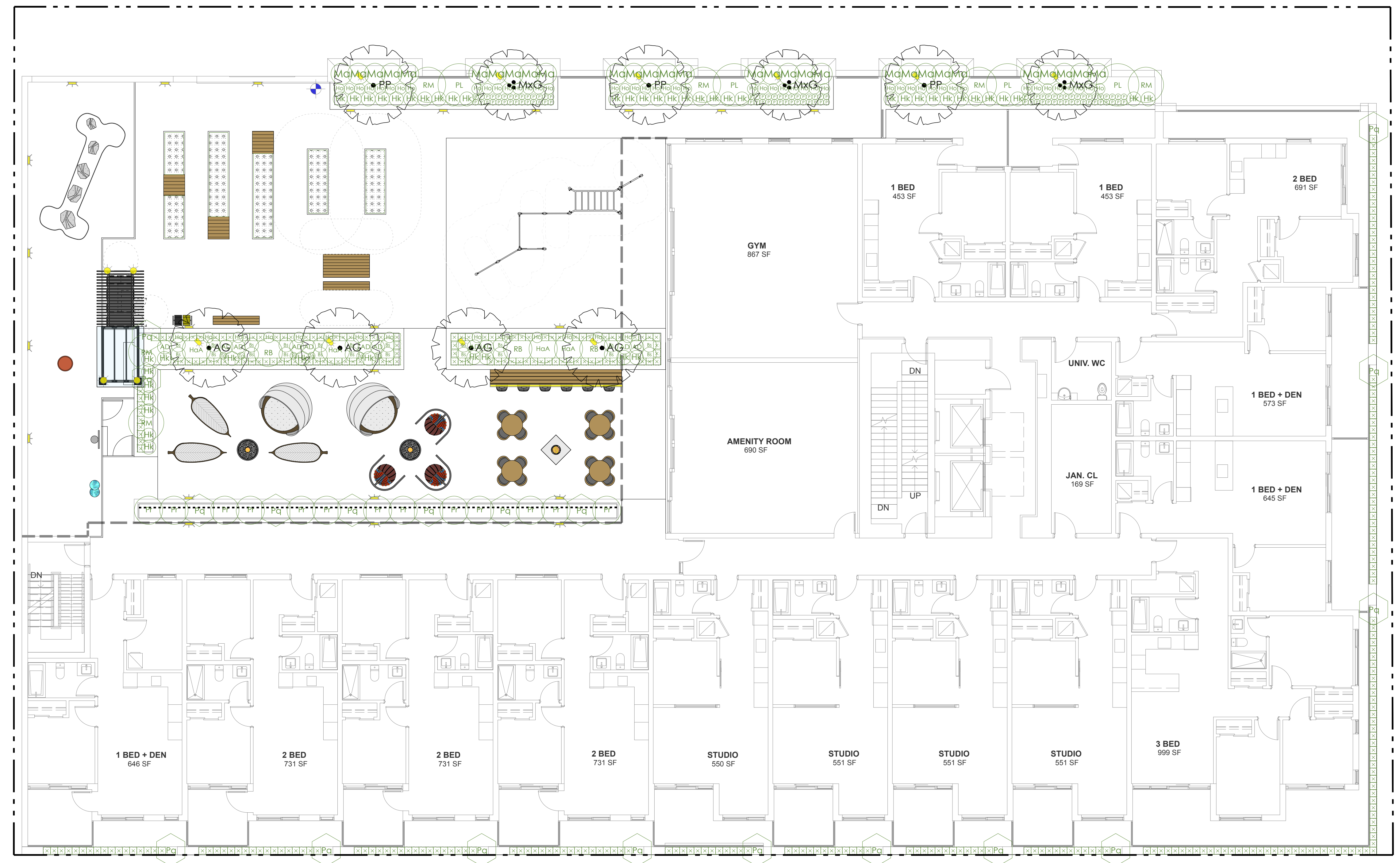
DK Project No.: 22081  
 MCMP Project No.: 222011

Sheet No.: \_\_\_\_\_



MASON STREET

ADJACENT PROPERTY



QUADRA STREET

PANDORA AVENUE

|    |           |                    |
|----|-----------|--------------------|
| 03 | May 19-23 | City Comments      |
| 02 | Mar 24-23 | RZ/DP Submission   |
| 01 | Feb 28-23 | CALUC Presentation |

No.: | Date: | Submission:  
Revisions:



Project:  
**854-880 PANDORA**

854-880 Pandora Avenue,  
Victoria, BC

Drawn by: JBT

Checked by: PK

Date Modified: May 19, 2023

Scale: 1:100

Drawing Title:  
**Landscape Planting Plan -  
Level 2**

DK Project No.: 22081 | MCMP Project No.: 222011

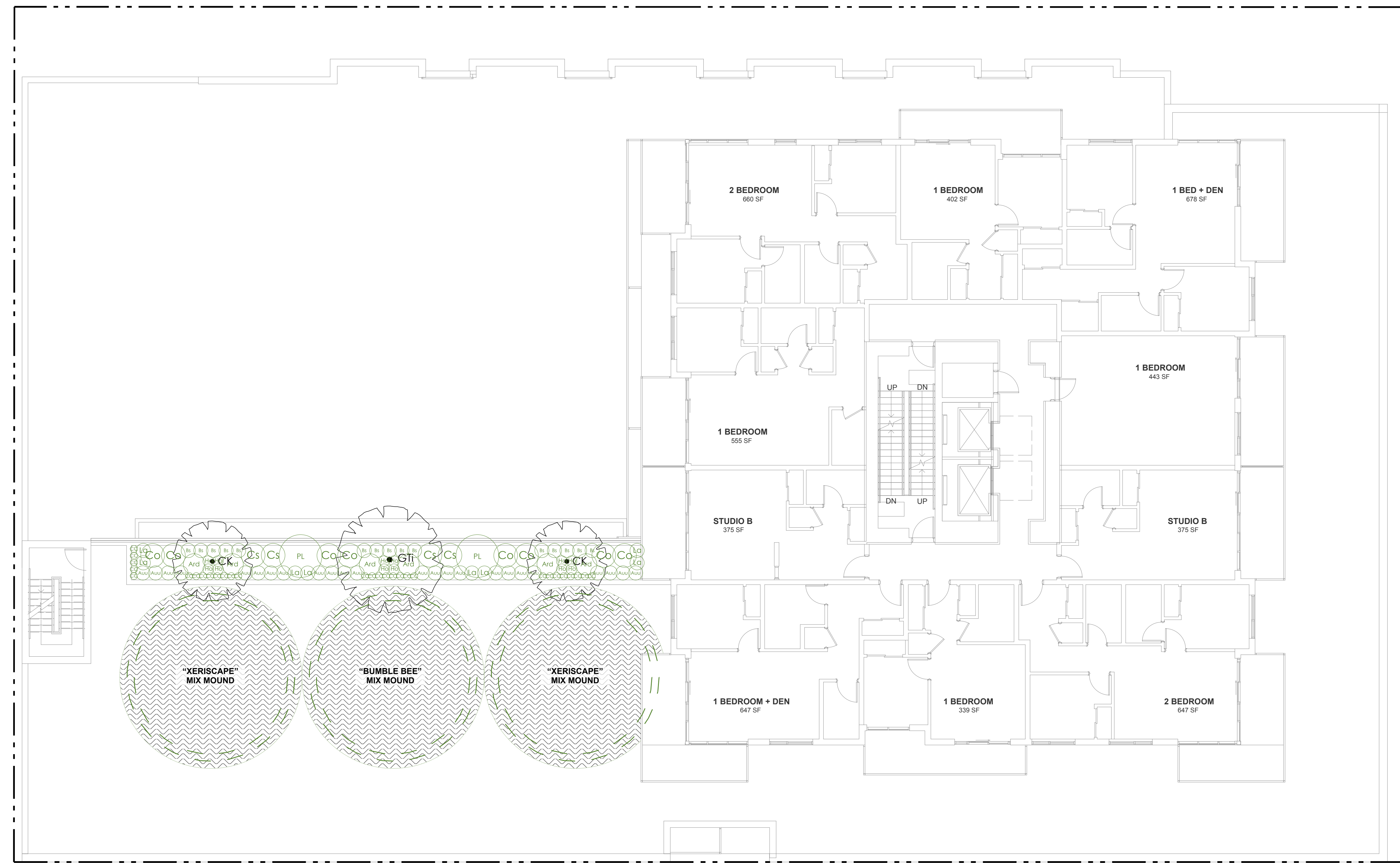
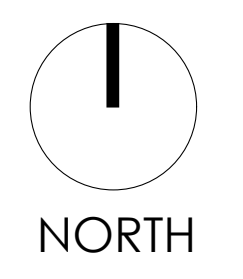
Sheet No.:



MASON STREET

ADJACENT PROPERTY

QUADRA STREET



|    |           |                    |
|----|-----------|--------------------|
| 03 | May 19-23 | City Comments      |
| 02 | Mar 24-23 | RZ/DP Submission   |
| 01 | Feb 28-23 | CALUC Presentation |

No.: | Date: | Submission:  
Revisions:



Project:  
**854-880 PANDORA**

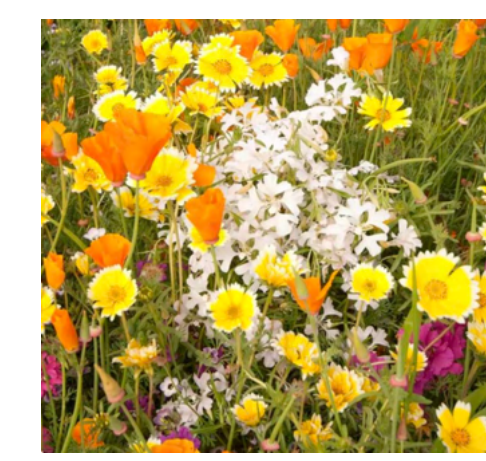
854-880 Pandora Avenue,  
Victoria, BC

Drawn by: JBT  
Checked by: PK  
Date Modified: May 19, 2023  
Scale: 1:100

Drawing Title:  
**Landscape Planting Plan -  
Level 4**

DK Project No.: 22081  
MCMP Project No.: 222011

Sheet No.:



"XERISCAPE" MIX  
(94 SQ.M)

- Arroyo Lupine
- Blanket Flower
- Blue Flax
- California Bluebell
- California Poppy
- Desert Marigold
- Greenthread
- Munro's Globemallow
- Oregon Sunshine
- Pale Evening Primrose
- Palmer's Penstemon
- Prairie Coneflower
- Rocky Mountain Pentsemon
- Tidy-Tips



"BUMBLEBEE" MIX  
(47 SQ.M)

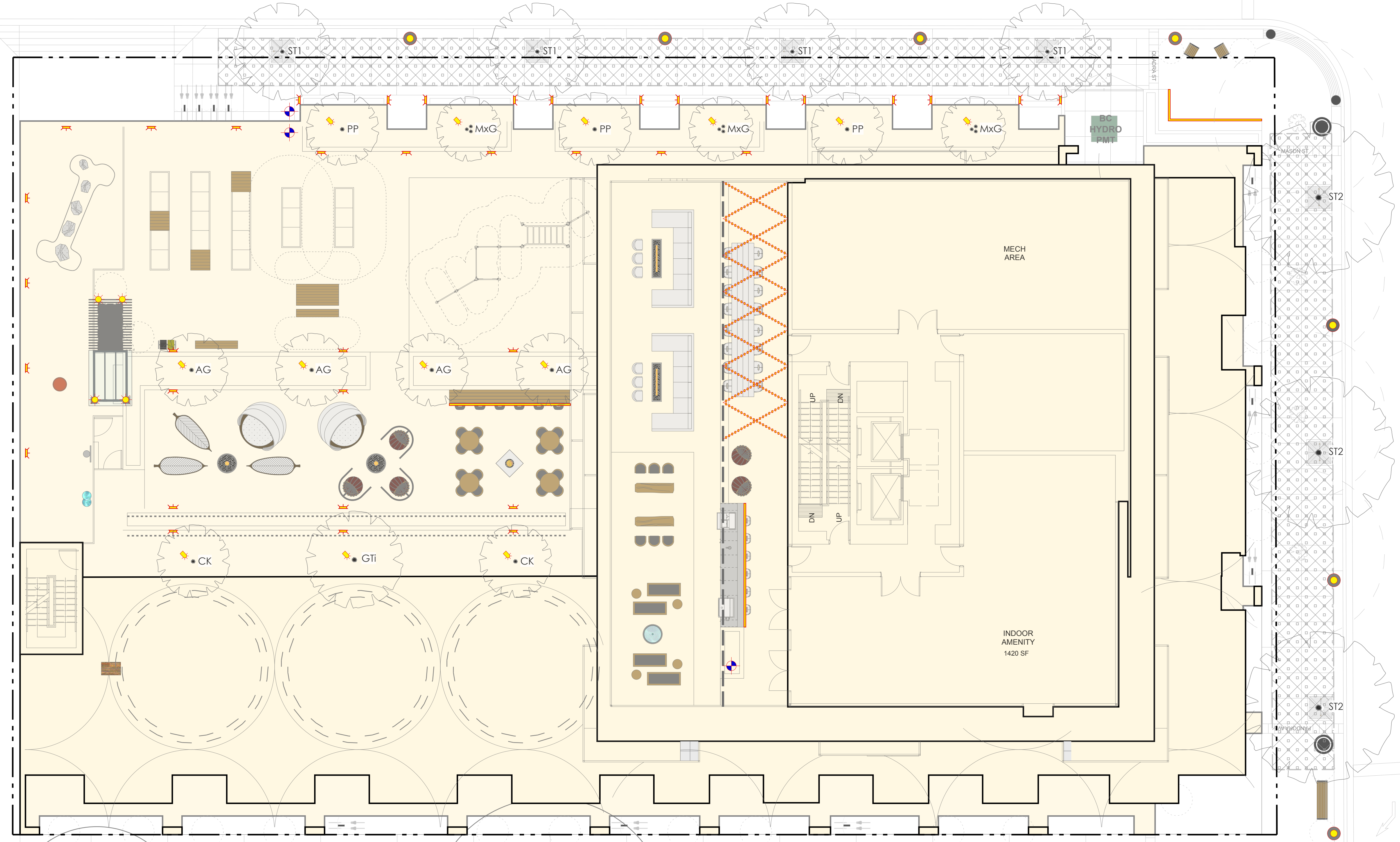
- Balsam 'Camelia Flowered Mix'
- Catchfly
- Cosmos 'Sensation Mix'
- Lupine, Yellow
- Nasturtium 'Single Mix'
- Rocket Larkspur
- Siberian Wallflower
- Snapdragon 'Northern Lights'
- Sunflower 'Dwarf Sunspot'
- Zinnia 'California Giants'

PANDORA AVENUE



MASON STREET

ADJACENT PROPERTY



| LIGHTING LEGEND   |         |   |           |
|---|---------|---|-----------|
| 1. Electrical to finalize Photometrics/Spacing/Products<br>2. City/Civil to Specify Street Lighting Locations & Details |         |   |           |
| KEY   | GRAPHIC | DESCRIPTION   | COUNT     |
| L-0   |         | Area Light, (Confirm w/ Civil) Per COV 'Newtown' Public Realm Streetscape Standards | 7         |
| L-1   |         | Soffit-Mounted Downlight, Typ. (Confirm w/ Arch./ID)                                | 4         |
| L-2   |         | Wall-Mounted Downlight, Typ (Confirm w/ Arch./ID)                                   | BY OTHERS |
| L-3   |         | Step-Lights, 18" Above FFE, Typ.  | 37        |
| L-4   |         | Staked Spot-Light, In Grade, Typ.   | 13        |
| L-5   |         | Rope Lights, Fixed to Custom Furnishing   | 17 lm     |
| L-6   |         | Canopy Lighting, Fixed to Canopy &/or Posts   | 50 lm     |

- 03 May 19-23 City Comments
- 02 Mar 24-23 RZ/DP Submission
- 01 Feb 28-23 CALUC Presentation

No.: \_\_\_\_\_ Date: \_\_\_\_\_ Submission: \_\_\_\_\_  
Revisions: \_\_\_\_\_

**dk** Durante Kreuk Ltd.  
102 - 1637 West 5th Avenue  
Vancouver BC V6J 1N5  
T: 604 684 4611  
F: 604 684 0577  
www.dk.bc.ca

Project:  
**854-880 PANDORA**

854-880 Pandora Avenue,  
Victoria, BC

Drawn by: JBT

Checked by: PK

Date Modified: May 19, 2023

Scale: 1:100

Drawing Title:  
**Landscape Diagram - Preliminary Lighting**

DK Project No.:  
**22081**

MCMP Project No.:  
**222011**

Sheet No.:

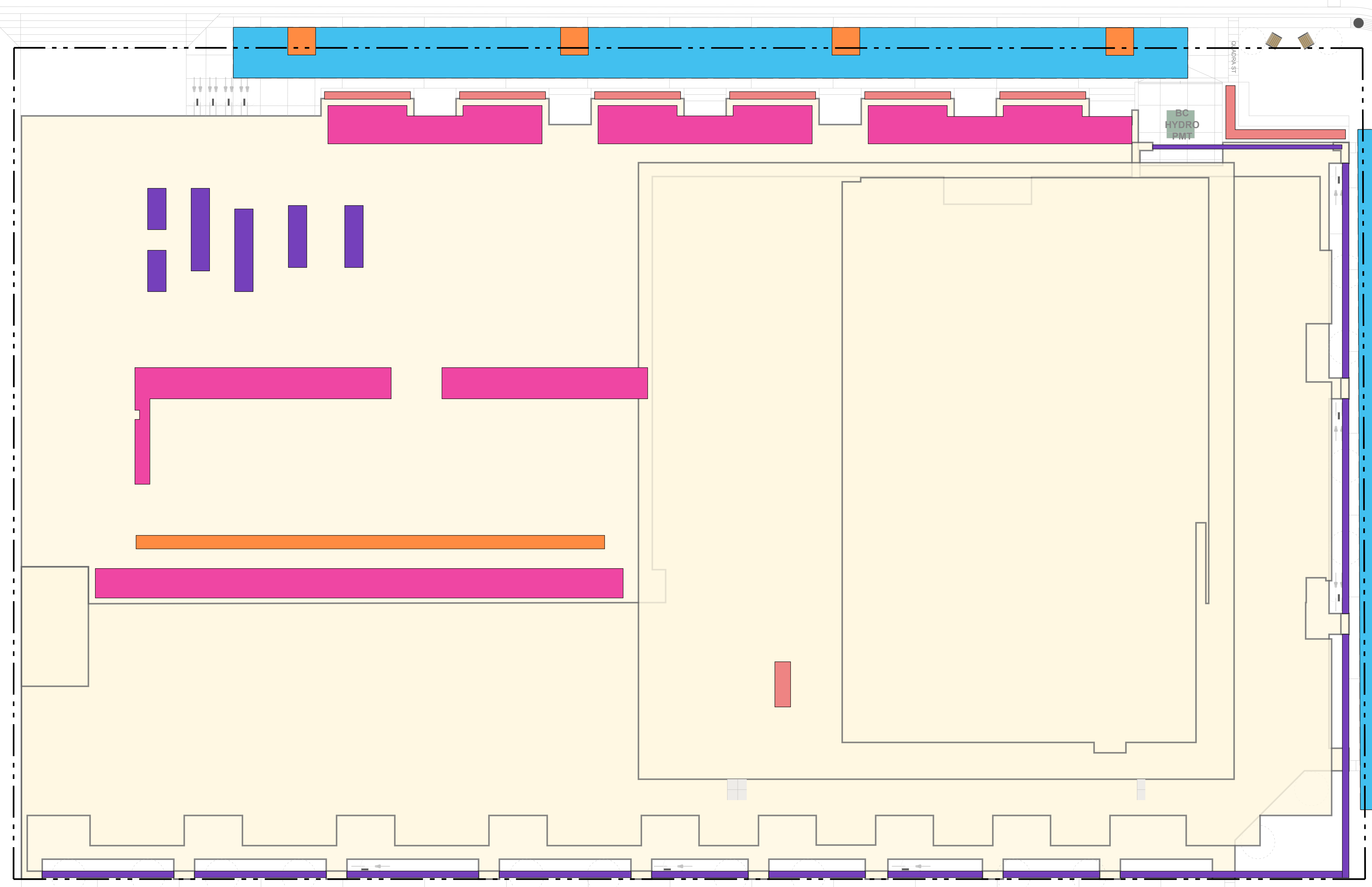
PANDORA AVENUE

QUADRA STREET



MASON STREET

ADJACENT PROPERTY



| SOIL LOADING DIAGRAM LEGEND            |                                |
|--|--------------------------------|
| <span style="color: purple;">█</span>  | 18" (457mm) Soil Depth         |
| <span style="color: pink;">█</span>    | 24" (609mm) Soil Depth         |
| <span style="color: orange;">█</span>  | 30" (762mm) Soil Depth         |
| <span style="color: magenta;">█</span> | 42" (1067mm) Soil Depth        |
| <span style="color: cyan;">█</span>    | 36" (920mm) Depth (Soil Cells) |

| ON-SLAB SOIL VOLUMES           |               |
|--------------------------------|---------------|
| 18" (457mm) x 38.71 Sq.m       | = 17.69 Cb.m  |
| 24" (609mm) x 11.84 Sq.m       | = 7.21 Cb.m   |
| 30" (762mm) x 12.30 Sq.m       | = 9.37 Cb.m   |
| 42" (1067mm) x 107.16 Sq.m     | = 114.34 Cb.m |
| <b>Sub-Total = 148.61 Cb.m</b> |               |

| ON-GRADE (OFFSITE) SOIL VOLUMES |               |
|---------------------------------|---------------|
| 30" (762mm) x 10.5 Sq.m         | = 8.00 Cb.m   |
| 36" (920mm) x 180.2 Sq.m        | = 165.78 Cb.m |
| <b>Sub-Total = 173.78 Cb.m</b>  |               |
| <b>Total = 322.39</b>           |               |

|    |           |                    |
|----|-----------|--------------------|
| 03 | May 19-23 | City Comments      |
| 02 | Mar 24-23 | RZ/DP Submission   |
| 01 | Feb 28-23 | CALUC Presentation |

No.: | Date: | Submission:  
Revisions:



Project:  
**854-880 PANDORA**

854-880 Pandora Avenue,  
Victoria, BC

Drawn by: JBT  
Checked by: PK  
Date Modified: May 19, 2023  
Scale: 1:100

Drawing Title:  
**Landscape Diagram -  
Soil Loading**

DK Project No.: 22081 | MCMP Project No.: 222011

Sheet No.:

UNKNOWN SOIL VOLUMES FOR EXISTING TREES.  
TO BE COORDINATED BY PARKS THROUGH  
SERVICING AGREEMENT

EXISTING  
TREE IN SOIL

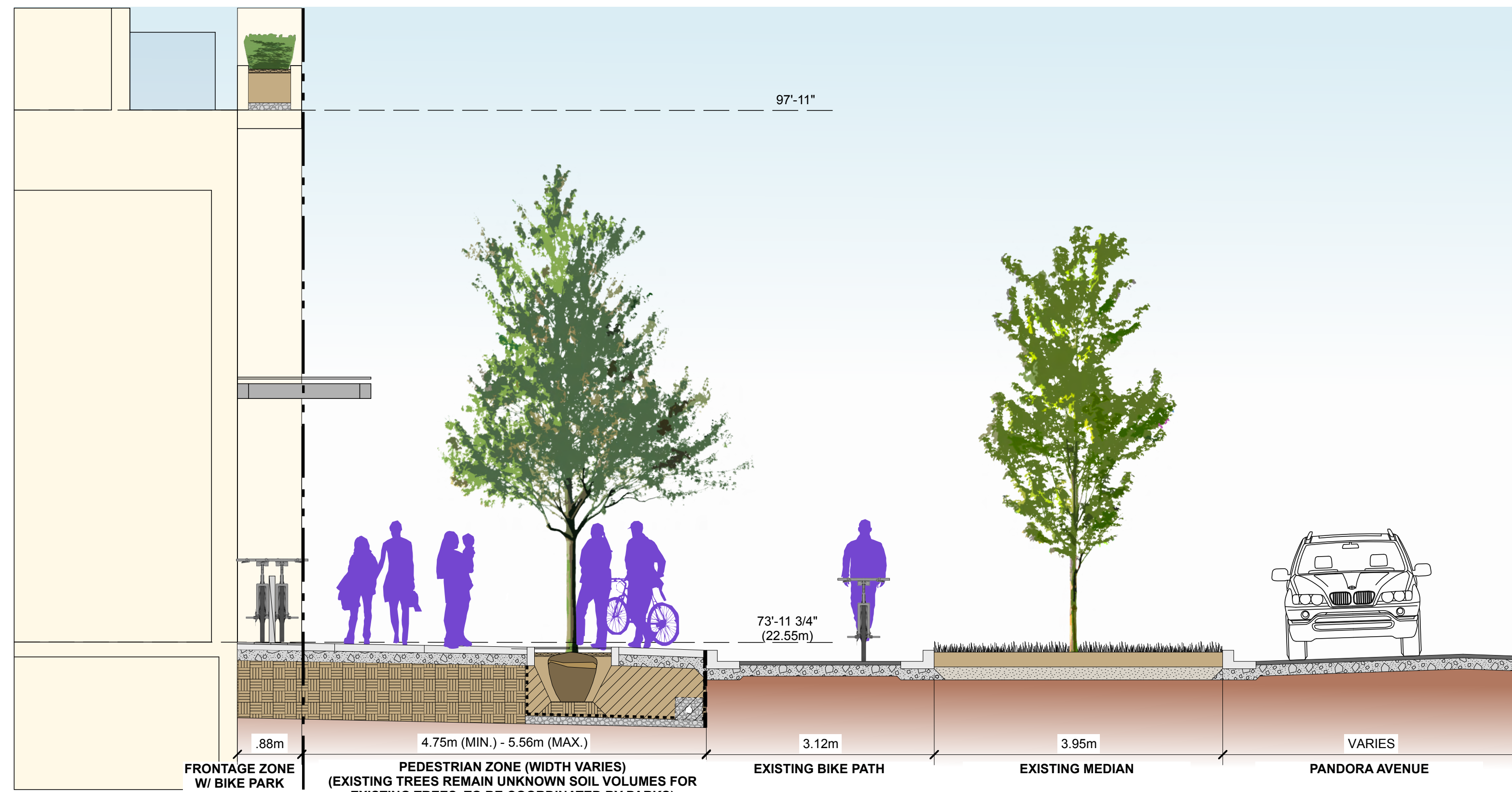
EXISTING  
TREE IN SOIL

EXISTING  
TREE IN GRATE

EXISTING  
TREE IN GRATE

PANDORA AVENUE

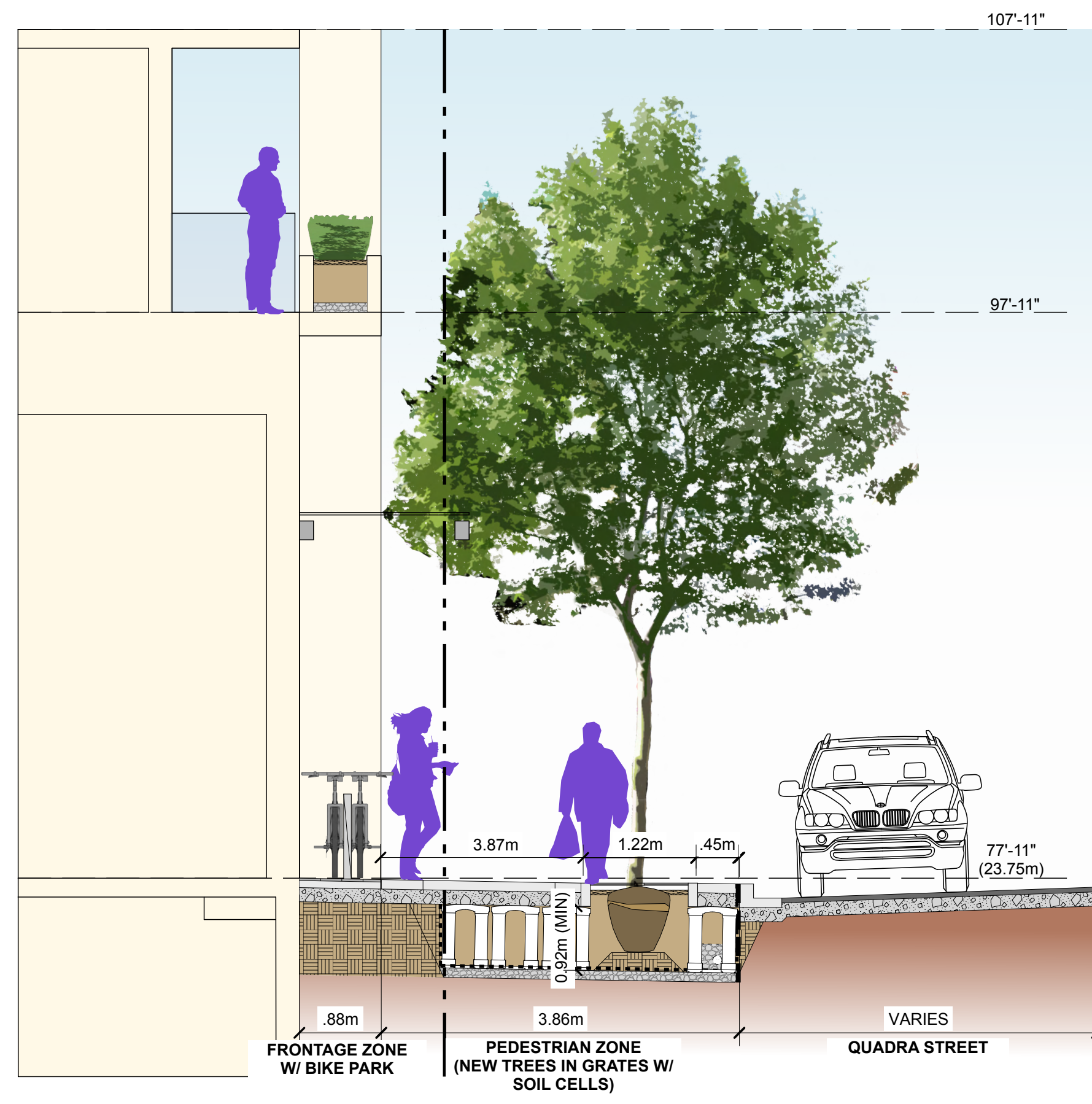
QUADRA STREET



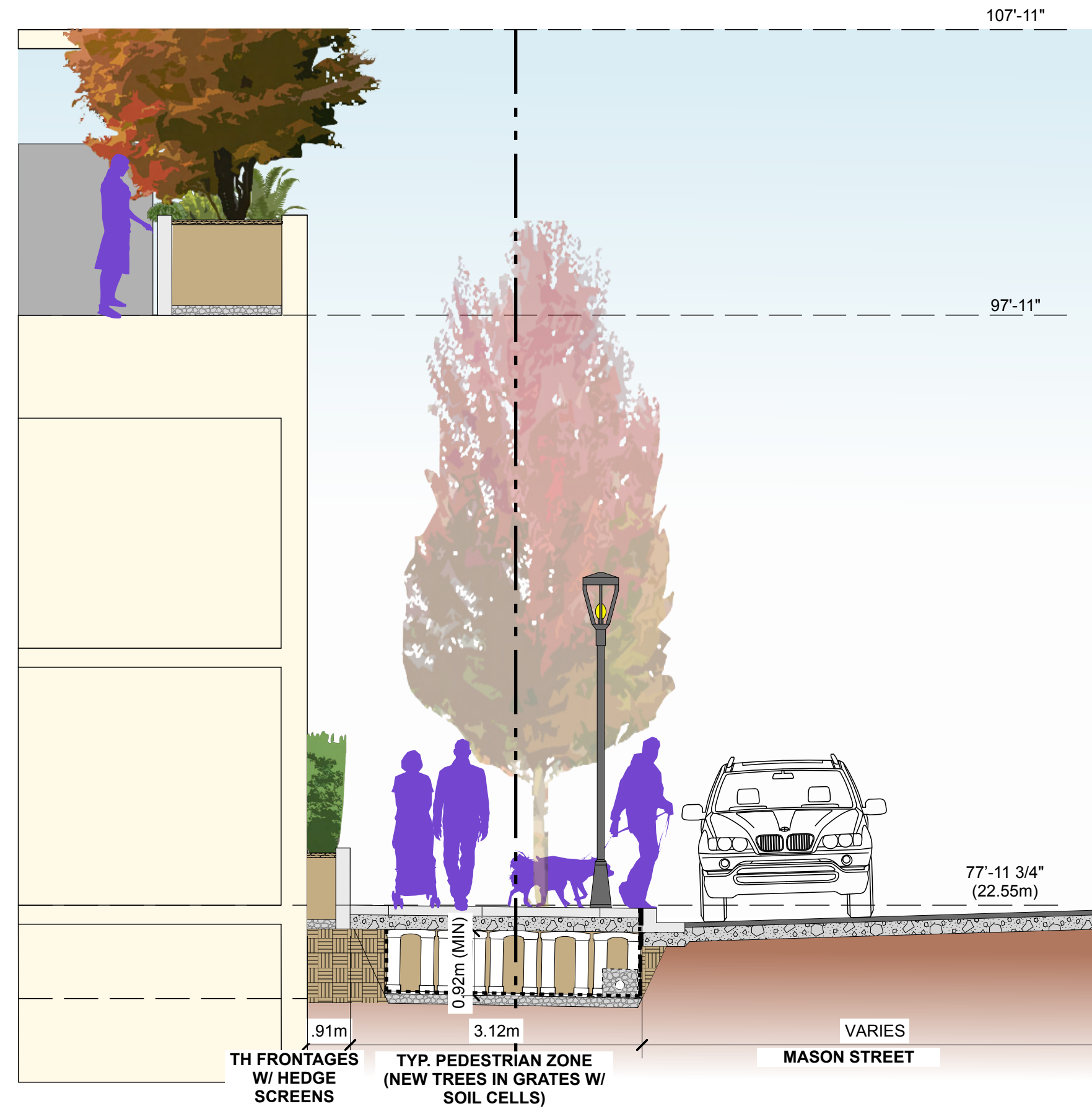
**Section 1 - PANDORA AVE**

|    |           |                    |
|----|-----------|--------------------|
| 03 | May 19-23 | City Comments      |
| 02 | Mar 24-23 | RZ/DP Submission   |
| 01 | Feb 28-23 | CALUC Presentation |

No.: | Date: | Submission:  
Revisions:



**Section 2 - QUADRA ST**



**Section 3 - MASON ST**

Project:  
**854-880 PANDORA**

854-880 Pandora Avenue,  
Victoria, BC

Drawn by: JBT

Checked by: PK

Date Modified: May 19, 2023

Scale: 1:50

Drawing Title:

**Landscape -  
Illustrative Street Sections**

DK Project No.: MCMP Project No.:

22081

222011

Sheet No.:



**CONSTRUCTION NOTES:**

- ① 200mm Ø COMBINED FIRE & DOMESTIC WATER SERVICE BY THE CITY OF VICTORIA AT THE DEVELOPER'S EXPENSE.
- ② DOMESTIC AND FIRE WATER VAULT AND METER ASSEMBLY PER CITY OF VICTORIA SD W21 AND SD W2F AND CAP AT PROPERTY LINE BY THE CITY OF VICTORIA AT THE DEVELOPER'S EXPENSE. REFER TO MECHANICAL DRAWINGS FOR CONTINUATION.
- ③ 200mm Ø PVC SANITARY SERVICE C/W INSPECTION CHAMBER AT PROPERTY LINE AND CONNECT TO EXISTING 200mm Ø SANITARY BY THE CITY OF VICTORIA AT THE DEVELOPER'S EXPENSE. REFER TO MECHANICAL DRAWINGS FOR CONTINUATION.
- ④ 200mm Ø PVC STORM SERVICE C/W INSPECTION CHAMBER AT PROPERTY LINE AND CONNECT TO EXISTING 200mm Ø STORM BY THE CITY OF VICTORIA AT THE DEVELOPER'S EXPENSE. REFER TO MECHANICAL DRAWINGS FOR CONTINUATION.
- ⑤ BC HYDRO OFF SITE SERVICE AND UNDERGROUND ROUTING ALONG MASON ST FRONTAGE TO BE CONFIRMED BY BC HYDRO. REFER TO ELECTRICAL FOR CONTINUATION.
- ⑥ PROTECT AND RETAIN EXISTING STREETLIGHT.
- ⑦ PROTECT AND RETAIN EXISTING TRAFFIC SIGNAL AND STREETLIGHT.
- ⑧ PROTECT AND RETAIN EXISTING ACTIVE FIBRE OPTICS COMMUNICATION INFRASTRUCTURE.
- ⑨ REMOVE EXISTING CURB, GUTTER AND SIDEWALK AND REPLACE WITH NEW CURB, GUTTER AND SIDEWALK TO CITY OF VICTORIA STANDARDS AND AS SHOWN ON THE LANDSCAPE DRAWINGS. FINAL EXTENTS OF REPLACEMENT TO BE DETERMINED.
- ⑩ REMOVE EXISTING CATCHBASIN AND INSTALL NEW CURB INLET CATCHBASIN AND 150mm CONNECTION TO EXISTING MAIN. CONNECTION TO EXISTING MAIN BY CITY OF VICTORIA AT DEVELOPER'S EXPENSE.
- ⑪ SOIL CELLS TO SERVE TREES ON QUADRA AND MASON STREETS. REFER TO LANDSCAPE DRAWINGS FOR DETAILS.
- ⑫ REMOVE AND REPLACE EXISTING DRIVEWAY WITH NON-MOUNTABLE CURB AND CONCRETE SIDEWALK. EXTENTS OF CURB AND SIDEWALK REPLACEMENT TO BE CONFIRMED.
- ⑬ INSTALL PAINT LINES TO EXTEND STREET PARKING TO EXISTING MEDIAN. SIGN AS SHORT TERM PASSENGER DROP OFF.
- ⑭ GAS SERVICE AND METER BY FORTIS GAS AT DEVELOPER'S EXPENSE. REFER TO MECHANICAL DRAWINGS FOR CONTINUATION.
- ⑮ CURB LETDOWN PER CITY OF VICTORIA SUPPLEMENTARY STD DWG CAMOD C/W TEXTILE TROWEL LINES
- ⑯ DRIVEWAY CROSSING AS PER CITY OF VICTORIA STD DWG C7A.
- ⑰ 25mmØ IRRIGATION WATER SERVICE TO SERVE NEW TREES ALONG QUADRA AND MASON STREETS BY CITY OF VICTORIA AT DEVELOPER'S EXPENSE. REFER TO LANDSCAPE DRAWINGS FOR IRRIGATION DETAILS.
- ⑱ 100mmØ SDR28 PVC IRRIGATION SLEEVE WITH 2 LONG SWEEP 45° BENDS. INSTALL AT 400mm DEPTH.
- ⑲ RETAIN AND PROTECT EXISTING MONUMENT.
- ⑳ REMOVE AND DISPOSE OF EXISTING MONUMENT. NEW MONUMENT TO BE INSTALLED BY THE CITY OF VICTORIA AT THE DEVELOPER'S EXPENSE.

**GENERAL NOTES:**

1. TELUS PROPOSED SERVICE ROUTING TO BE CONFIRMED BY TELUS.
2. SHAW PROPOSED SERVICE ROUTING TO BE CONFIRMED BY SHAW.
3. FORTIS PROPOSED SERVICE ROUTING TO BE CONFIRMED BY FORTIS.
4. IRRIGATION SERVICE AND METER BOX BY CITY OF VICTORIA AT THE DEVELOPER'S EXPENSE. LOCATION AND SIZE TO BE CONFIRMED BY CITY OF VICTORIA.
5. REFER TO LANDSCAPE FOR PLANTING DETAILS.
6. CUT, CAP AND ABANDON ALL REDUNDANT SEWER/STORMWATER SERVICES AT THE LIMIT OF EXCAVATION. COORDINATE WITH THE CITY OF VICTORIA AND RECORD THE LOCATION AND DEPTH OF ALL SERVICES.
7. TREES FOR REMOVAL MARKED WITH A RED "X"
8. PRIOR TO COMMENCEMENT OF EXCAVATION OR SOIL RELOCATION, CONTRACTORS SHALL BE REGISTERED UNDER BY-LAW 14-071 SCHEDULE G, CODE OF PRACTICE FOR CONSTRUCTION AND DEVELOPMENT ACTIVITIES. CONTACT ADAM STEELE, STORMWATER SPECIALIST, AT 250-361-0318 OR ASTEELE@VICTORIA.CA TO REGISTER.
9. A STREET OCCUPANCY PERMIT FROM TRANSPORTATION ENGINEERING WILL BE REQUIRED FOR WORK WITHIN THE ROADWAY.
10. ALL EXCAVATIONS WITHIN CRITICAL ROOT ZONES OF TREES TO BE RETAINED TO BE DONE UNDER THE SUPERVISION OF A CERTIFIED ARBORIST.

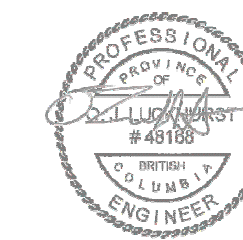
**PRELIMINARY**  
NOT TO BE USED FOR CONSTRUCTION

| 1. UPDATED TO CITY COMMENTS | KP | OL    | 23.05.19 |
|-----------------------------|----|-------|----------|
| Revision                    | By | Appd. | YY.MM.DD |

| FOR REZONING AND DP APPLICATION FOR INFORMATION | KP  | OL    | 23.03.24 |
|---|-----|-------|----------|
| Issued  | JPS | OL    | 23.01.16 |
|   | By  | Appd. | YY.MM.DD |

| File Name: | Dwn. | Chkd. | Dgn. | YY.MM.DD |
|------------|------|-------|------|----------|
|            |      |       |      |          |

Permit-Seal



2023-05-18  
**PERMIT TO PRACTICE #1002862**

Client/Project  
0822754 B.C. Ltd.

854-880 Pandora Avenue  
Victoria, BC

Title  
**PRELIMINARY SERVICING DESIGN**

| Project No. | Scale              |          |
|-------------|--------------------|----------|
| 111720169   | 0 2 6 10m<br>1:200 |          |
| Drawing No. | Sheet              | Revision |

C101 of

DRAWING PATH: \\ca0208-pc01\workgroup\111720169\_4\_drawing\_current\11720169\_4\_drawing\_21082023.dwg  
3:35 PM REFLECTANT

## **854 – 880 Pandora Avenue: Letter to Mayor & Council**

March 24, 2023

City of Victoria  
1 Centennial Square  
Victoria, BC V8W 1P6

### **RE: 854-880 Pandora Avenue, Development Permit & Rezoning Application**

Dear Mayor Alto, Council, and Staff,

Please accept this letter as an introduction to our proposal for 854–880 Pandora Avenue. Townline is pleased to present our proposal as an exciting new addition to the neighbourhood, bringing much-needed rental housing, sophisticated architecture, and a vibrant pedestrian realm to one of Victoria’s busiest and most underutilized corners. As we begin Townline’s third project on Pandora Avenue, we look forward to continuing our work of developing complete communities.

Our project seeks to redevelop the site as a mixed-use development in the form of a 14-storey building with 137 rental homes and approximately 7,388 sq. ft. (686 m<sup>2</sup>) of commercial space on the ground floor. The building is proposed as 100% purpose-built rental. As a part of the redevelopment process, we are requesting to amend the property from the current CA-1 designation to a new site-specific zoning.

### **Project Status**

Townline is submitting this application for Development Permit and Rezoning having completed the community review period. Townline and the North Park Neighbourhood Association CALUC hosted a community meeting on February 28<sup>th</sup>, at the community space at 1025 Mason Street. The meeting was both in-person and simulcast via Zoom, with 11 people attending in total. An additional 3 people have utilized the online feedback form on the City of Victoria’s development tracker.

Having taken time to digest the feedback received and refine our plans with the consultant team, we are now proud to submit for the next stage of the permitting process.

### **Site Location and History**

The area around Quadra Street and Pandora Avenue has historical significance to the city, being halfway between the activities and commerce of the Inner Harbour and Victoria’s earliest residential communities.

Over time, this geography evolved into modern transportation corridors, conveying residents to and from downtown first by horse and streetcar and now by busses, private vehicles, and walking and rolling routes. This tangential but inextricable relationship to city centre persists to this day, as the North Park motto “Edgy to the Core” attests.

Situated at the northwest corner of the intersection, 880 Pandora has been home to many uses over time. Photographs in the city archives show definitive evidence of a car wash and automotive dealership following an unidentifiable retail use prior to the 1950’s redevelopment of the lots. Today, the lots play host to two commercial buildings with a variety of tenants, most notably an auto repair shop on the corner lot. When viewed along with the other quadrants of this intersection, we can see that historically this corner has been a vibrant and connective location within the city but has since become more of a place to pass by than a place to linger. We aim to change that with this project.

The intersection of Quadra Street and Pandora Avenue functions as a gateway to downtown Victoria and a place of transition between dominant uses: religious and cultural structures along Quadra, government and office buildings to the west along Blanshard, and Harris Green Park leading up Pandora to the predominantly residential Fernwood and Rockland neighbourhoods. At 854-880 Pandora, we aim to honour the bustling, mixed-use character of this area while investing in quality design and materials to elevate the streetscape and provide the rental housing that will enable North Park to thrive long into the future.

## **Proposed Development**

The development, as conceived by Townline and our design team, is a 14-storey purpose built rental building that will provide 137 new homes for the neighbourhood. The site lies within the Core Area, as defined by the city’s OCP, which is planned to absorb 50% of the new residential units in the city between now and 2041. Currently, the site is host to two low-rise commercial buildings; as such, the development will not result in the displacement of any residential tenants.

As demonstrated by many studies and a multitude of research, including the Capital Regional District (CRD) Housing Needs Report, Victoria is urgently undersupplied with rental housing, and especially newer purpose-built-rental (PBR). Victoria is a city of renters, with nearly two-thirds of residents (61%) renting their home. When it comes to the inventory, there are only enough primary market rental units for 59% of these residents. Looking at recent trends paints an even bleaker picture: from 2006-2016, the number of renter households increased by 12% - but the number of rental homes over a slightly longer period, 2005-2019, grew only half as quickly.

Townline seeks to respond to the need for rental housing by providing a high-quality group of homes of varying sizes to cater to a diverse population of renters. The form of the building is a 3-storey podium with commercial space on the ground floor wrapping from Quadra Street to the west along Pandora, a residential lobby entrance at the quieter northeast corner at Mason and Quadra, and ground-oriented

townhouses along Mason Street, topped by a further 10 storeys of apartments with a top floor amenity space and patio.

Currently, the residential unit mix includes a diverse mix of rental housing units, from studios to 3-bedroom units, including over 33% family-sized units with 2 or more bedrooms.

The site is bounded by residential use to the north and commercial or institutional uses to the west, south, and east. We aim to respond to these conditions by providing a strong and consistent street frontage that echoes the traditional forms, materials, and massing of the neighbourhood, along with a contemporary tower designed to maximize quality living space and views for the future residents.

## Planning Context

The subject site is currently zoned CA-1 (Pandora Avenue Special Commercial District). This zoning allows for mixed use buildings, as does the Official Community Plan (OCP) designation of Core Residential. We aim to conform to the OCP designated maximum of 4.5 FSR, but will be seeking a rezoning to a site-specific zone to achieve the FSR and height outlined in the OCP and the North Park Neighbourhood Plan. The application is also seeking to include a variance in residential parking supply as well as to combine the total allocation for commercial and residential visitor parking.

As a part of the Core Residential designation in the OCP, this land is intended to play host to “multi-unit residential, commercial, and mixed-use buildings up to approximately 20 storeys”. The broader Urban Core as a whole, of which the site is a part, “consists of the highest density and greatest mix of uses in the city” according to the OCP. In addition to being the traditional population, economic, and cultural hub of the region, this area is cited as being served by ample transportation infrastructure, making it an especially ideal location for this kind of density.

Within the Downtown Core Area Plan, the site is included in the Residential Mixed Use District (RMD). The RMD includes most of the residential land base in the Plan, and is envisioned as absorbing the majority of downtown’s population growth. Key objectives for the RMD include encouraging multi-residential development and complete communities, while providing active street-level businesses to increase pedestrian activity.

## Area Context & Design Guidelines

854 and 880 Pandora are surrounded by typical urban conditions found throughout the southern extents of North Park. In this area the city transitions from primarily residential land use to Victoria’s downtown core with a diverse mixture of building uses, heights, and ages. Commercial and Institutional uses line Pandora Ave with a scale that increases to the west approach to downtown. North Park’s varied character is exemplified on Mason Street side to the north, with a mix of uses residing within older character homes

along Amelia. This built form supports North Park's neighbourhood identity as a vibrant, diverse, and inclusive community that is proximate to but distinct from downtown Victoria.

The Downtown Core Area (DCAP) Design Guidelines and the Design and Built Form Intent from the North Park Neighbourhood Plan have all been taken into account in the planning process for the building. The podium level step-back has been designed to conform to relate to the street and present a human-scaled building face while preserving sunlight and creating a sense of enclosure, as intended by Section 2 of the DCAP Design Guidelines. Sidewalk width, streetscape, weather protection in the pedestrian realm, CPTED, and animation are other principles from the DCAP given high priority within the design. Key priorities of the North Park Neighbourhood Plan which have been included in the project framework are:

- Making room for housing
- Supporting green, leafy streets
- Recognizing Quadra as Cultural Corridor
- Creating lively public spaces
- Recognizing North Park as a unique area that is distinct from downtown

The lot size of the proposed development coupled with the proposed building massing allows for the redevelopment of the neighbouring lot to the west with accepted tower spacing. Tower massing and placement has been carefully planned to consider the surrounding heritage buildings in the neighbourhood.

On the ground plane, building to street interface has been carefully considered to achieve a high proportion of glazing at grade and recessed main entrances for both commercial and residential uses that are emphasized through materials and form. There are no blank walls at street level, and the sidewalk treatment, including both paving, signage, and street furniture, conforms to the New Town Streetscape Standard detailed in the Downtown Public Realm Plan & Streetscape Standards document.

## **Building Design**

### **Site and Massing Design**

The building's massing and site design is informed by unique context and adherence to DCAP guidelines. A 14 storey tower form is set back from a 3 storey podium with varied programming in response to street frontage. The podium form provides both streetwall enclosure and vibrance to the public realm on all three sides of the site. At grade retail CRU's form a continuous frontage facing Pandora and Quadra. Above, residential units on levels two and three provide eyes on the street and further animation. Facing Mason Street, two storey townhomes provide a use that is appropriate for the existing scale and character. Building access for parking and service is off the north west corner fronting Mason Street. The podium roof contains active amenities such as urban agriculture, kids play, and dog run that will receive afternoon sun. Tower height, placement, and podium massing all follow DCAP "Tall Buildings" guidelines.

### **Building Expression and Identity**

Victoria is rich with cultural and architectural history dating back to the mid 1800s when it was British Columbia's main trading hub, and the surrounding context of the site mirrors this rich architectural history. Within one block along Quadra there are three historic neo-gothic churches; just north of the site on Mason is a Greek revivalist building; and the modernist Richard Blanchard BC Health building stands at the corner of Pandora and Blanshard. The history is augmented by North Park's diverse and vibrant character supported by the Quadra Street Cultural Corridor. The concept for the building design is to reflect these contextual conditions through the building's program, materiality, and façade expression.

Arched and circular windows found on adjacent buildings inspired the use of arched forms on the building both at grade on the podium and on the rooftop. This expression creates a historical reference that is also unexpected and playful, as a nod to the cultural vibrant and open character of the North Park neighbourhood. The building is respectful and considerate, but not boring.

Many surrounding buildings have facades that have vertically organizing features, so this too was a principle that informed the vertical brick "frame" of the podium. Brick has been chosen for the podium cladding as this is the prevailing contextual material. The lighter, warm toned brick has been enlivened with subtle contemporary detailing throughout the base. The tower is clad in glazing and a dark opaque coloured metal panel with a simplified expression to place more importance on the ground plane and podium of the building. Small variations in colour and depths of metal panel create subtle variation within the tower façade.

Overall, the building's goals are to respect the historic character of the neighbourhood and bring with it a contemporary and inviting design.

### **Safety & Security**

The Pandora Corridor is an area with a significant marginalized and vulnerable population today. Revitalizing the neighbourhood with a new building that contributes to providing access to housing is an important contribution to recognize. The proposed building has a significant ground plane component that was informed by CPTED principles. Care was taken so that all frontages of the building are activated to provide more "eyes on the street" as well as flush building faces to minimise concealed spaces. Additional maintained landscaping and increased lighting will be introduced to all frontages to guide the public as well as increase the security of the area.

### **Transportation**

The project is located at a key node within the City of Victoria's road network, with Quadra Street connecting from BC Highway 17 to the north and Beacon Hill Park to the South, and Pandora Avenue

connecting the downtown core to Oak Bay in the east. Pandora also features a two-way separated All Ages and Abilities (AAA) bicycle lane on the north side of the street directly adjacent to the site, connecting to all of Victoria's active transportation network as well as on to the E&N Rail Trail via Johnson Street Bridge. This direct access to these networks will facilitate a car-free or car-lite lifestyle and extensive use of active transportation for residents. Most day-to-day needs can be met on foot: according to Walk Score, the site scores a 96 out of 100, classifying as a "Walker's Paradise".

Additionally, the many BC Transit bus stops within a short walk of the site provide service on 8 bus lines allowing for rapid access to downtown, key regional shopping destinations, and higher education institutions. Specifically, the site is less than 400m away from the Douglas Street Rapid Transit Corridor and directly situated along route 6, which runs north-south along Quadra, and the 2, 5, and 28 routes running east-west along Pandora. Buses along these routes are designed to accommodate wheelchairs, strollers, and mobility aides, further broadening their accessibility and appeal.

95 Vehicle parking stalls will be provided, all of which will be EV-ready. This represents a variance of 16 stalls compared to the required 111. In addition to the aforementioned built-in qualities that will reduce car dependency and justify this variance, we are proposing a number of TDM measures focusing on encouraging active transportation: we plan to provide 160 long-term bicycle parking stalls for residents and on-site workers housed in secure bike rooms with amenities such as a bike wash and repair station, including spaces for 4 cargo bikes. All bicycle rooms will provide access to e-bike charging.

Overall, this site offers a compelling opportunity for new rental housing that facilitates the type of urban, sustainable transportation habits envisioned by the City of Victoria.

## **Sustainability**

The policies guiding this project, including the City of Victoria's own OCP, Neighbourhood Plans, active transportation network, in addition to Townline's goals of producing sustainable and enduring rental homes in a central location, are all key to building a greener city.

Research is increasingly showing that densification, particularly in existing urban centres, is a crucial component of our path towards development patterns that blunt the worst impacts of climate change and habitat loss. In addition to more efficient use of land, allowing for greater retention and expansion of existing green space and wild areas, this type of mixed-use development along active transportation and transit corridors contributes greatly to the reduction of personal vehicles on our roads, with a corresponding decrease in greenhouse gasses.

The building itself is being designed to meet Step 2 of the BC Building Code as City of Victoria Step Code Adoption Schedule, defined as a 20% increase in total building efficiency compared to the baseline BC Building Code. Low-carbon building systems proposed include LED lights in all common areas connected to motion-activated switches, induction cooktops for suite kitchens, in-suite high-efficiency air

conditioner/heat pump units, low-flow faucets, and green waste disposal for urban agriculture. The simplified building design is planned to minimize heat loss, with passive heating and cooling through operable windows and lower window to wall ratio to increase insulated area, and prioritizes the use of durable building materials such as masonry to reduce waste. An energy modeller will be engaged throughout the project to ensure we are achieving our energy efficiency goals.

On and around the site, we are planning to make a positive contribution to the urban forest, with a net increase of 3 trees. Proposed street trees on Mason and Quadra and retained street trees on Pandora will combat the urban heat island effect and add valuable green space within North Park. Urban agriculture plots on the level 3 podium provide ample planted area to encourage food production and education, and hanging and climbing greenery along the outdoor corridors on the 2<sup>nd</sup> and 3<sup>rd</sup> floors will give shade and further contribute to a biophilic tenant experience. As a whole, the site is being planned to limit stormwater runoff and increase filtration. Additionally, the landscape treatment planned for both on site and in the public realm will feature native and drought resistant planting which will contribute to increased biomass and biodiversity in the area by providing habitats for birds and insects.

In these ways, 854-880 Pandora will contribute both as an individual building and as a driving component of the broader urban system, helping to power a positive feedback loop of more sustainable building and lifestyles.

## **Project Benefits and Amenities**

This project will address an urgent need for rental housing in Victoria and further the goals of the city as laid out in the Housing Strategy Phase 1 and 2, Go Victoria Mobility Plan, and dozens of action items on the 2019-2022 Strategic Plan. Townline strives to make lasting positive contributions to every community in which we work. We see this project as adding to the sense of genuine community in the North Park and adjacent neighbourhoods by introducing new neighbours and businesses, and architectural and landscape design that prioritizes the public realm and the pedestrian experience. The project benefits can be summed up as:

- 137 secure rental homes, including 2- and 3- bedroom homes suitable for families and ground orientated townhome units along Mason Street.
- Rental housing secured for the life of the building
- Ample private and shared amenity space, both outdoor and indoor
- Vastly improved public realm, with planting along Mason Street, new street trees along Quadra Street, and new planting and tree retention along Pandora Avenue. We are also proposing street furniture and enhanced hardscape to provide opportunities for socializing and to give pedestrians a place to rest
- Architectural design sympathetic to the local context, with nods to surrounding forms and materials from all eras of the evolution of the area



- Ground-oriented townhomes along Mason Street contribute to the residential character and transition gracefully to low-rise area to west
- Generous bike parking and facilities, to encourage tenants to take advantage of the excellent infrastructure at their front door
- Contributing to the goals of a more sustainable city by adding homes in a place that makes it easy to use active or public transportation, and thereby reducing the need to own or use a private vehicle
- Adding destination retail space to a street that has seen a loss of active commercial space in recent years
- Increased employment opportunities in North Park

## Summary

The development as proposed will provide urgently-needed rental homes in a high-quality and sustainably designed building without displacing any residential tenants. With a vacancy rate that has remained at less than 1% as per the CMHC's Rental Market Report, Victoria needs more housing in all neighbourhoods to ensure the continued viability of local institutions and businesses, as well as to maintain the vibrant cultural life that makes it special. Moreover, Townline believes North Park is as integral to the future of Victoria as it has been to its past.

854-880 Pandora Avenue will help to further the City's sustainability and climate change goals while offering the kind of flexible, comfortable living desired by modern urban dwellers who wish to achieve most of their mobility needs by walking, rolling, and taking the bus. Situated as it is, this development will increase the viability of transit and future investments in active transportation, while also ensuring economic and social vitality for the next generation.

This redevelopment will contribute to helping people stay in Victoria while forming an important part of the housing continuum, and we look forward to further collaboration with city staff and the community in order to make this a successful project. Thank you for considering our application.

Sincerely,



Devin Spence  
Development Manager, Townline