



Advisory Design Panel Report For the Meeting of February 28, 2024

To: Advisory Design Panel **Date:** February 9, 2024
From: Chelsea Medd, Planner
Subject: **Development Permit with Variance No. 00252 for 2002 Richmond Road, 1909 Birch Street, and 1769 Pembroke Street**

EXECUTIVE SUMMARY

The Advisory Design Panel (ADP) is requested to review a Development Permit with Variances Application for 2002 Richmond Road, 1909 Birch Street, and 1769 Pembroke Street and provide advice to Council.

The proposal is to construct a seven-storey (six-storey with rooftop access) mixed-use building with approximately 55 units of rental housing and commercial on the ground floor. The proposed density is 2.95:1 floor space ratio (FSR). The proposal also includes a partial closure of the southern portion of Birch Street to create a public plaza. The proposed plaza concept design is still in progress and subject to Council direction. The proposal requires Rezoning and Development Permit with Variances applications.

The property is within Development Permit Area 5: Large Urban Village. The following policy documents were considered in assessing the application:

- *Official Community Plan (OCP, 2012)*
- *Jubilee Neighbourhood Plan (1996)*
- *Design Guidelines for: Multi-Unit Residential, Commercial and Industrial (2012), revised 2019*
- *Guidelines for Fences, Gates and Shutters (2010).*

The proposal is generally consistent with the applicable design guidelines; however, staff are looking for commentary from the Advisory Design Panel regarding:

- building massing
- prominence of the residential entry
- any other aspects of the proposal on which the ADP chooses to comment.

The Options section of this report provides guidance on possible recommendations that the Panel may make, or use as a basis to modify, in providing advice on this application.

BACKGROUND

Applicant:	Mr. Karl Robertson Empresa Properties
Architect:	Mr. Greg Damant, Architect AIBC Cascadia Architects Inc.
Development Permit Area:	Development Permit Area 5, Large Urban Village
Heritage Status:	None

Description of Proposal

The proposal is to construct a seven-storey (six-storey with rooftop access) mixed use rental building with commercial at the ground floor and residential above. The applicant is also proposing a plaza on Birch Street in partnership with the City of Victoria.

The proposal includes the following major design components:

- 55 residential rental units and three commercial units
- a “flat iron” inspired design on the corner of Richmond Road and Fort Street
- recessed ground floor with each floor above fanning out on the east elevation, and a recess and fan design repeated on a portion of the west elevation
- commercial unit entries fronting Richmond Road, the corner, and Birch Street, while the residential entry is located on Birch Street
- residential units have recessed balconies or Juliet balconies, and access to a shared rooftop amenity space
- short-term bike parking near entries, and long-term bike parking next to the residential entry, with additional bike parking in the basement level.

Exterior building materials include:

- metal panel with dark and light variations
- wood detailing around the commercial and residential entries
- cementitious panel
- cast in place architectural concrete
- black glazed tile at the ground level to reflect the original Turner Building
- dark red textured metal soffits
- metal picket railing for balconies.

Landscaping elements include:

- a combination of seating and planters at ground level
- rooftop patio amenity space with planters, seating and garden beds
- stamped permeable concrete for surface parking and concrete unit pavers for walkways
- a plaza on the south end of Birch Street is proposed in partnership with the City of Victoria, and subject to Council direction. Preliminary plaza design includes a feature tree on the corner, large species trees within the plaza, bench seating, open space for programming and emergency access.

The following data table compares the proposal with the existing C-1 Zone, Limited Commercial District. An asterisk is used to identify where the proposal is less stringent than the existing Zone. Additionally, the key City policy that pertains to the area has been included in this table.

Zoning Criteria	Proposal	Zone Standard (C-1)	OCP Policy (Urban Residential)
Site area (m ²) – minimum	1493.30	n/a	n/a
Density (Floor Space Ratio) – maximum	2.72*	1.40	2.0
Total floor area (m ²) – maximum	4316.60	n/a	n/a
Height (m) – maximum	24.09*	12.00	n/a
Storeys – maximum	7 6 with rooftop access	n/a	3 to 6
Site coverage (%) – maximum	61.23 (tbd)	n/a	n/a
Open site space (%) – minimum	8.58	n/a	n/a
Setbacks (m) – minimum			
Front (Birch Street)	0* (Upper Stories) 0.998* (1st Storey)	11.90	n/a
Flanking Street (Richmond Road)	0*	2.40	n/a
Side (W)	0.59* (tbd)	0 when adjoining commercial 5.95 when adjoining residential	n/a
Side (NE)	0.18 (tbd)	0 when adjoining commercial 5.95 when adjoining residential	n/a

Zoning Criteria	Proposal	Zone Standard (C-1)	OCP Policy (Urban Residential)
Vehicle parking – minimum	13* (including car share) 1* – visitor	56 - resident 24 - commercial 6 - visitor 86 – total (tbd)	n/a
Accessible Parking Stalls - minimum	1* - accessible 1* – van accessible	3 accessible 1 van accessible 1 visitor van accessible	n/a
Bicycle parking stalls – minimum			
Short Term	10	10	n/a
Long Term	116	67	n/a

Sustainability Features

The applicant has outlined the following sustainability features, which can be read in more detail in the letter to Council attached:

- Step 3 of the BC Energy Step Code
- encouraging active transportation options by being located on bike lanes and major bus routes, as well as, providing long term bike storage, a wash station, repair stand, and access to electrical charging
- on site car share vehicle
- high-efficiency LED lighting throughout common areas.
- heat recovery ventilation units
- rooftop garden beds.

Consistency with Policies and Design Guidelines

Official Community Plan

The subject site is designated Urban Residential in the *Official Community Plan*, which envisions low and mid-rise buildings up to approximately six-storeys and an FSR of up to 1.2:1. Increased densities up to 2:1 FSR are considered in locations that support the growth management concept in the plan, such as in proximity to Urban Villages, Town Centres and Transit Priority Corridors, where public benefit is provided consistent with the objectives of the OCP and other City policies, including local area plans (max of approximately 2:1 FSR). The properties are adjacent to the Jubilee Large Urban Village, which envisions four to six-storeys and an FSR of 1.5:1, and increased density when there is a public benefit, a density of up to approximately 2.5:1 FSR. Fort Street and Richmond Road are also Transit Priority Corridors in the OCP. Additionally, purpose built rental units support the advancement of OCP housing objectives. The applicant is also proposing a public plaza that would be cost-shared with the city, subject to Council direction.

Jubilee Neighbourhood Plan

Policies in the *Jubilee Neighbourhood Plan* (1996) encourage that developments:

- respect the character of existing neighbourhood and street variety through the scale and form of housing
- respect the balance between adequate parking and green space
- have sufficient parking to meet the project needs
- consider non-profit and rental housing
- fit with the form and character of established housing through the massing, scale, and architectural detailing of the new building
- are designed to build a sense of community, with community space, and outdoor space
- not orphan lots.

The site is constrained due to the geometry of the lots and block itself. Ideally, the two lots on the north side (1761 Pembroke Street and 1911 Birch Street) would be included as part of the lot assembly, however, the applicant has indicated that is not feasible at this time. However, the proposed parking is sited to the north 'panhandle' allowing the open space to be adjacent to the two lots, providing a more sensitive transition to the single-family dwellings and providing the option to develop this corner of the block in the future.

A parking variance is associated with this proposal; however, to help mitigate the impact of reduced on-site parking, the applicant proposes a variety of transportation demand management measures, such as car share memberships with credits, a car share vehicle and enhanced bike parking. The site is also in a walkable location next to a large urban village along major bus and bike routes. Therefore, the application is considered generally consistent with the neighborhood plan.

Development Permit Area and Design Guidelines

The site is located within Development Permit Area 5: Large Urban Village, therefore, the DPA objectives that are relevant to this proposal are:

- to accommodate a mix of commercial and community services
- revitalize areas into complete large urban villages through human scale design, streets, squares, and other spaces to increase vibrancy and strengthen commercial viability
- achieve high quality architecture and urban design
- establish gateways and a unique sense of place
- encourage cycling and pedestrian modes
- ensure a sensitive transition between Royal Jubilee Hospital and adjacent residential uses.

The following design guidelines that apply to DPA 5: Large Urban Village are:

- *Guidelines for Fences, Gates and Shutters (2010)*
- *Design Guidelines for: Multi-Unit Residential, Commercial and Industrial (2012), revised 2019*
- where not specified by additional design guidelines, buildings are encouraged to have three to five-storey facades that define the street wall with shop windows and building entrances that are oriented to face the street.

Although generally consistent with the above guidelines, staff would like the ADP's comment on certain aspects of the application as noted in the following section.

ISSUES AND ANALYSIS

The following sections identify and provide a brief analysis of the areas where the Panel is requested to provide commentary. The Panel's commentary on any other aspects of the proposal is also welcome.

Building Massing Expression

The guidelines in DPA 5: Large Urban Village recommend street walls that have a three to five-storey street façade. The *Design Guidelines for Multi-Unit Residential, Commercial and Industrial* encourage distinctive building massing, articulation and architectural treatments for corner sites, where they are highly visible and terminate at a street corridor. The proposed six-storey massing provides a unique response to the site geometry and constrained site area by concentrating the building on the southern portion of the site with a distinctive rounded bullnose at the corner. The proposed ground floor has a similar setback to the adjacent property to the north. The upper stories, level two through six, project out towards Richmond Road in a fan shape that converges into one plane to create a six-storey flat iron building at the corner of Richmond Road and Birch Street. On Birch Street, the elevation has a smaller repeat of that overhanging fan near the residential entry. The variations in materials and fins also break up the elevations.

The impact of this architectural form and fan extending over the statutory right of way and road dedication also has an impact on other City objectives around the public realm, such as providing street trees and boulevards. There would need to be some compromises made regarding tree species, and the ability to provide medium size tree species, where the preference is large species, but generally it meets these policies, and staff will be working with the applicant on the frontage works.

The proposals fan shape and flat iron corner create an interesting architectural landmark for the area; however, Planning staff would appreciate ADP comments on this massing approach, particularly the fan shape.



Figure 1: Street level view from Richmond Road looking north



Figure 2: Street level view from Richmond Road looking south

Residential Entry

The design guidelines encourage street walls with visual interest to facilitate browsing, outdoor cafes and seating, as well as extensive glazing to encourage interaction between pedestrians and ground floor uses. The proposal meets this policy by incorporating building modulations at the ground level and extensive glazing for the commercial units.

Further, the design guidelines encourage distinctive residential entries that are differentiated from commercial entrances. The proposed residential entry is recessed from the building face, adjacent to a break in the Birch Street façade, which also incorporates a fanned articulation of the upper storeys similar to the Richmond Road façade. The residential entry is also surrounded in a wood accent material which contrasts with the rest of the ground floor façade materials.

Staff invite comments from the ADP on the residential entry.

OPTIONS

The following are three potential options that the Panel may consider using or modifying in formulating a recommendation to Council:

Option One

That the Advisory Design Panel recommend to Council that Development Permit with Variances Application No. 00252 be approved as presented.

Option Two

That the Advisory Design Panel recommend to Council that Development Permit with Variances Application No. 00252 be approved with the following changes:

- as listed by the ADP.

Option Three

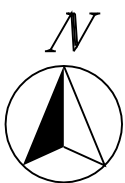
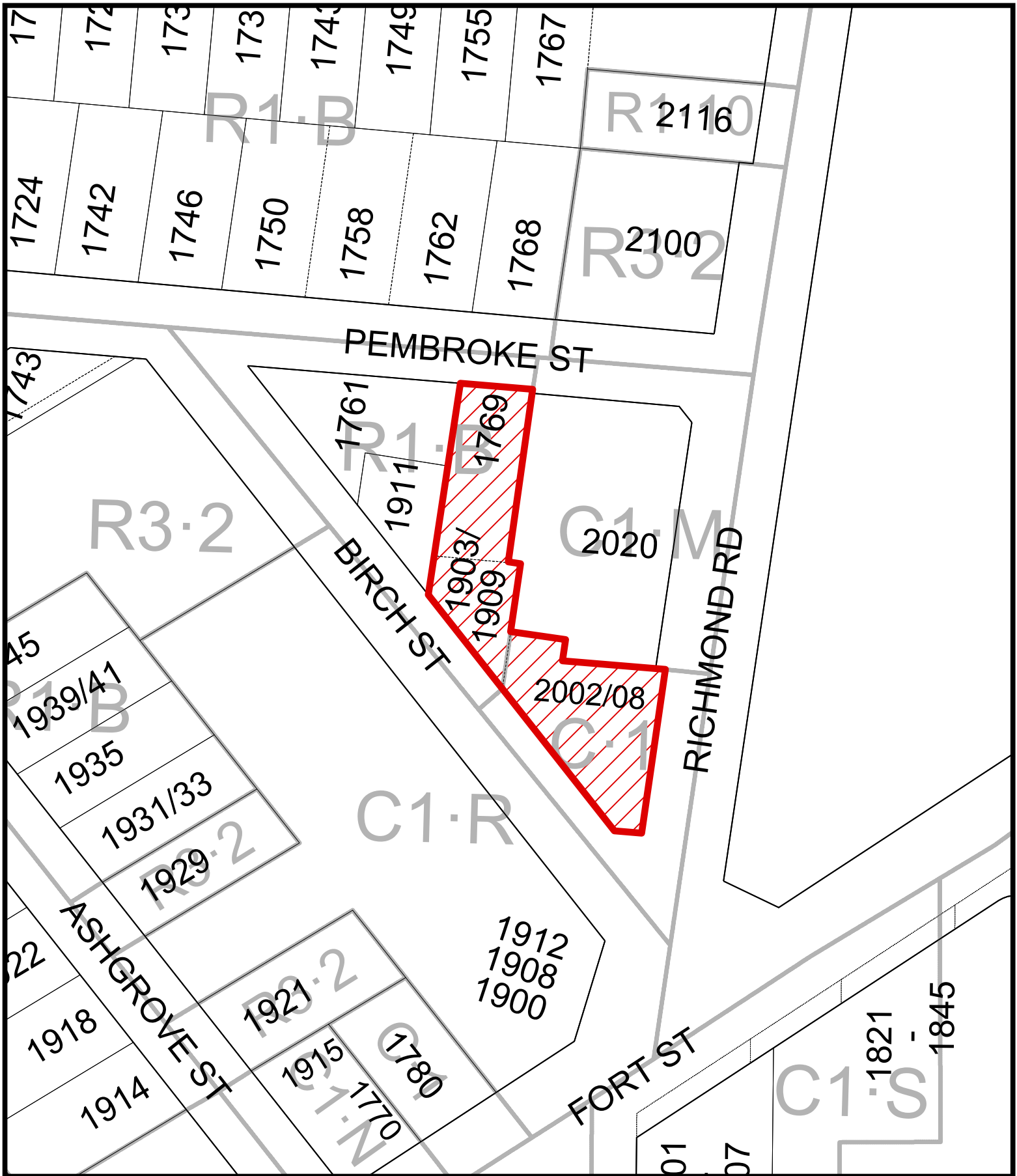
That the Advisory Design Panel recommend to Council that Development Permit with Variances Application No. 00252 does not sufficiently meet the applicable design guidelines and polices and should be declined (and that the key areas that should be revised include:)

- as listed by the ADP, if there is further advice on how the application could be improved.

ATTACHMENTS

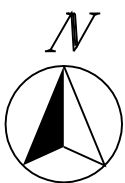
- Subject Map
- Aerial Map
- Plans date stamped February 14, 2024
- Applicant's letter dated February 14, 2024.

cc: Karl Robertson, Empresa Properties; Greg Damant, Cascadia Architects



2002 Richmond Road, 1909 Birch Street, and
 1769 Pembroke Street
 Rezoning No.00862





2002 Richmond Road, 1909 Birch Street, and
1769 Pembroke Street
Rezoning No.00862





PROJECT LOCATION (NTS)

PROJECT CONTACTS

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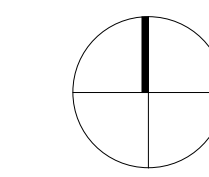
Contact: Ross Tuck, P.Eng
rtuck@jeanderson.com



PROJECT LOCATION (NTS)

Revisions

Received Date:
September 22, 2023



SHEET LIST

Architectural

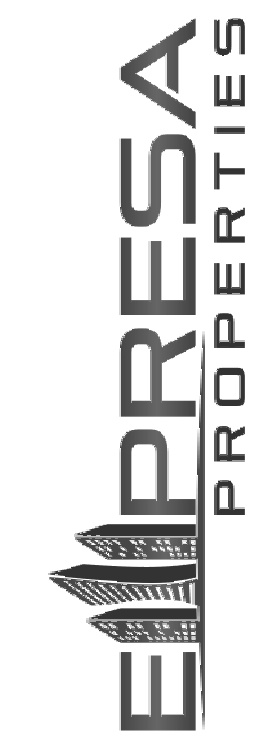
- A000 Cover
- A010 Renderings / 3D Drawings
- A011 Renderings / 3D Drawings
- A012 Street Elevation & Section
- A013 Site Strategy
- A014 Massing Diagram
- A050 Code Data
- A051 Spatial Separation
- A100 Survey
- A101 Site Plan & Project Data
- A120 Basement Level
- A121 Level 1
- A122 Level 2
- A123 Level 3
- A124 Level 4
- A125 Level 5
- A126 Level 6
- A127 Roof Level
- A200 Elevations
- A201 Elevations
- A300 Building Sections
- A900 Shadow Study

Landscape

- L0.00 Cover Page
- L0.01 Tree Management Plan
- L0.02 Tree Management Plan
- L1.01 Material Plan - Level 1
- L1.02 Material Plan - Rooftop
- L2.00 Planting Schedule - Level 1
- L2.01 Tree Planting Plan - Level 1
- L2.02 Planting Plan - Level 1
- L2.03 Tree Planting Plan - Rooftop
- L2.04 Planting Plan - Rooftop
- L3.01 Soil Depth Plan - Level 1
- L3.02 Soil Depth Plan - Rooftop
- L4.01 Sections
- L5.01 Details

Civil

- C01 Preliminary Servicing Plan

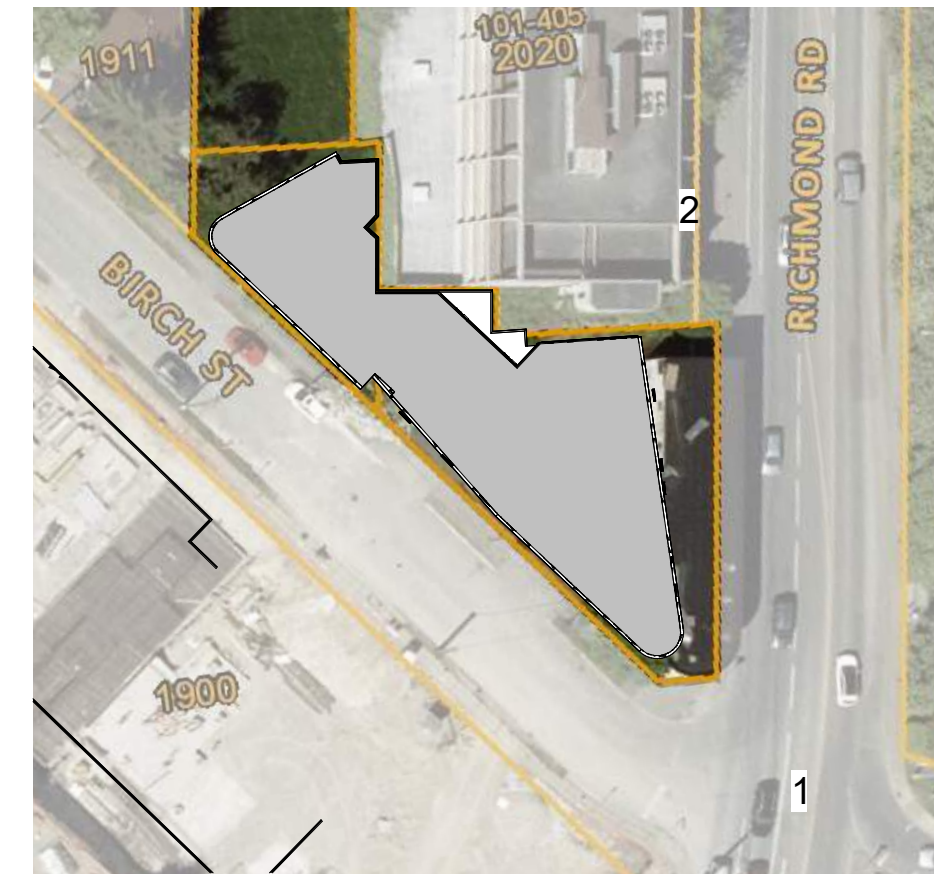


EMPRESA PROPERTIES
 2002 Richmond Rd, Victoria, BC
TURNER SITE
 October 12, 2023

Date	October 12, 2023	Revision	2
Project #	2305	Sheet #	A000



CASCADIA ARCHITECTS INC
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Renderings Revised

1 Street Level View from South on Richmond
SCALE = 1 : 1

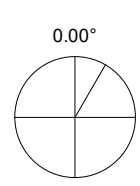
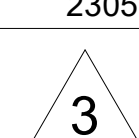
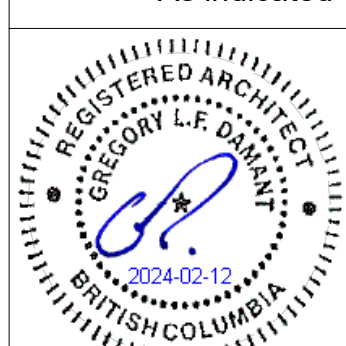
2 Street Level View from North on Richmond
SCALE = 1 : 1

NO.	DESCRIPTION	DATE
3	DP Rezoning Resubmission	2024.02.09
2	DP Rezoning Submission	2023.10.12
1	Development Tracker	2023.08.04



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 Project North		TURNER SITE EMPRESA PROPERTIES 2002 Richmond Rd, Victoria, BC
Sheet Name Renderings / 3D Drawings		
Date 2024-02-12 12:52:36 PM		
Scale As indicated	Project # 2305	Revision 2024.02.09 
		Sheet # A010



1 **Birch-North Corner View**
SCALE = 1 : 1



Renderings Revised



2 **Birch Street Residential Entry**
SCALE = 1 : 1

NO.	DESCRIPTION	DATE
3	DP Rezoning Resubmission	2024.02.09
2	DP Rezoning Submission	2023.10.12
1	Development Tracker	2023.08.04



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TURNER SITE

EMPRESA PROPERTIES
2002 Richmond Rd, Victoria, BC

Sheet Name
Renderings / 3D Drawings

Date
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Scale
As indicated

Project #
2305

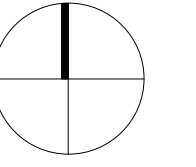
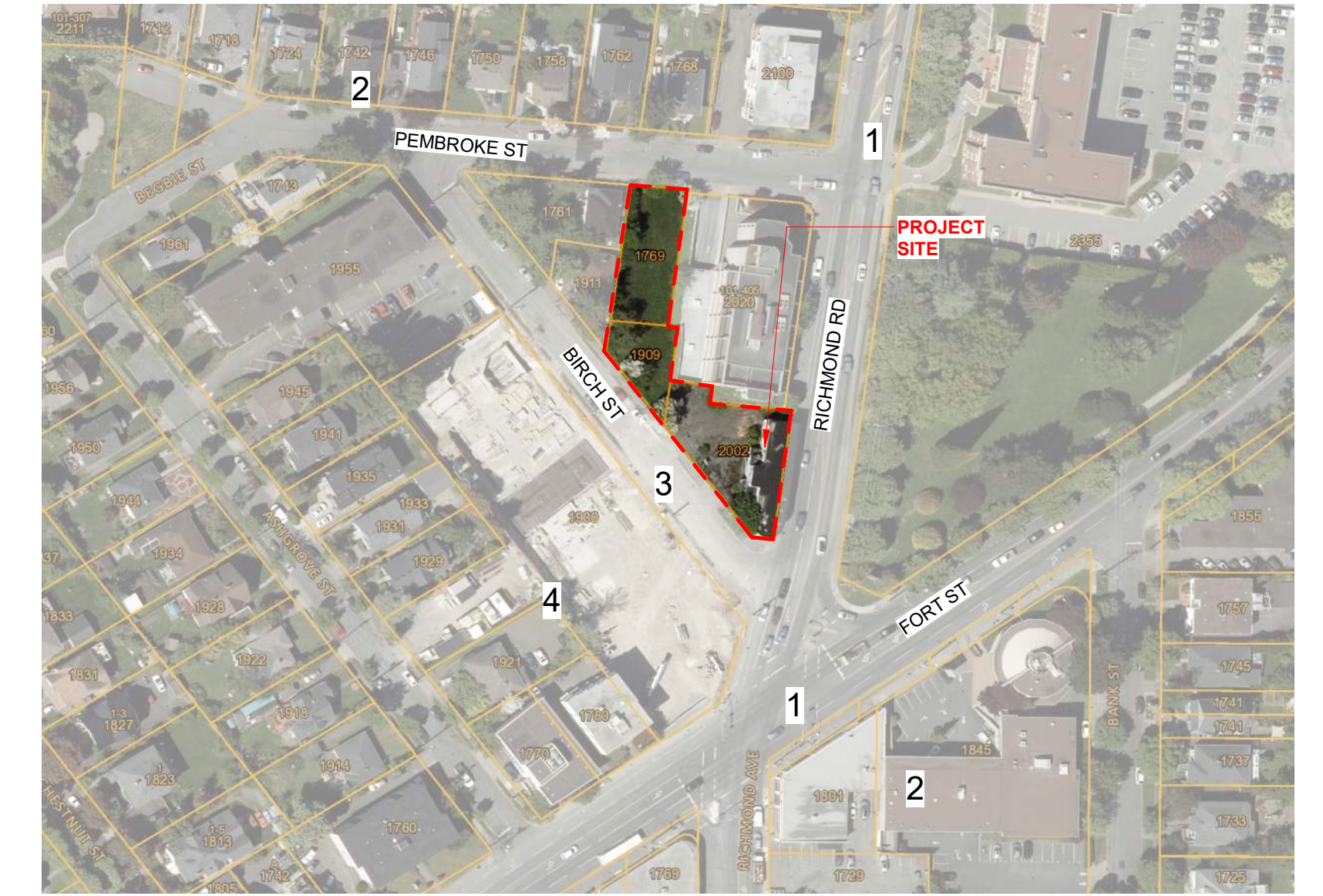
Revision
2024.02.09

Sheet #
A011

0.00"
Project North



1 Birch Street Elevation - Context
SCALE = 1 : 200



2 Richmond Context Building Elevations
SCALE = 1 : 200



3 Context Section through birch street
SCALE = 1 : 200



4 Context Section through richmond road
SCALE = 1 : 200

NO.	DESCRIPTION	DATE
3	DP Rezoning Resubmission	2024.02.09
2	DP Rezoning Submission	2023.10.12
1	Development Tracker	2023.08.04



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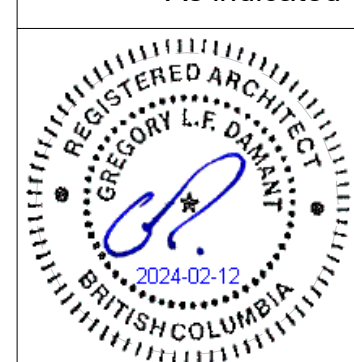
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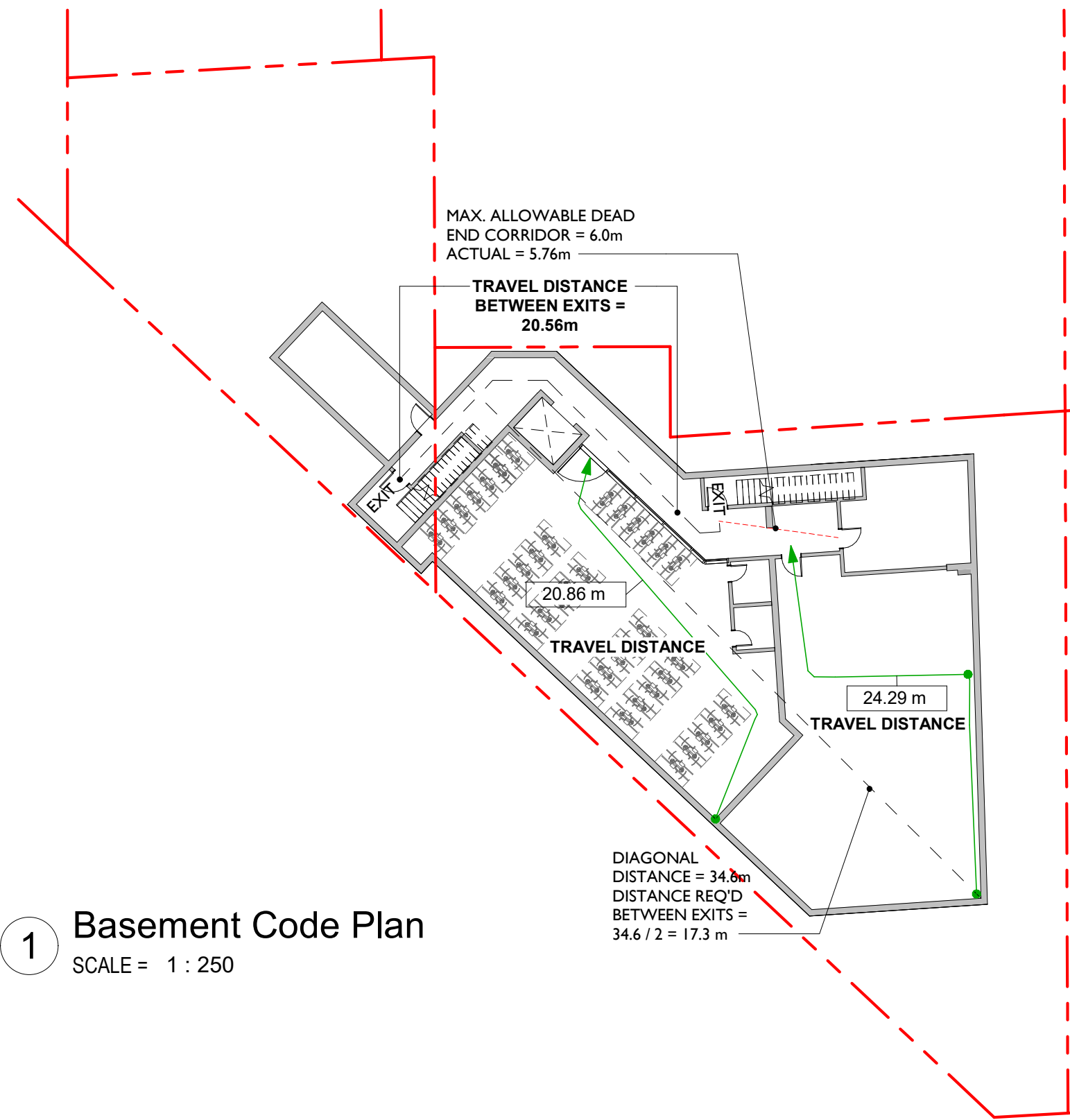
TURNER SITE

EMPRESA PROPERTIES
2002 Richmond Rd, Victoria, BC

Sheet Name
Street Elevation & Section

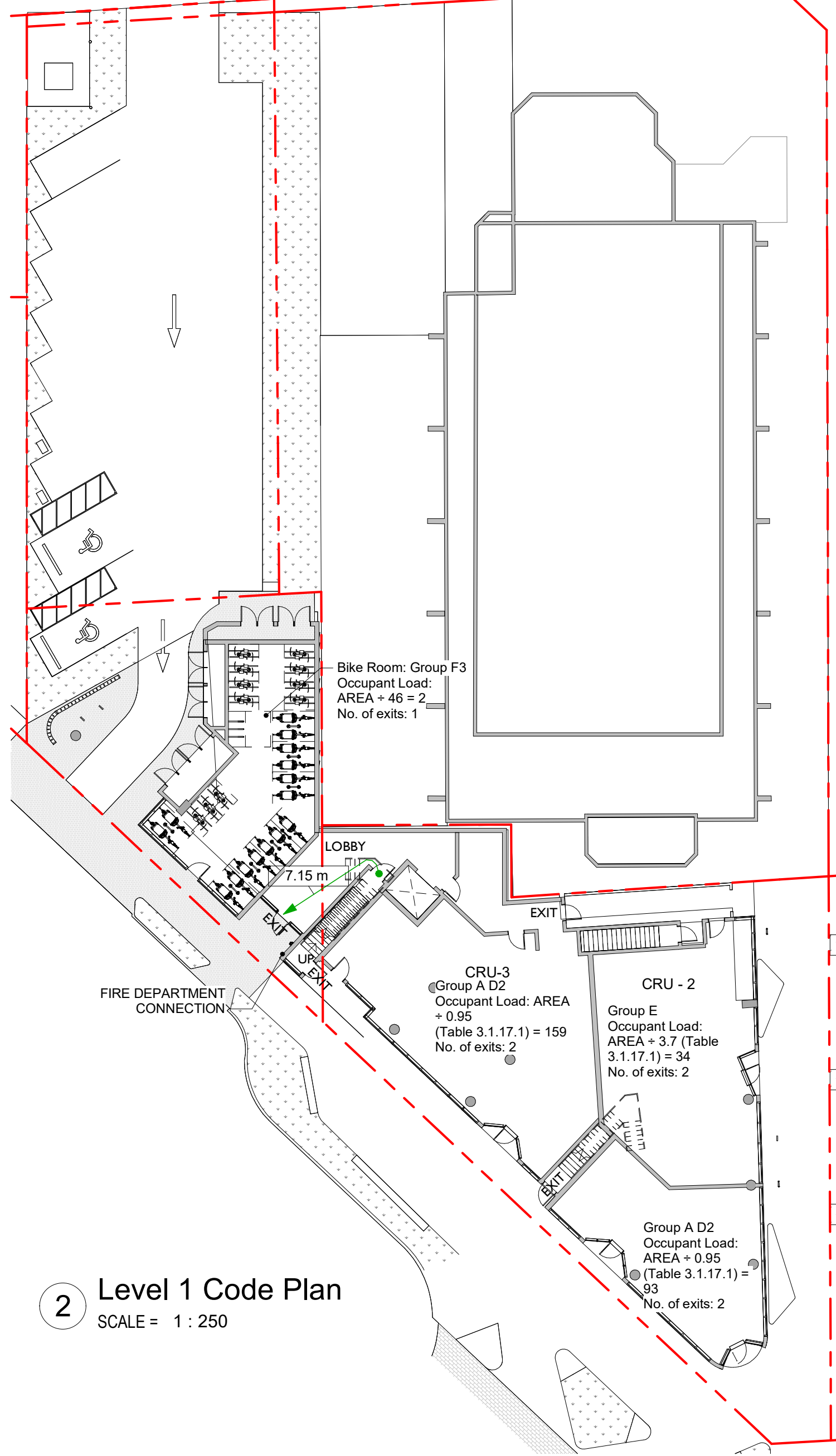
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	Revision	3
	2024.02.09	
	Sheet #	A012





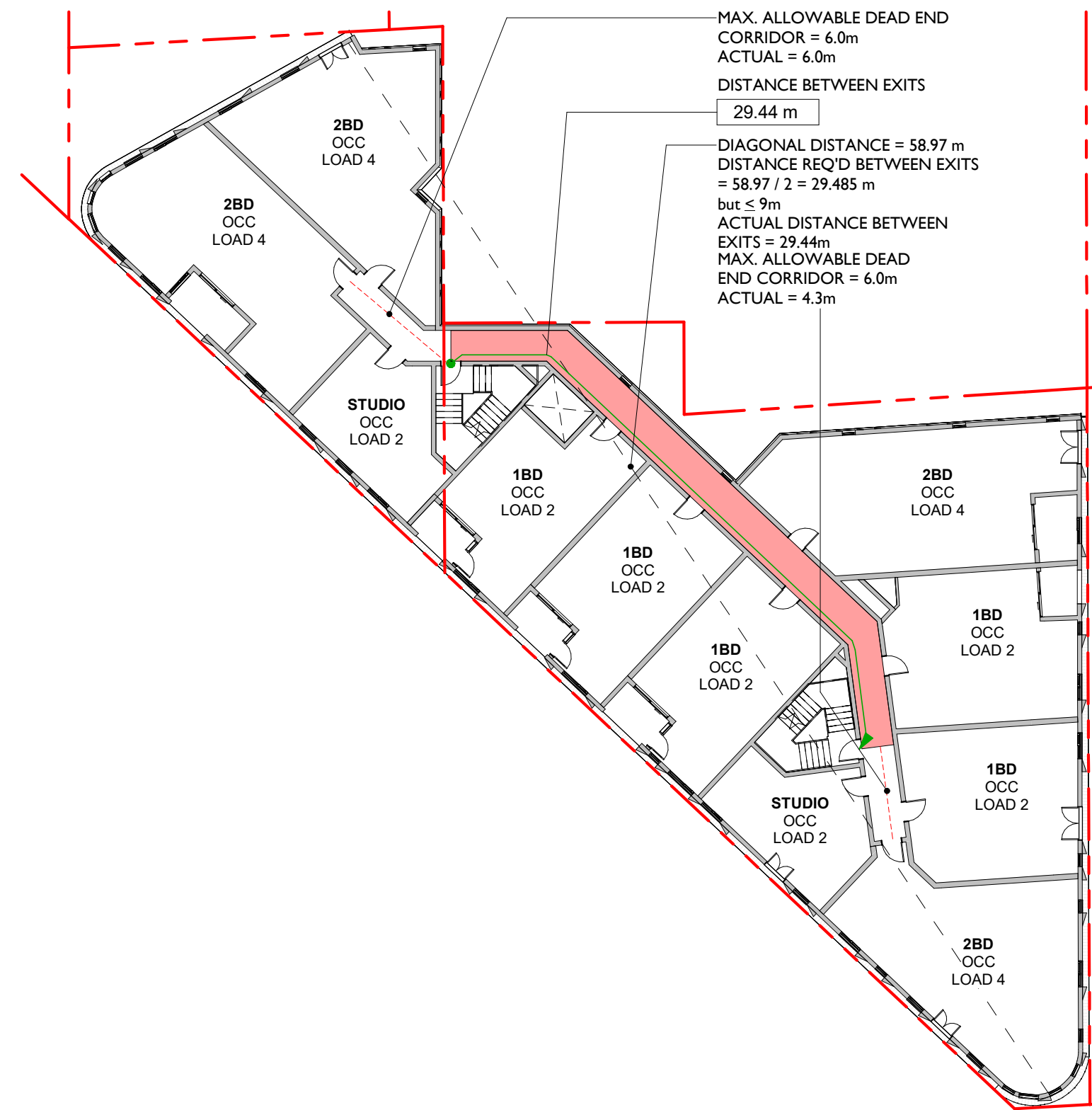
1 Basement Code Plan
SCALE = 1 : 250

Basement
 Req. Separation of Exits: 17.3 m but does not need to be more than 9m
 Max. Travel: 45 m (3.4.2.5.1.(c))
 Occupancy: F, Div. 3 - Storage
 Occupant Load
 Net Area: (102.55 + 119.27) m² (Bike + commercial storage) = 221.82 m²
 Storage: 46 m²/person (BCBC 3.1.17.1) 221.82 m²/46 = 5 people
 Min. Exit Width
 Ramps, Corridors, Passageways
 6.1mm/person x 5 = 30.5 mm or >1100 mm (Table 3.4.3.2.-A)
 Stairs
 8mm/person x 5 = 40 mm or >1100 (Table 3.4.3.2.-A)



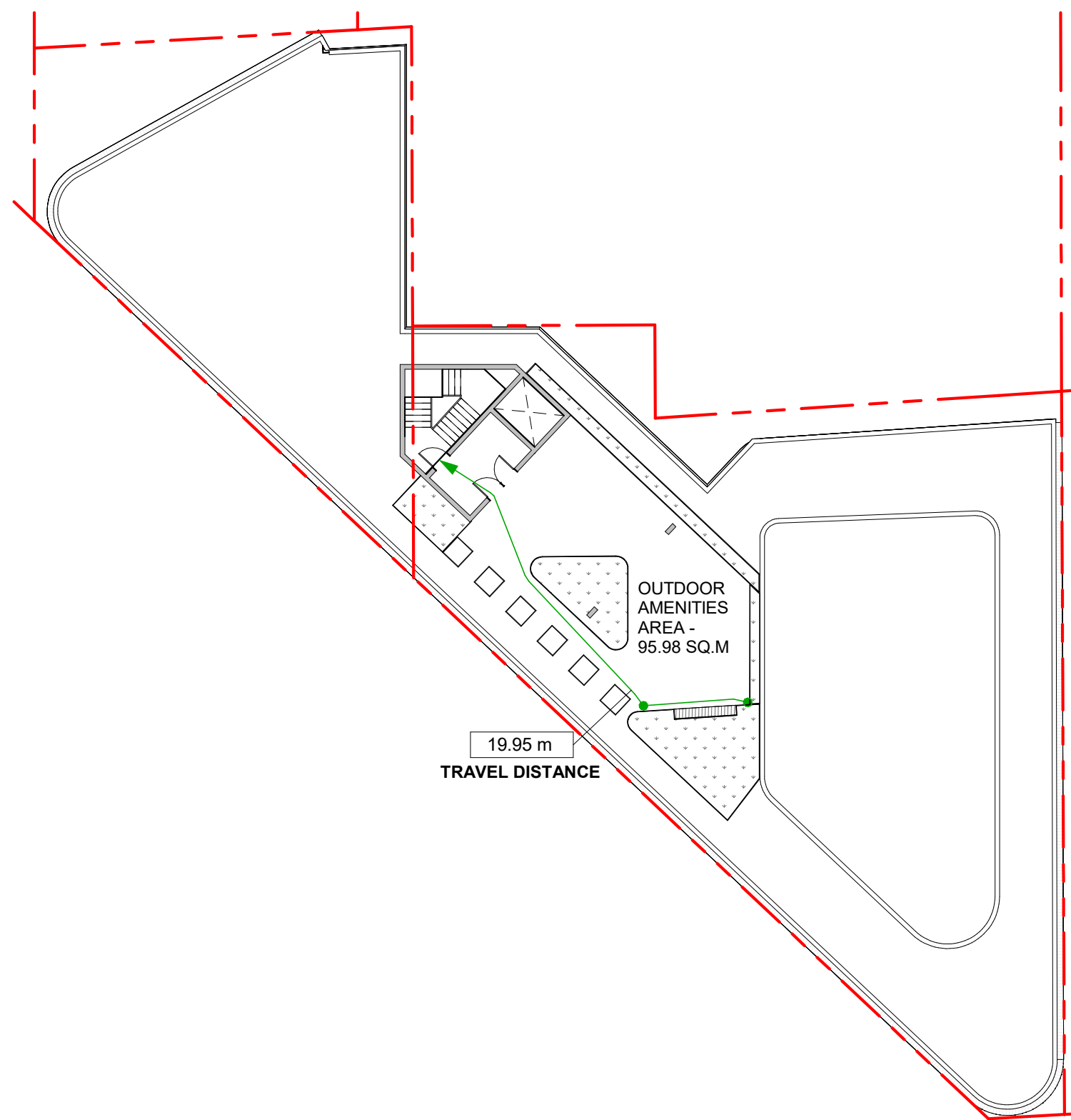
2 Level 1 Code Plan
SCALE = 1 : 250

GROUND FLOOR
 Max. Travel: 40m (3.4.2.5.1.(b))
 Occupancy: CRU 1 - A2
 CRU 2 - E
 CRU 3 - A2
 BIKE ROOM - F3
 Occupant Load
 CRU 1 - Area = 87.96 m²
 0.95 m²/person for Space with tables and seating (BCBC 3.1.17.1)
 Load = 87.96 m² + 0.95 = 93 people
 CRU 2 - Area = 123.98 m²
 3.7 m²/person for Space with tables and seating (BCBC 3.1.17.1)
 Load = 123.98 m² + 3.7 = 34 people
 CRU 3 - Area = 150.76 m²
 0.95 m²/person for Space with tables and seating (BCBC 3.1.17.1)
 Load = 150.76 m² + 0.95 = 159 people
 Bike room:
 Area = 88.04 m²
 46 m²/person for Space with tables and seating (BCBC 3.1.17.1)
 Load = 88.04 m² + 46 = 2 people



3 Level 6 Code Plan (Typical Residential Floor)
SCALE = 1 : 250

LEVEL 6
 Req. Separation of Exits: 29.5m
 Occupancy: GROUP C - RESIDENTIAL
 Occupant Load
 Net Area: 829.356 m²
 830/30 = 28 people (3.1.17.1.(1)(b))
 Min. Exit Width
 Ramps, Corridors, Passageways
 6.1mm/person x 28 = 170.8mm or >1100 (Table 3.4.3.2.-A)
 Stairs
 8mm/person x 28 = 224mm or >1100 (Table 3.4.3.2.-A)



4 Roof Code Plan
SCALE = 1 : 250

ROOF LEVEL
 Travel Distance: 19.95
 Max. Travel: 25m (3.3.1.5.1.(d))
 Occupancy: A, Div. 2 - ROOFTOP AMENITIES
 Occupant Load
 Net Area: 95.98 m²
 space with non-fixed seats and tables:
 0.95 m²/person (BCBC 3.1.17.1)
 95.98/0.95 = 101.03 people (Limiting rooftop amenity access to 60 people)
 Min. Exit Width
 Stairs
 8mm/person x 60 = 480mm or >1100 (Table 3.4.3.2.-A)



BUILDING CODE ANALYSIS			
PROJECT TYPE	NEW CONSTRUCTION <input checked="" type="checkbox"/>	RENOVATION <input type="checkbox"/>	ADDITION <input type="checkbox"/>
GOVERNING BUILDING CODE	2018 BC BUILDING CODE PART 3	REFER TO NOTES *	
MAJOR OCCUPANCIES	A1 <input type="checkbox"/> A2 <input checked="" type="checkbox"/> A3 <input type="checkbox"/> A4 <input type="checkbox"/> B1 <input type="checkbox"/> B2 <input type="checkbox"/> C <input checked="" type="checkbox"/> D <input type="checkbox"/> E <input checked="" type="checkbox"/> F1 <input type="checkbox"/> F2 <input type="checkbox"/> F3 <input type="checkbox"/>	3.1.2.1.	
BUILDING AREA	914.40 m ² (Outside face of Exterior Walls)	Div A 1.4.1.2.	
GRADE	22.1 m	Div A 1.4.1.2.	
BUILDING HEIGHT (STOREYS, m)	6 STOREYS ABOVE GRADE 24.1 m 1 STOREYS BELOW GRADE	Div A 1.4.1.2.	

BUILDING FIRE SAFETY & CONSTRUCTION CLASSIFICATION		
CLASSIFICATION	GROUP C, 6 STOREYS, SPRINKLERED	3.2.2.50
MAXIMUM BUILDING AREA	1500 m ²	3.2.2.50
NUMBER OF STREETS FACING	3	3.2.2.10
CONSTRUCTION TYPES PERMITTED	COMBUSTIBLE <input checked="" type="checkbox"/> NON-COMBUSTIBLE <input checked="" type="checkbox"/>	3.2.2.50.
INTERCONNECTED FLOOR SPACE	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	3.2.8.

EXITS FROM FLOOR AREAS		
NUMBER OF EXITS REQUIRED	2	3.4.2.1.
SEPERATION OF EXITS (MIN.)	ONE HALF MAXIMUM FLOOR AREA DIAGONAL, BUT NO MORE THAN 9 m	3.4.2.3
MAX. TRAVEL DISTANCE ALLOWED	GROUP C 25 m	3.3.1.5.1.(d)
MEZZANINE	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	3.2.8.

FIRE RESISTANCE RATINGS			
HORIZONTAL SEPARATIONS	1 hrs FLOORS NA MEZZANINE 1 hrs ROOF (OCCUPIED) 2 hrs BETWEEN GROUP E AND GROUP C	3.2.2.50.(2)	
BETWEEN SUITES	1hrs RESIDENTIAL SUITES 2hrs GROUP E AND GROUP A2/C	3.3.1.1. 3.4.4.1.	
EXITS	1hrs 2hrs UP TO LEVEL 2	3.4.4.1.	

NO.	DESCRIPTION	DATE
2	DP Rezoning Submission	2023.10.12



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TURNER SITE
 EMPRESA PROPERTIES
 2002 Richmond Rd, Victoria, BC

Code Data

Date: 2024-02-12 12:53:20 PM

Scale: As indicated Project #: 2305

Revision: 2023.10.12 2

Sheet #: A050



TABLE 3.2.3.1-D	LIMITING DISTANCE (m)	ALLOWABLE OPENINGS (%)	AREA OF EXPOSING BUILDING FACE (sq.m)	PROPOSED OPENINGS (sq.m)	PROPOSED OPENINGS (%)
	9 m	100	622.5	205.2	33.0%

TABLE 3.2.3.7	REQUIRED FRR	REQUIRED TYPE OF CONSTRUCTION	REQUIRED TYPE OF CLADDING
	45 min	COMBUSTIBLE / NON-COMBUSTIBLE	Noncombustible

1 RICHMOND RD (East) ELEVATION
SCALE = 1 : 250



TABLE 3.2.3.1-D	LIMITING DISTANCE (m)	ALLOWABLE OPENINGS (%)	AREA OF EXPOSING BUILDING FACE (sq.m)	PROPOSED OPENINGS (sq.m)	PROPOSED OPENINGS (%)
	7.62m	75.92%	1223	442.9	36.2%

TABLE 3.2.3.7	REQUIRED FRR	REQUIRED TYPE OF CONSTRUCTION	REQUIRED TYPE OF CLADDING
	45 min	COMBUSTIBLE / NON-COMBUSTIBLE	Noncombustible

2 BIRCH ST ELEVATION
SCALE = 1 : 250



TABLE 3.2.3.1-D (BCBC 2018)					
BUILDING COMPARTMENT	LIMITING DISTANCE	AREA OF EXPOSING BUILDING FACE	ALLOWABLE OPENINGS (%)	PROPOSED OPENING (SQ.M)	PROPOSED OPENING (%)
NO EXPOSURE TO PROPERTY LINE					
1					
2	0.97 m	38.5 m²	11.32%	1.1	10.5%
3	0.97 m	38.5 m²	11.32%	1.1	10.5%
4	0.97 m	38.5 m²	11.32%	1.1	10.5%
5	0.97 m	38.5 m²	11.32%	1.1	10.5%
6	0.97 m	38.5 m²	11.32%	1.1	10.5%

TABLE 3.2.3.7 (BCBC 2018)			
ALL COMPARTMENTS	MIN. FIRE RESISTANCE RATING:	TYPE OF CONSTRUCTION REQ'D:	TYPE OF CLADDING REQ'D:
	45 MIN	COMBUSTIBLE / NONCOMBUSTIBLE	NONCOMBUSTIBLE

3 NORTH FACING ELEVATION FROM PARKING LOT
SCALE = 1 : 250

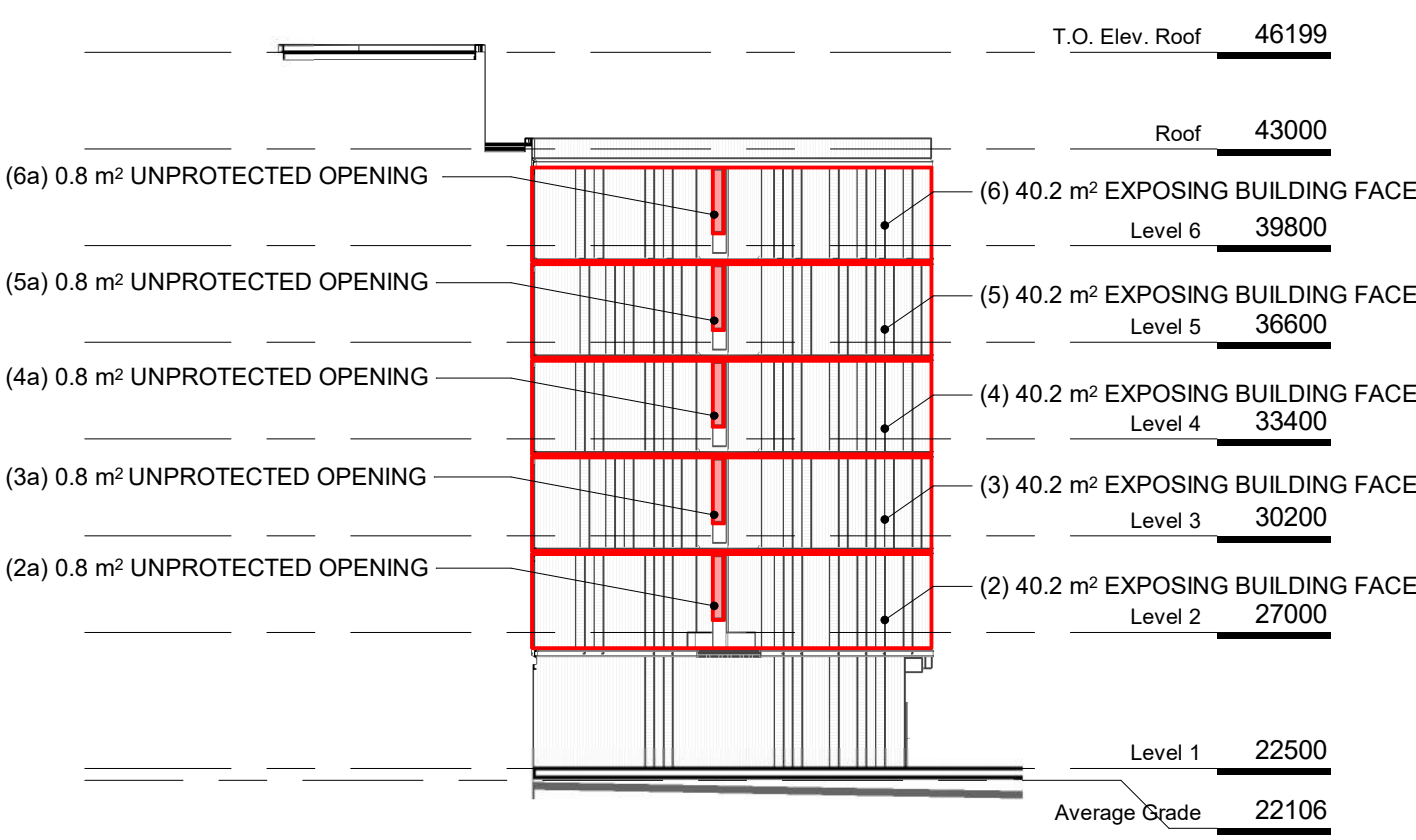


TABLE 3.2.3.1-D (BCBC 2018)					
BUILDING COMPARTMENT	LIMITING DISTANCE	AREA OF EXPOSING BUILDING FACE	ALLOWABLE OPENINGS (%)	PROPOSED OPENING (SQ.M)	PROPOSED OPENING (%)
2	0.68 m	40.2 m²	7.93%	0.8	2%
3	0.68 m	40.2 m²	7.93%	0.8	2%
4	0.68 m	40.2 m²	7.93%	0.8	2%
5	0.68 m	40.2 m²	7.93%	0.8	2%
6	0.68 m	40.2 m²	7.93%	0.8	2%

TABLE 3.2.3.7 (BCBC 2018)			
ALL COMPARTMENTS	MIN. FIRE RESISTANCE RATING:	TYPE OF CONSTRUCTION REQ'D:	TYPE OF CLADDING REQ'D:
	45 MIN	COMBUSTIBLE / NONCOMBUSTIBLE	NONCOMBUSTIBLE

NO.	DESCRIPTION	DATE
3	DP Rezoning Resubmission	2024.02.09
2	DP Rezoning Submission	2023.10.12



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4 EAST FACING ELEVATION FROM 2020 RICHMOND
SCALE = 1 : 250

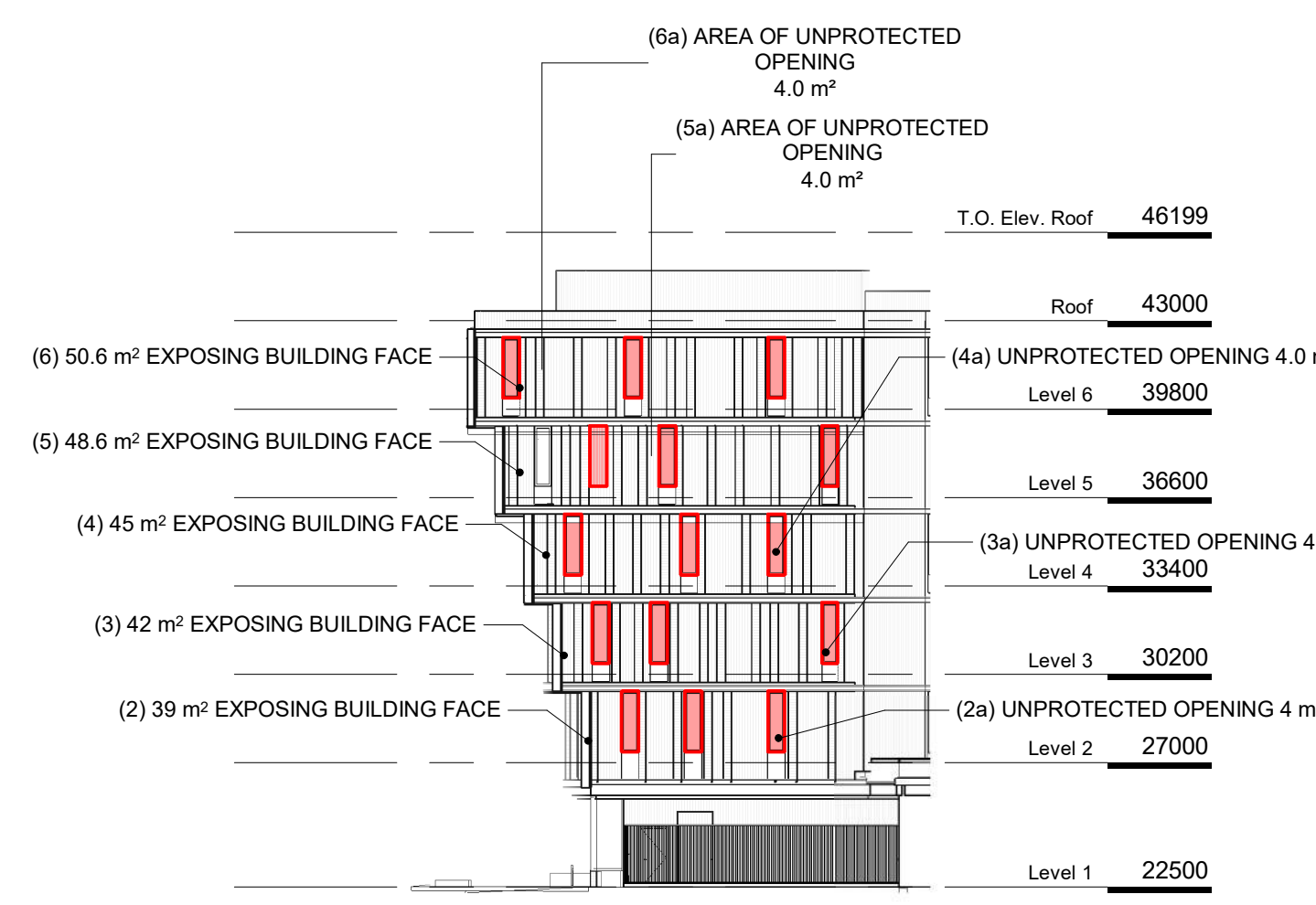


TABLE 3.2.3.1-D (BCBC 2018)					
BUILDING COMPARTMENT	LIMITING DISTANCE	AREA OF EXPOSING BUILDING FACE	ALLOWABLE OPENINGS (%)	PROPOSED OPENING (SQ.M)	PROPOSED OPENING (%)
2	1.26 m	39 m²	14.4%	4	10.3%
3	1.26 m	42 m²	14.4%	4	9.5%
4	1.26 m	45 m²	14.4%	4	8.9%
5	1.26 m	48.6 m²	14.4%	4	8.2%
6	1.26 m	50.6 m²	14.4%	4	7.9%

TABLE 3.2.3.7 (BCBC 2018)			
ALL REMAINING COMPARTMENTS	MIN. FIRE RESISTANCE RATING:	TYPE OF CONSTRUCTION REQ'D:	TYPE OF CLADDING REQ'D:
	45 MIN	COMBUSTIBLE / NONCOMBUSTIBLE	NONCOMBUSTIBLE

5 NORTH FACING ELEVATION FROM 2020 RICHMOND
SCALE = 1 : 250

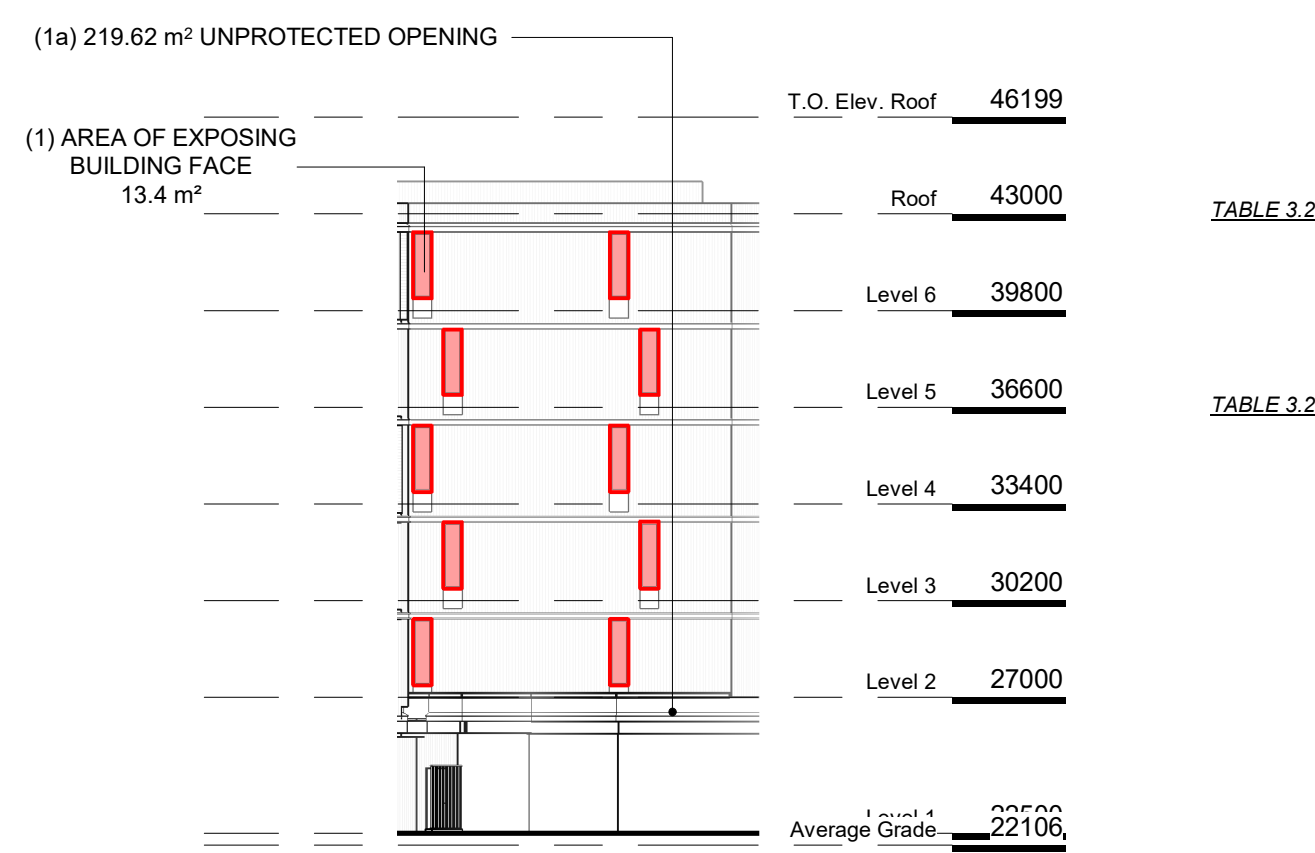


TABLE 3.2.3.1-D	LIMITING DISTANCE (m)	ALLOWABLE OPENINGS (%)	AREA OF EXPOSING BUILDING FACE (sq.m)	PROPOSED OPENINGS (sq.m)	PROPOSED OPENINGS (%)
	0.58m	6.77	219.62	13.72	6.25%

TABLE 3.2.3.7	REQUIRED FRR	REQUIRED TYPE OF CONSTRUCTION	REQUIRED TYPE OF CLADDING
	45 min	COMBUSTIBLE / NON-COMBUSTIBLE	Noncombustible

6 NORTH EAST ELEVATION
SCALE = 1 : 250

TURNER SITE

EMPRESA PROPERTIES
2002 Richmond Rd, Victoria, BC

Sheet Name
Spatial Separation

Date
2024-02-12 12:53:26 PM

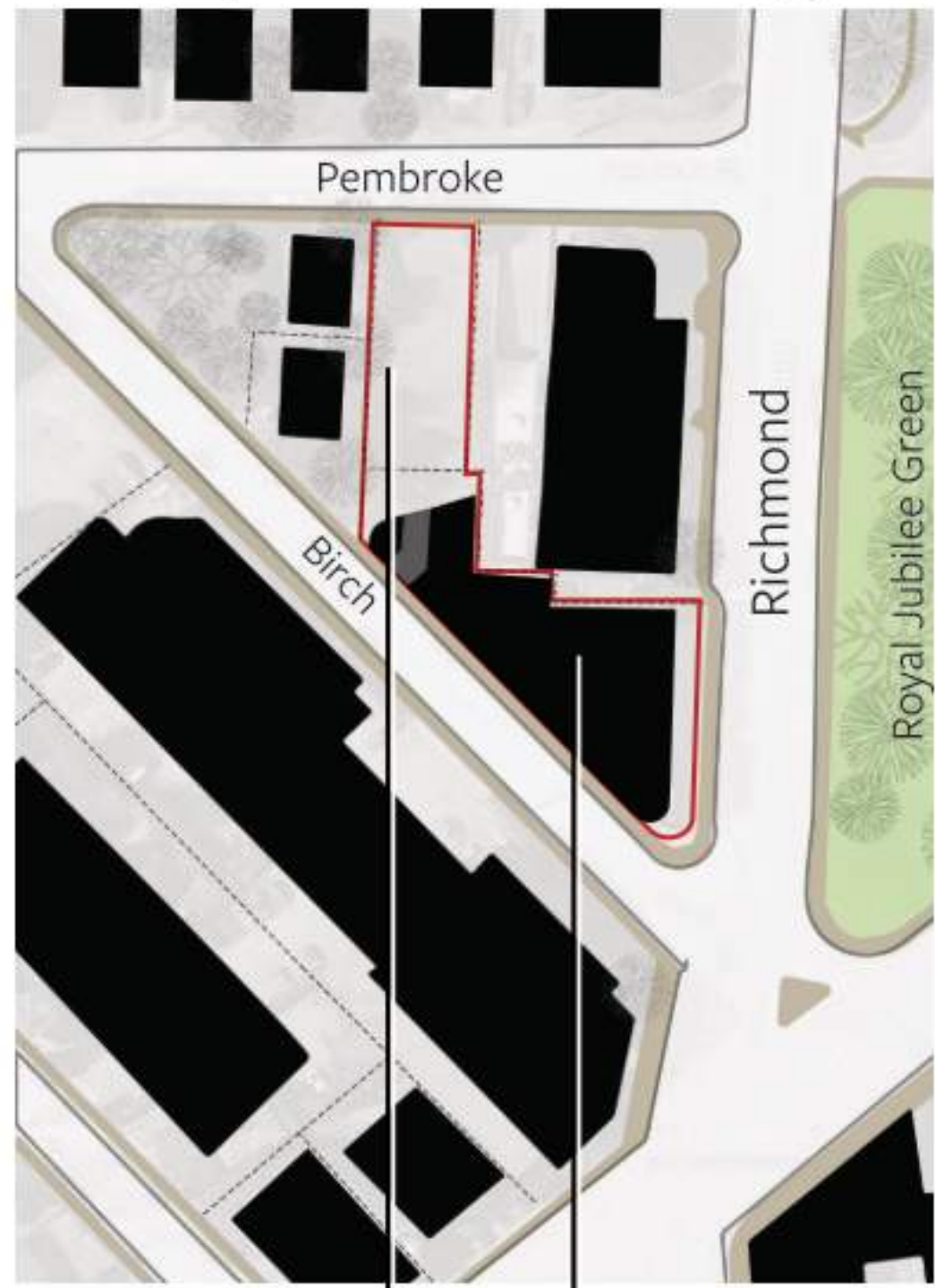
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Project #
2305

Revision
2024.02.09
3

Sheet #
A051

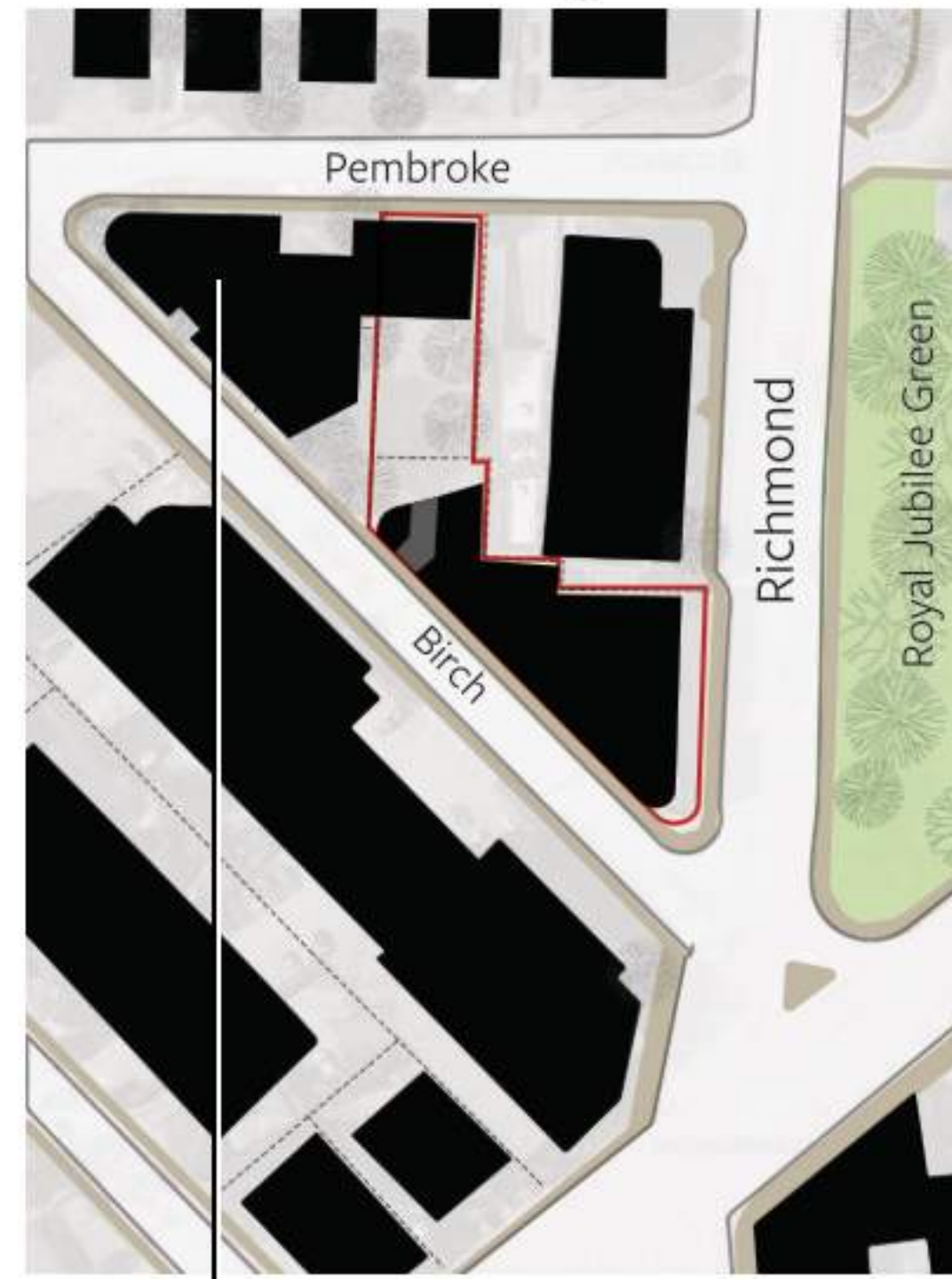
1 Layout of the Buildings



Transitional Condition - Preserve un-buildable north lot for future development, proposed to be used as a land bank in the interim.

Urban Condition - Concentrate the 6 storey building on the village side.

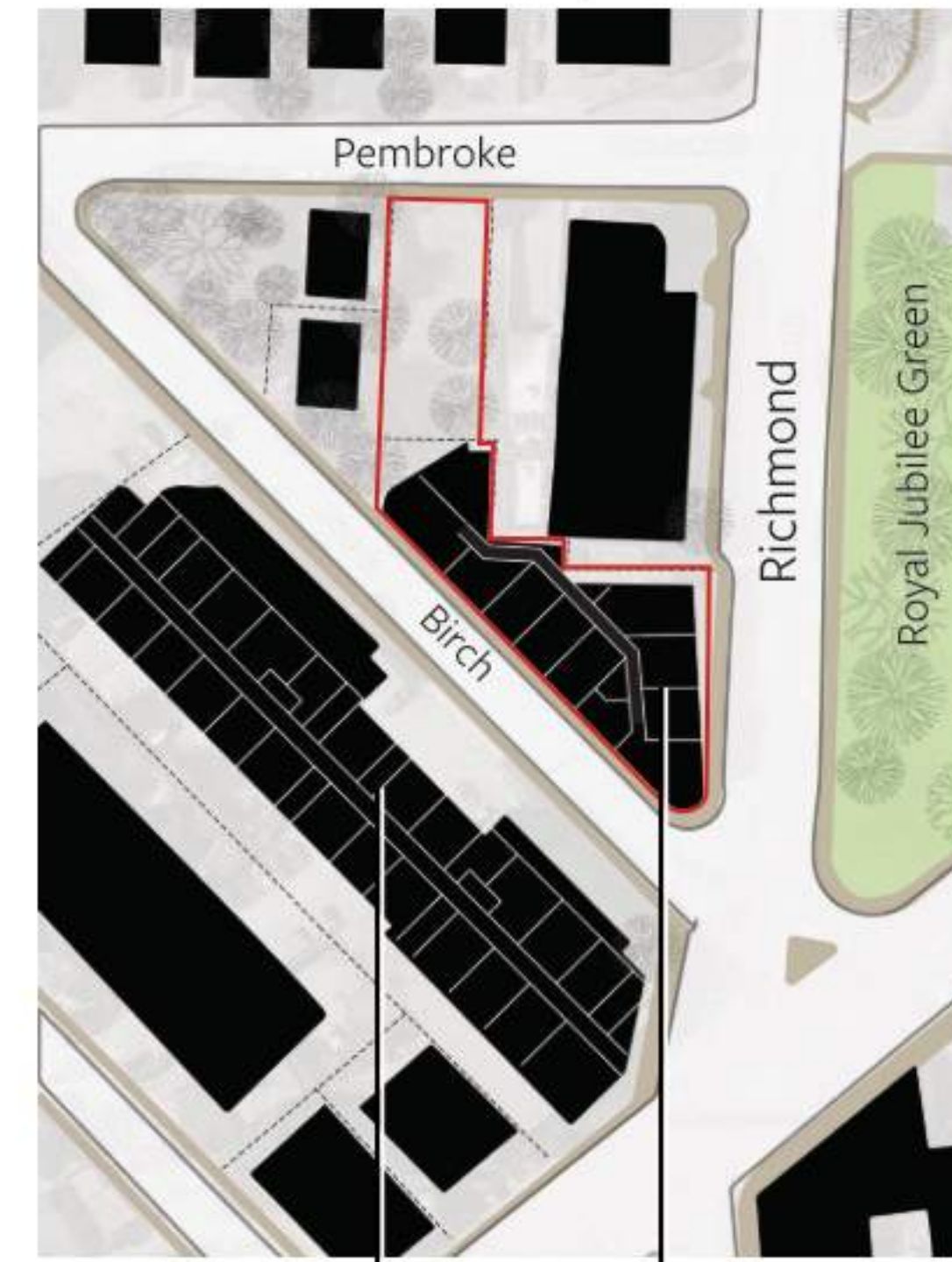
2 Future of the Neighbourhood



Transitional Condition - Future buildings could transition from the urban condition to the single family houses to the north across pembroke.

NOTE: West properties are under separate ownership and the future of those sites is unknown.

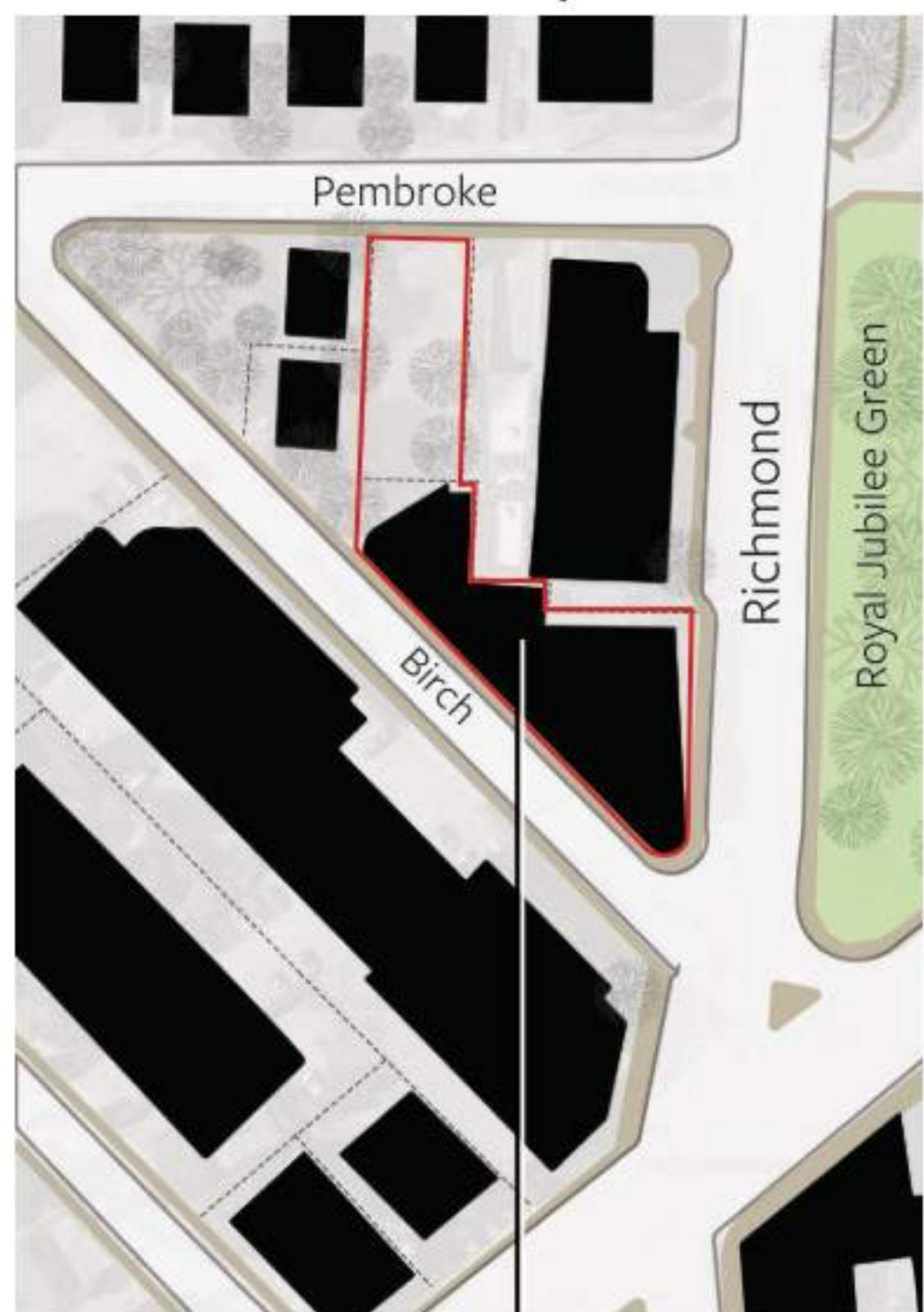
3 Viable floor plates



Conventional residential building layout on a typical city lot.
- Setbacks are possible

Constrained layout on compressed triangular site pushes the building to the property lines.

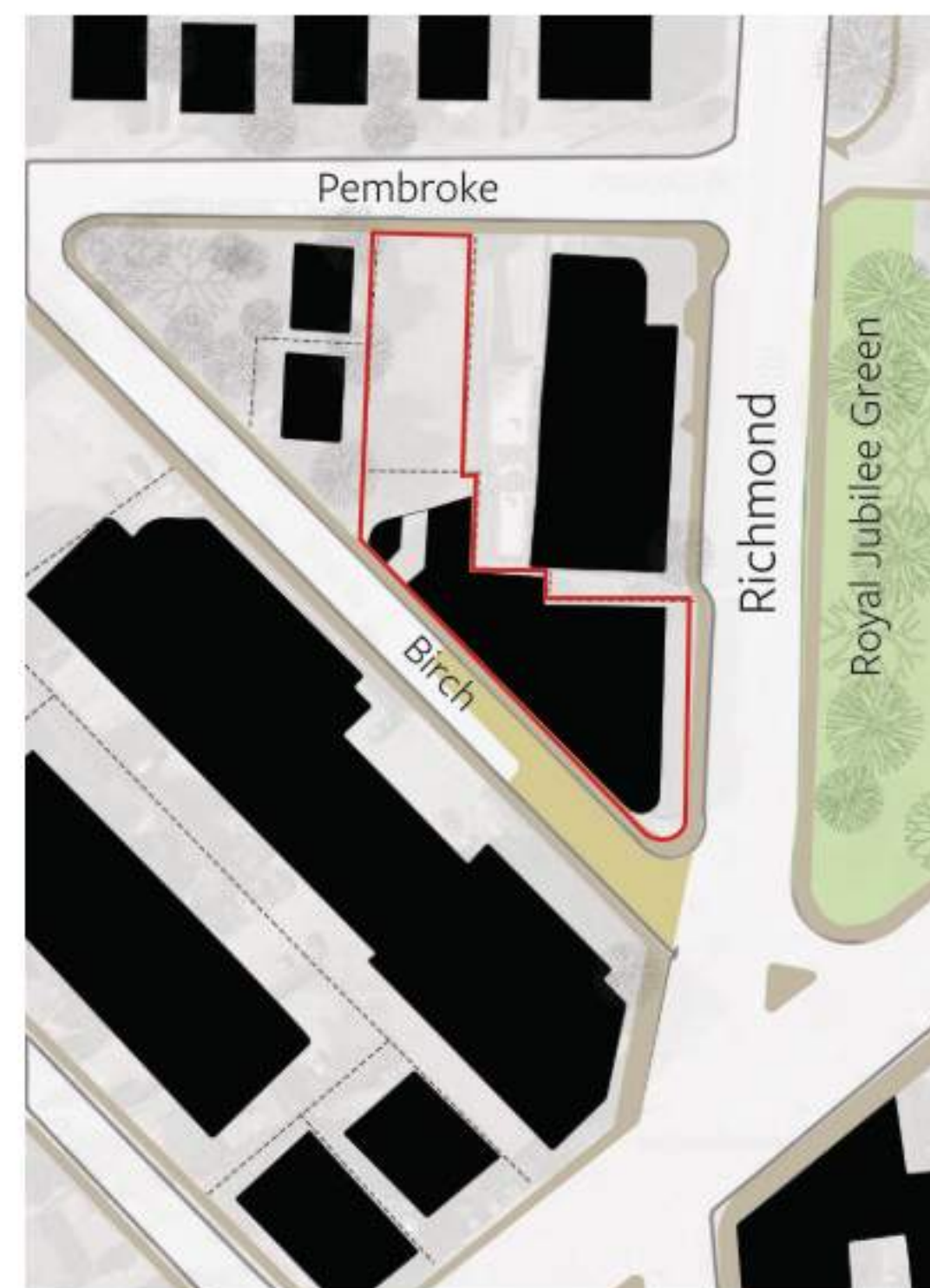
4 Density



FSR:
OCP - 2:1
Proposed - 2.95:1

Density is a product of site geometry and OCP height vision of 6 storeys for an urban residential site.

5 Project Priorities



Forming part of Jubilee village, the introduction of a pedestrian plaza at the southern end of Birch street will provide a destination public space for the neighbourhood. The Turner family has been associated with this site for over 100 years, and the plaza is proposed to carry their name.

NO.	DESCRIPTION	DATE
2	DP Rezoning Submission	2023.10.12



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TURNER SITE

EMPRESA PROPERTIES
2002 Richmond Rd, Victoria, BC

Project North

Site Strategy

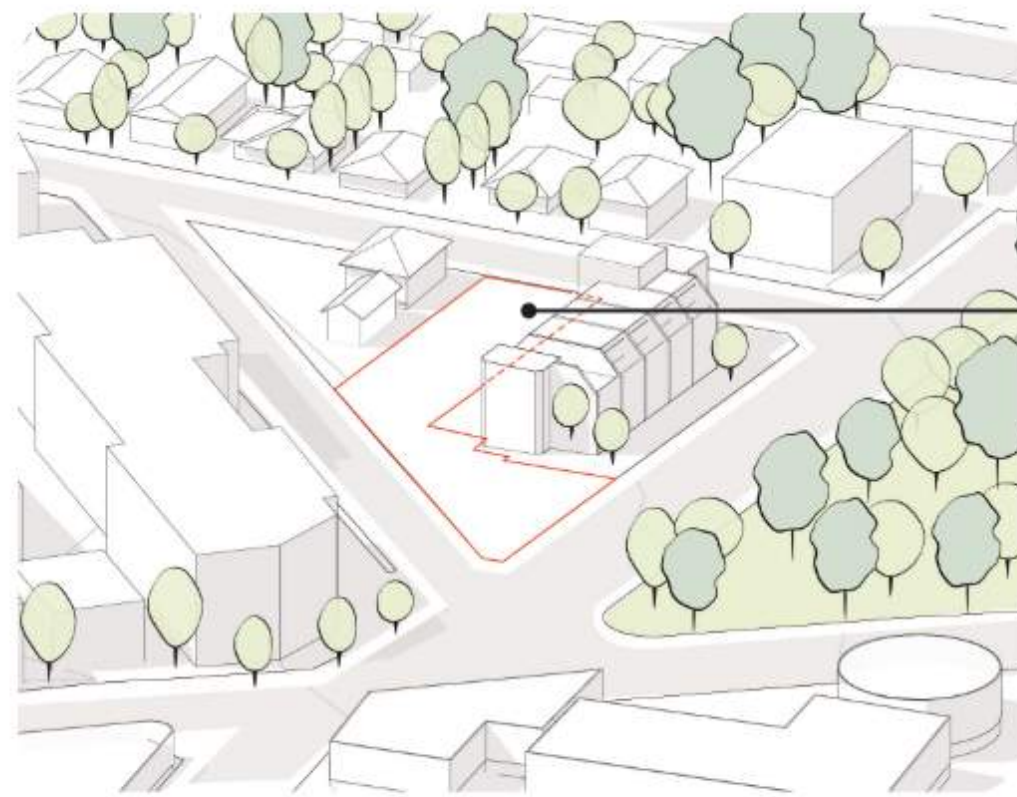
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Scale: 1 : 1 Project #: 2305

Revision: 2023.10.12 2

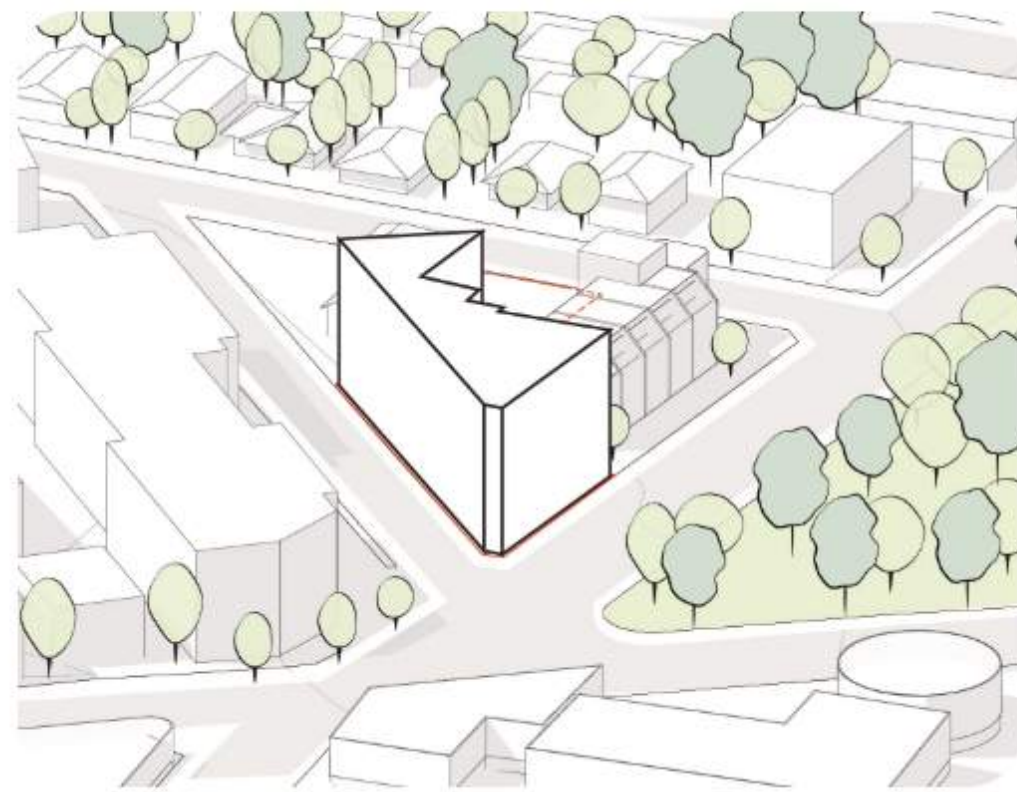
Sheet #: **A013**





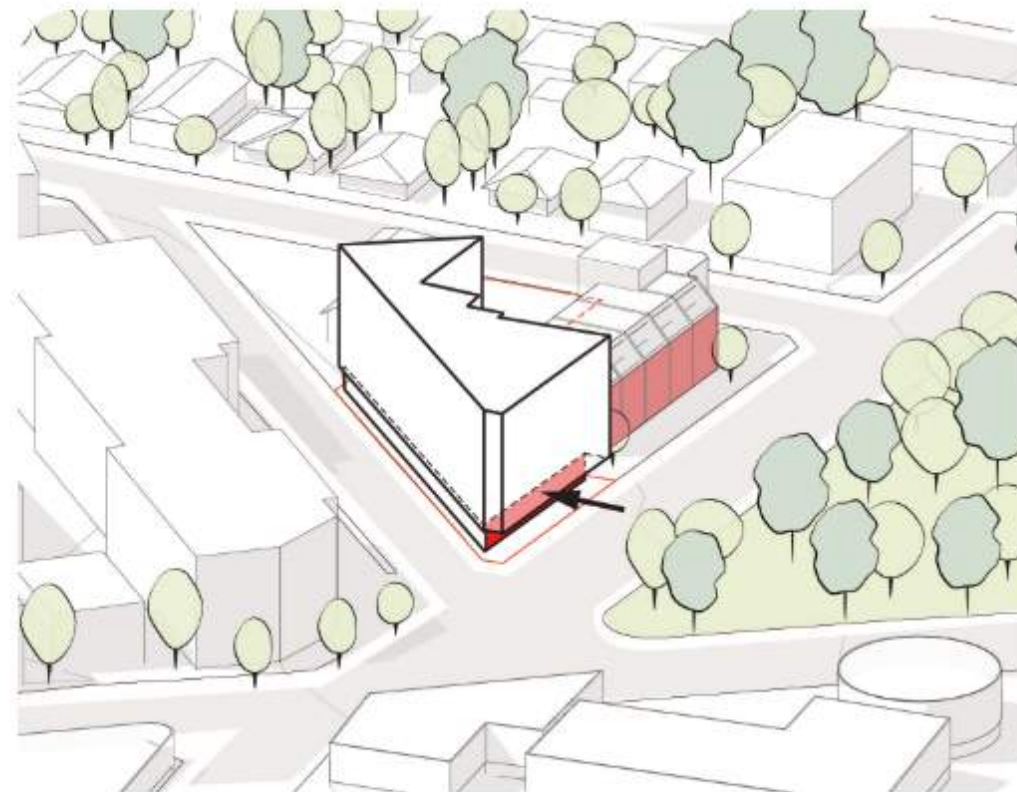
Massing Logic Step 1 Site Constraints

- Transitional Condition - Preserve un-buildable north lot for future development, proposed to be used as a land bank in the interim.
- FSR : OCP - 2:1
Proposed - 2.95:1



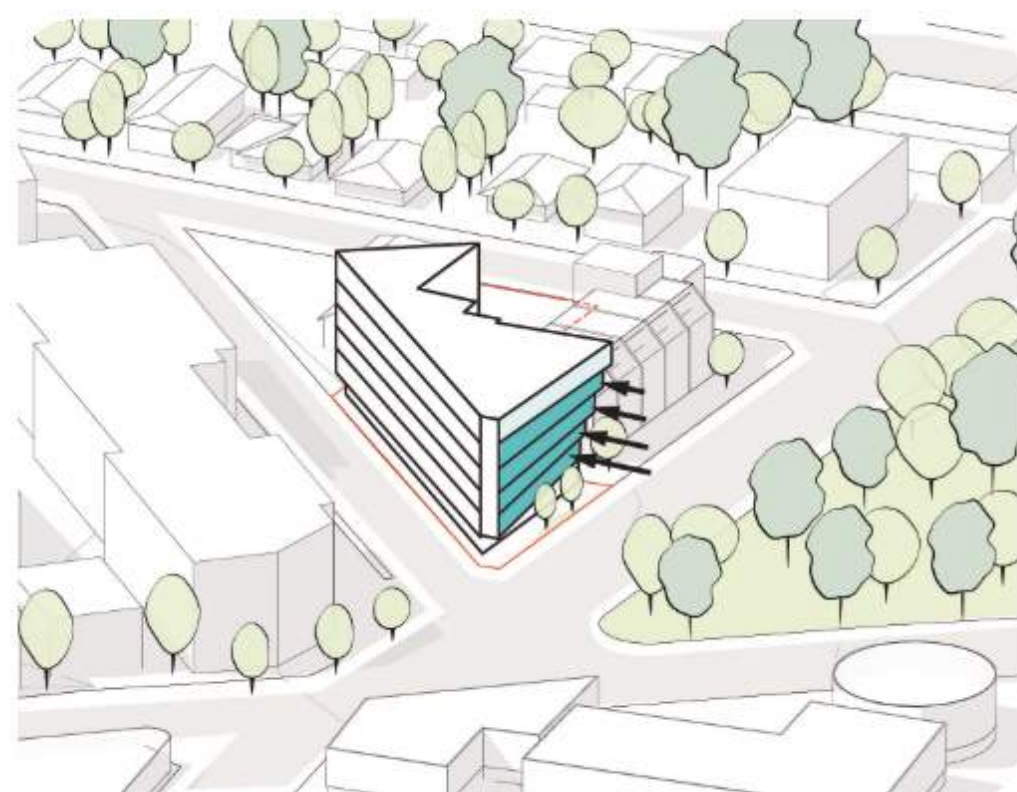
Massing Logic Step 2 Massing

- Urban Condition - Concentrate the 6 storey building on the village side.
- Constrained layout on compressed triangular site pushes the building to the property lines.



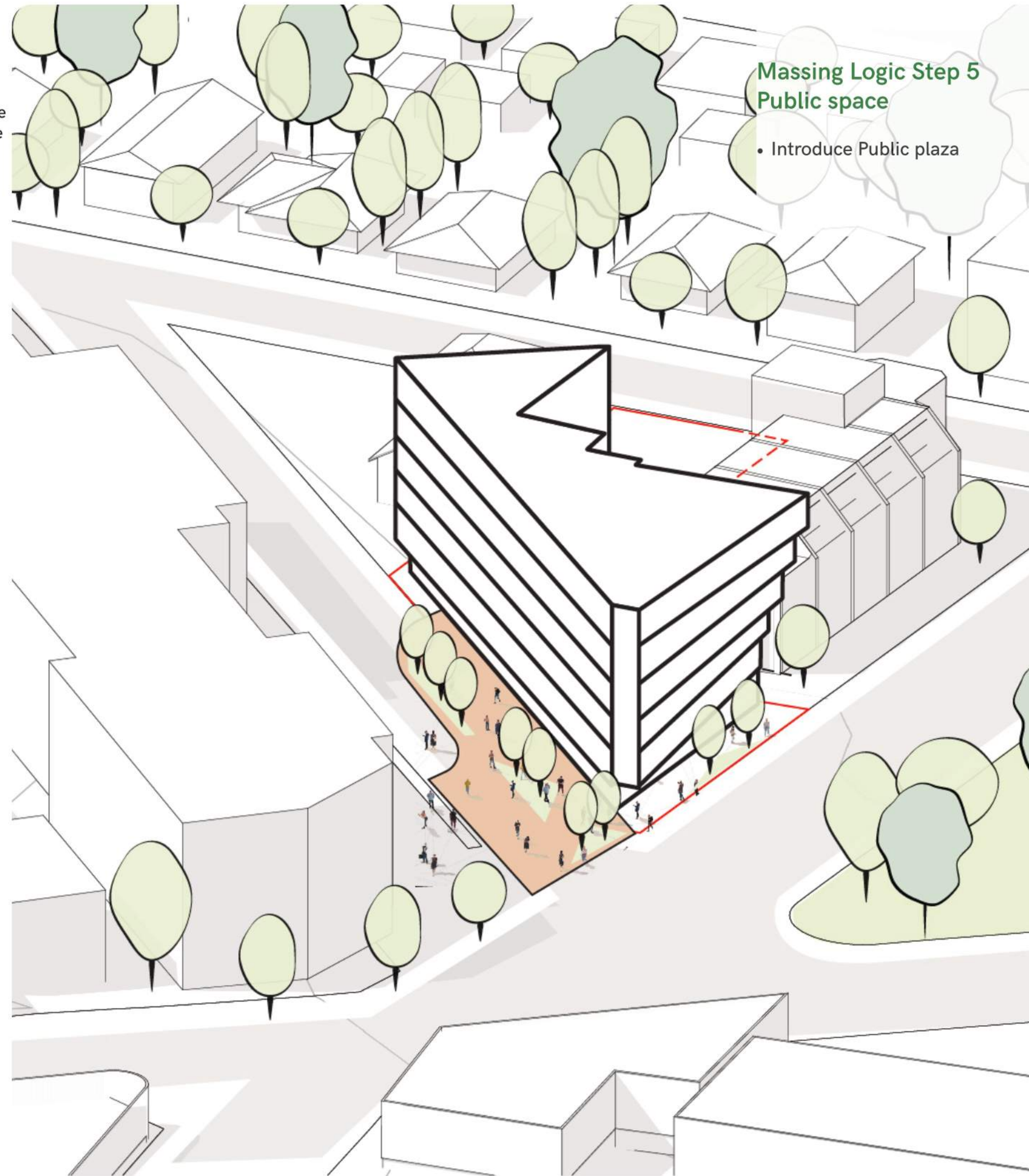
Massing Logic Step 3 Relief

- Align ground-floor setbacks with neighbouring buildings



Massing Logic Step 4 Extension

- The architectural design features floor plates that fan from adjacent street wall to street edge.



Massing Logic Step 5 Public space

- Introduce Public plaza

NO.	DESCRIPTION	DATE
2	DP Rezoning Submission	2023.10.12



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TURNER SITE

EMPRESA PROPERTIES
2002 Richmond Rd, Victoria,
BC

Sheet Name

Massing Diagram

Date

2024-02-12 12:53:26 PM

Scale

1 : 1

Project #

2305

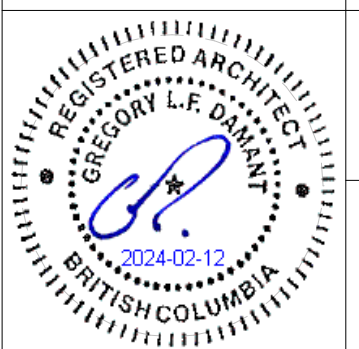
Revision

2023.10.12

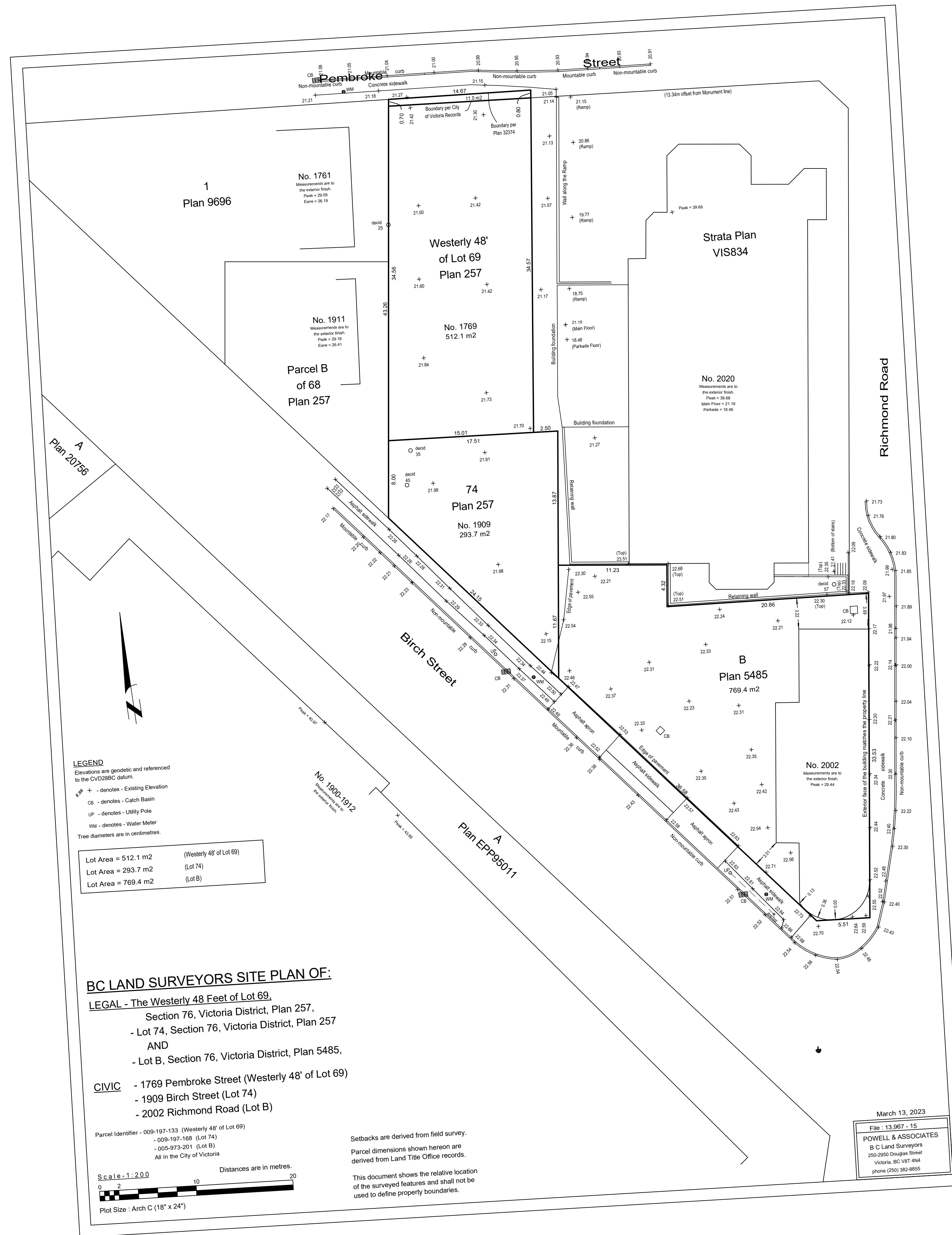
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Sheet #

A014



C:\Users\l\Documents\2305\Turner_Site_Constraints_VillageSide.dwg



SCALE ADJUSTED FROM 1:200 TO 1:250 TO FIT PAGE - ORIENTED TO PROJECT NORTH

NO.	DESCRIPTION	DATE
2	DP Rezoning Submission	2023.10.12



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TURNER SITE

EMPRESA PROPERTIES
 2002 Richmond Rd, Victoria, BC

Project North

Sheet Name **Survey**

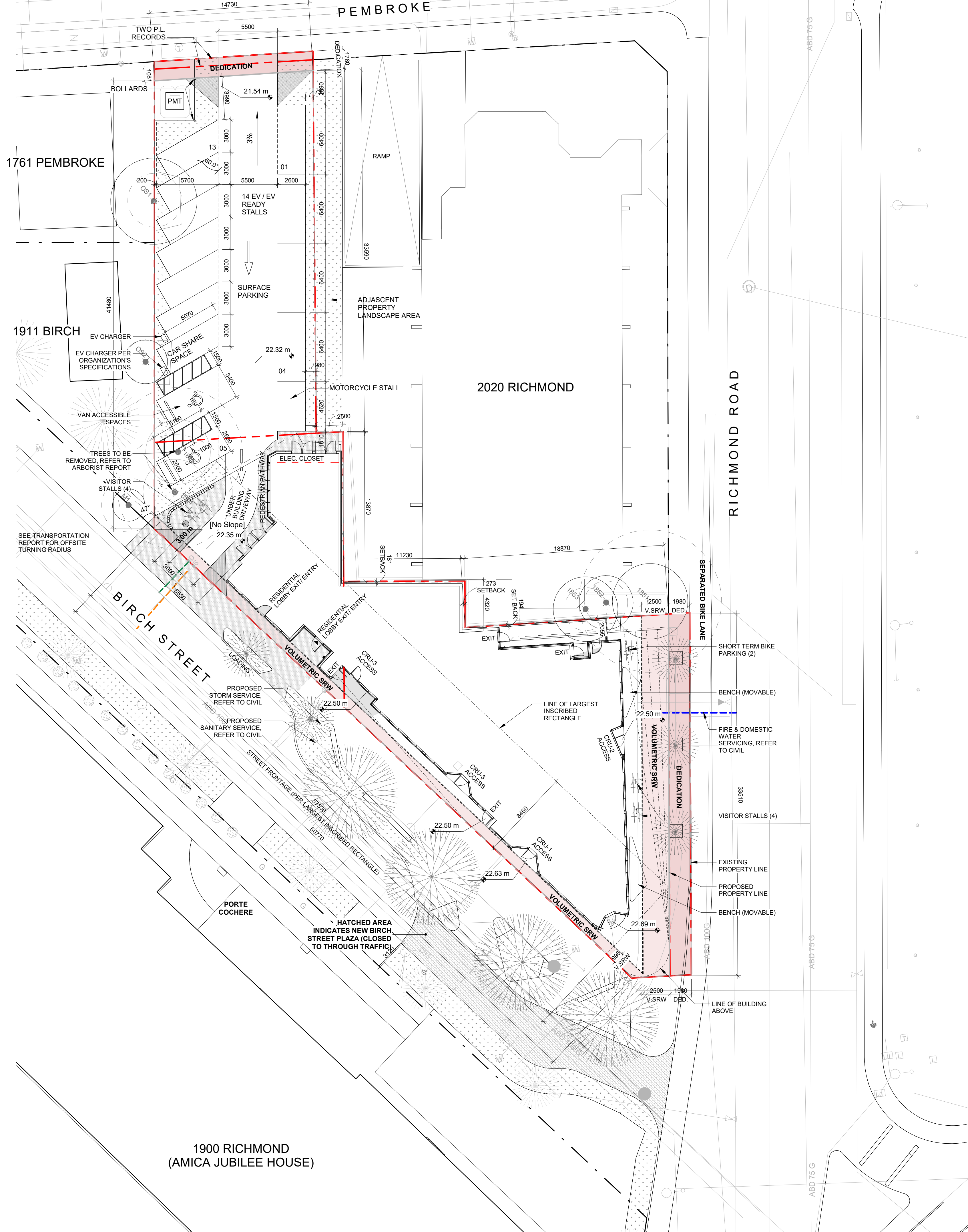
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Scale **1:250** Project # **2305**

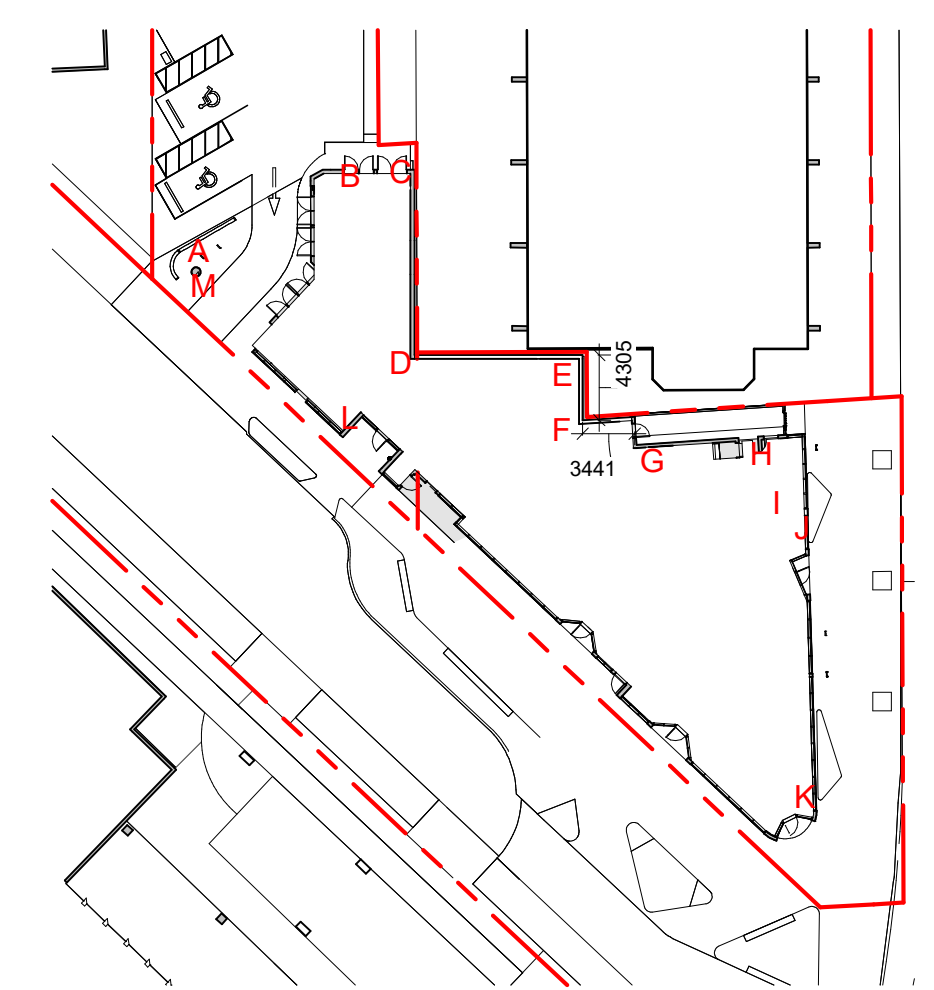
Revision **2**
 2023.10.12

Sheet # **A100**

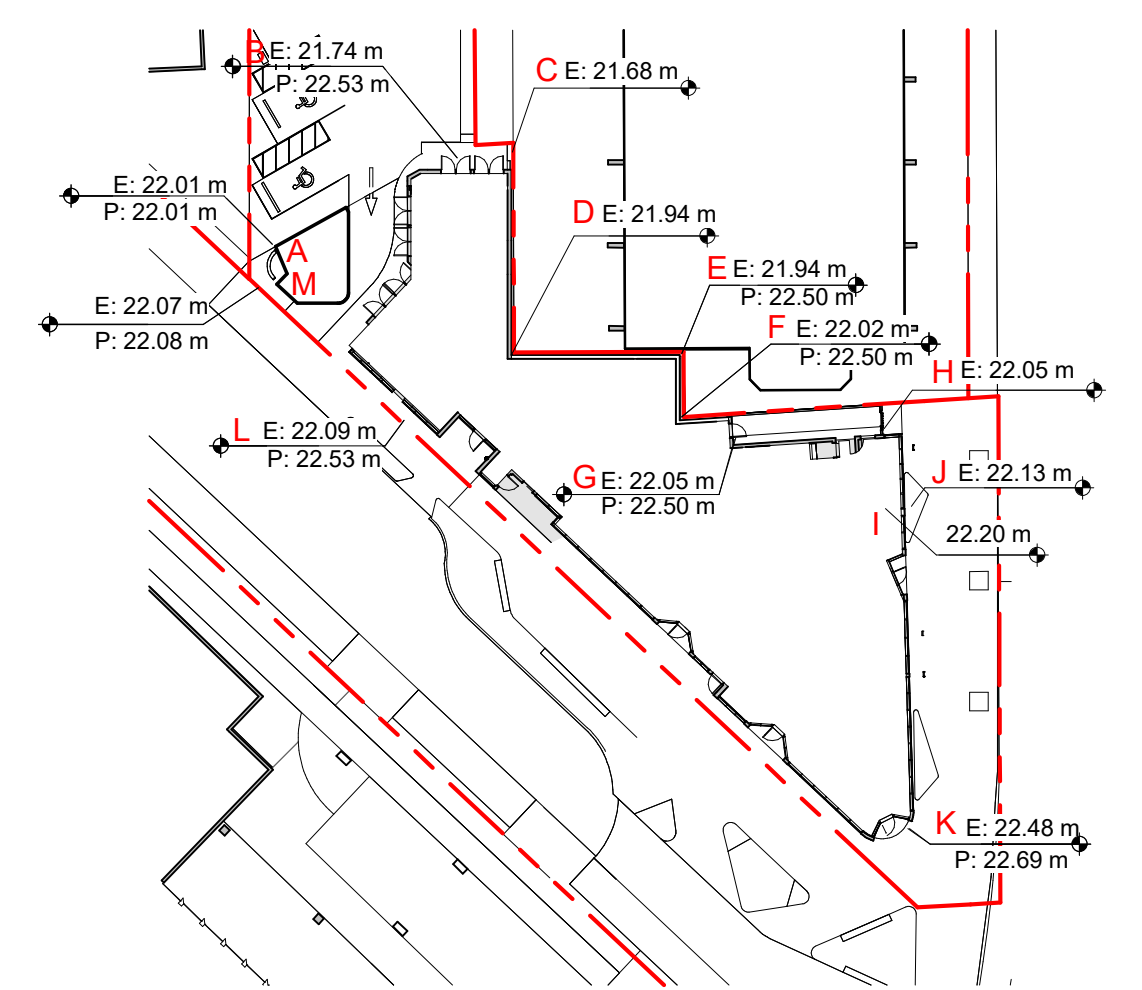
REGISTERED ARCHITECT
 GREGORY L.F. DAWSON
 BRITISH COLUMBIA
 2024-02-12



1 SITE PLAN-Project Data
SCALE = 1 : 200

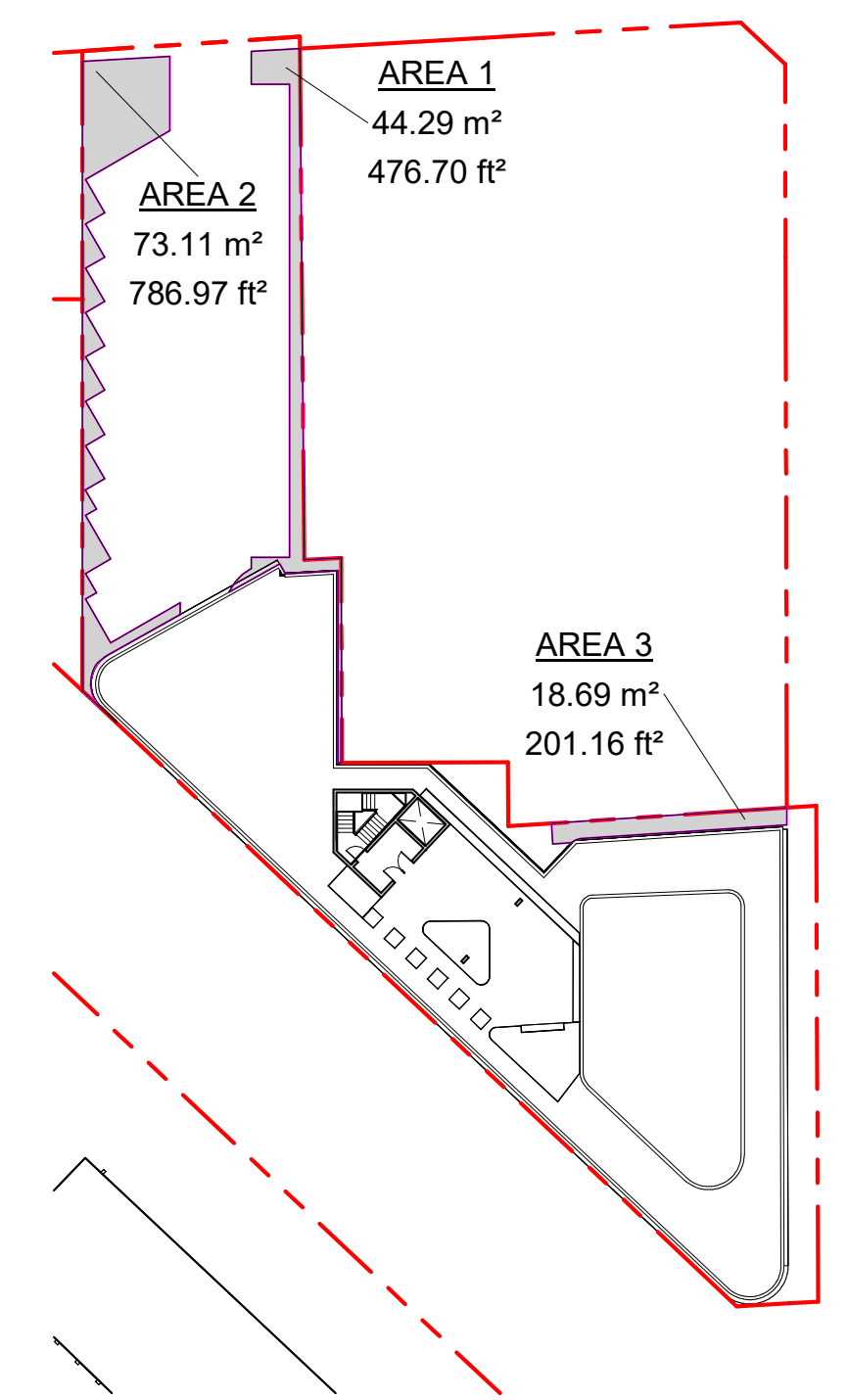


2 Distance Between Points
SCALE = 1 : 500

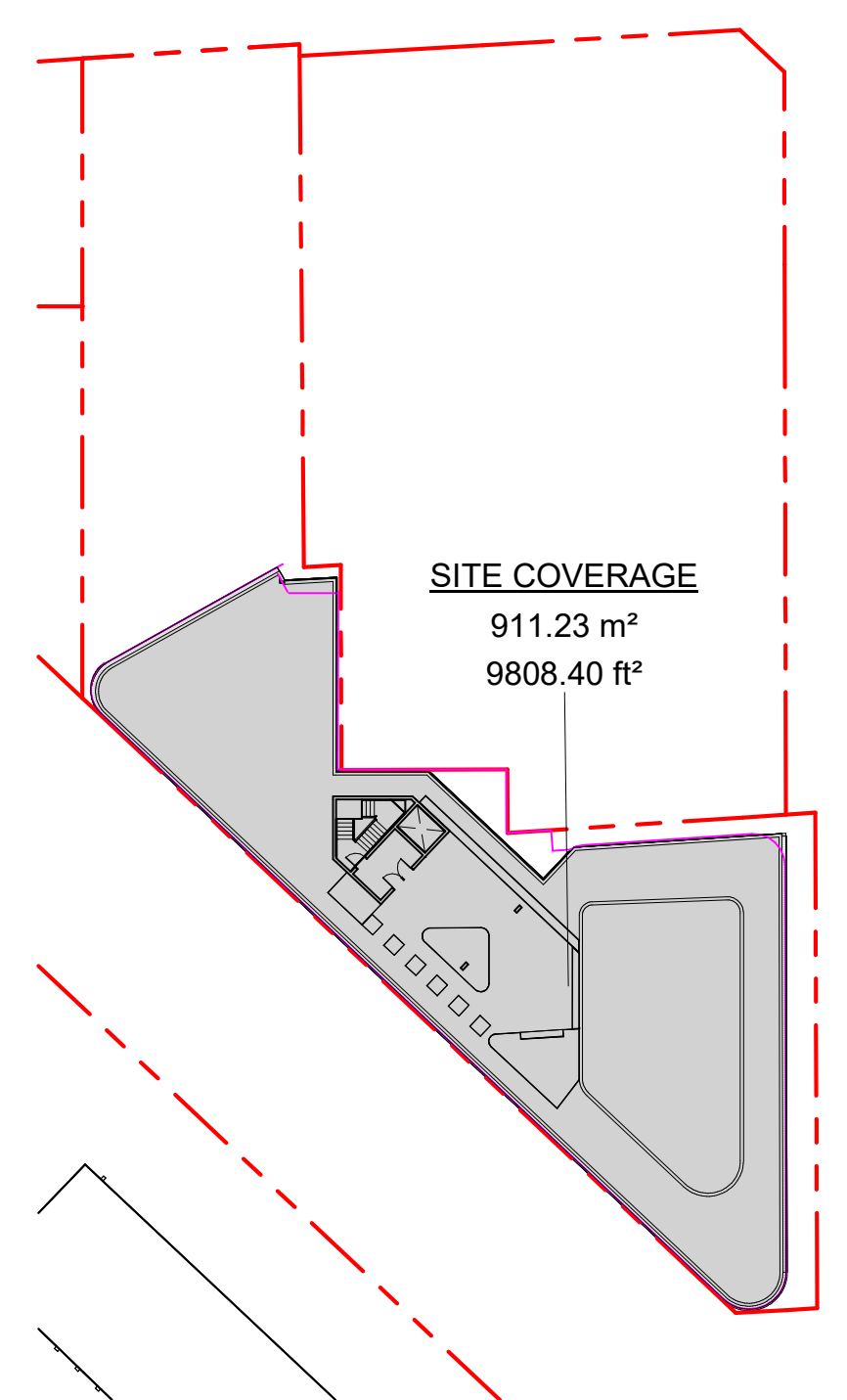


3 Average Grade Calculation
SCALE = 1 : 500

Point	Height	Distance to next point	(Elev. 1 + Elev. 2)/2 * Distance
A	22008	12591	275,384,057
B	21735	4547	98,697,182
C	21677	13339	290,770,192
D	21920	11007	241,383,510
E	21940	4236	93,100,926
F	22017	3441	75,815,553
G	22049	9926	218,868,300
H	22051	5196	114,787,434
I	22132	1546	34,216,072
J	22132	22057	492,190,927
K	22497	42668	951,304,394
L	22094	12548	277,078,662
M	22069	2491	54,897,904
Elevation			22,106



4 OPEN SITE SPACE
SCALE = 1 : 500



5 SITE COVERAGE
SCALE = 1 : 500

ZONING DATA				
ZONE	TBD - SITE SPECIFIC			
USE	RESIDENTIAL (L2-L6) COMMERCIAL (L1)			
EXISTING SITE AREA	1,586.8 m ²			
PROPOSED DEDICATION AREA	93.5 m ²			
PROPOSED SITE AREA	1,493.3 m ²			
REGULATORY CONDITIONS				
GROSS FLOOR AREA	4316.6 m ²			
COMMERCIAL FLOOR AREA	374.1 m ²			
TOTAL RESIDENTIAL FLOOR AREA	3942.6 m ²			
BUILDING HEIGHT (from Natural Grade)	24.0 m			
SETBACKS*	RICHMOND	0.03 m		
	PEMBROKE	35 m		
	BIRCH	0.03 m		
	WEST (SIDE)	0.6 m		
EXTERIOR OPEN SPACE	120 m ²			
OPEN SITE SPACE	8.58 %			
FLOOR SPACE RATIO (FSR)	2.72 : 1			
LOT COVERAGE	57.20 %			
PARKING - VEHICLE				
USE	DENSITY	RATE	REQ'D	PROVIDED
RESIDENTIAL	10 UNITS (<45m ²)	0.75 / unit	7.5	14 SPACES
	25 UNITS (45-70m ²)	0.90 / unit	22.5	
	20 UNITS (>70m ²)	1.30 / unit	26	
VISITOR (RES.)	55 UNITS	0.1 / unit	5.5	
COMM. **	395.3m ²	1 / 20m ²	19.7	
TOTAL:				81
PARKING - BICYCLE				
USE	DENSITY	RATE	REQ'D	PROVIDED
RESIDENTIAL	10 UNITS (<45m ²)	1 / unit	10	116 LONG TERM
	45 UNITS (> 45m ²)	1.25 / unit	56	
VISITOR (RES.)	55 UNITS	6 spaces	6	10 SHORT TERM
COMM. **	395.3m ²	1 / 200m ²	2	
VISTOR (COMM.)**	395.3m ²	1 / 100m ²	4	
TOTAL:				78
RESIDENTIAL USE DETAIL				
Total number of Units	55			
UNIT TYPE				
Studio	10			
1 Bed	25			
2 Bed	20			
Minimum unit floor area	33.74 m ²			

NO.	DESCRIPTION	DATE
3	DP Rezoning Resubmission	2024.02.09
2	DP Rezoning Submission	2023.10.12
1	Development Tracker	2023.08.04



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TURNER SITE
EMPRESA PROPERTIES
2002 Richmond Rd, Victoria, BC

0.00°
Project North

Sheet Name
Site Plan & Project Data

Date
2024-02-12 12:53:30 PM

Scale
As indicated

Project #
2305

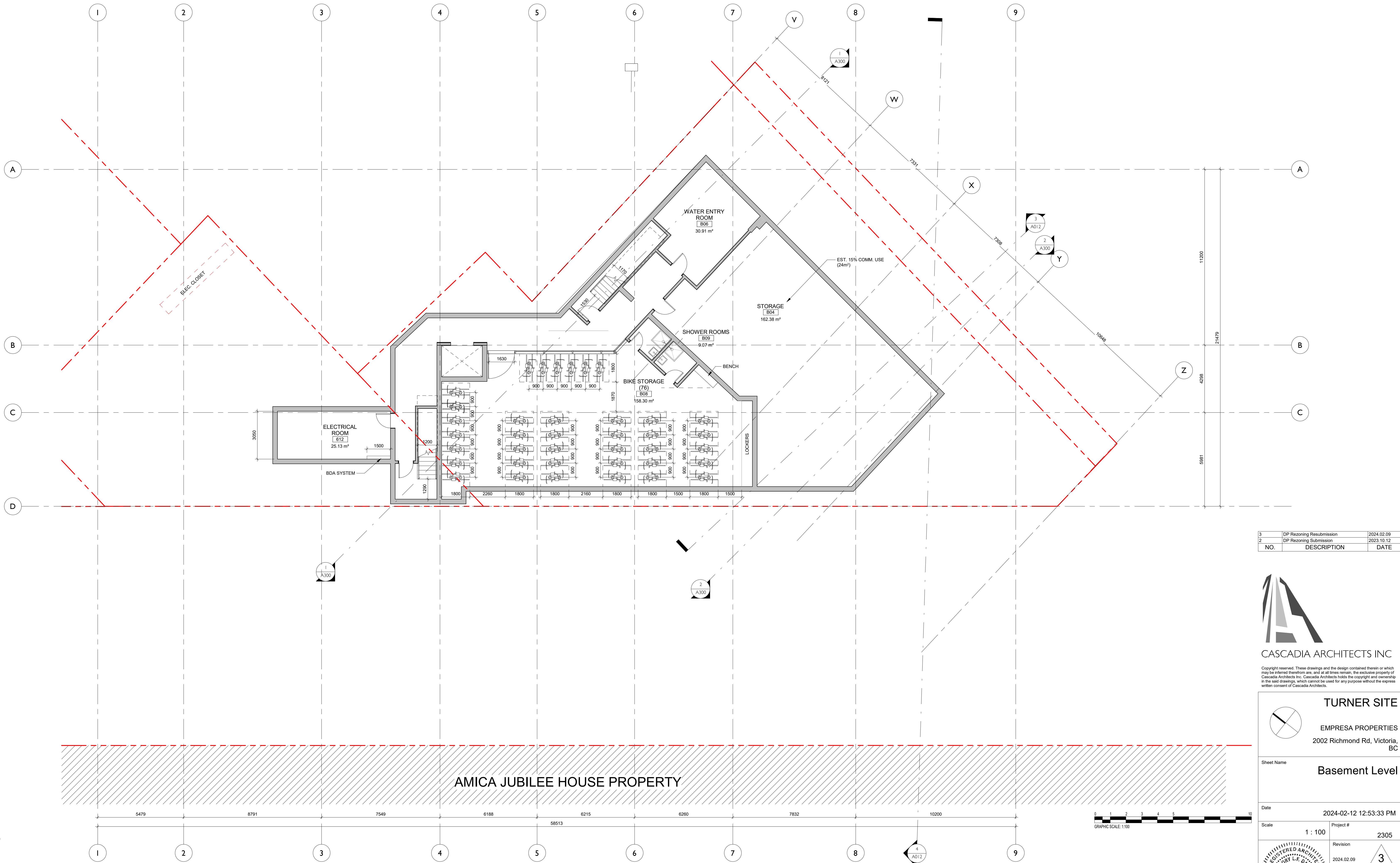
Revision
2024.02.09

Sheet #
3

REGISTERED ARCHITECT
L.F. DAWSON
2024.02.12
BRITISH COLUMBIA

A101

*PRIMARY SETBACKS NOTED THIS PAGE. SEE PAGE A121 FOR ADDITIONAL INTERIOR SETBACKS.
** MOST RESTRICTIVE CRU USE APPLIED FOR SCHEDULE-C CALCULATIONS



NO.	DESCRIPTION	DATE
3	DP Rezoning Resubmission	2024.02.09
2	DP Rezoning Submission	2023.10.12



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TURNER SITE
 EMPRESA PROPERTIES
 2002 Richmond Rd, Victoria, BC

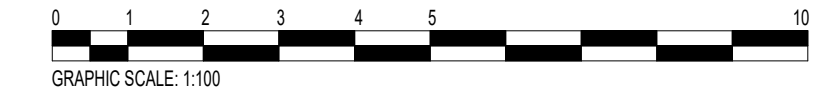
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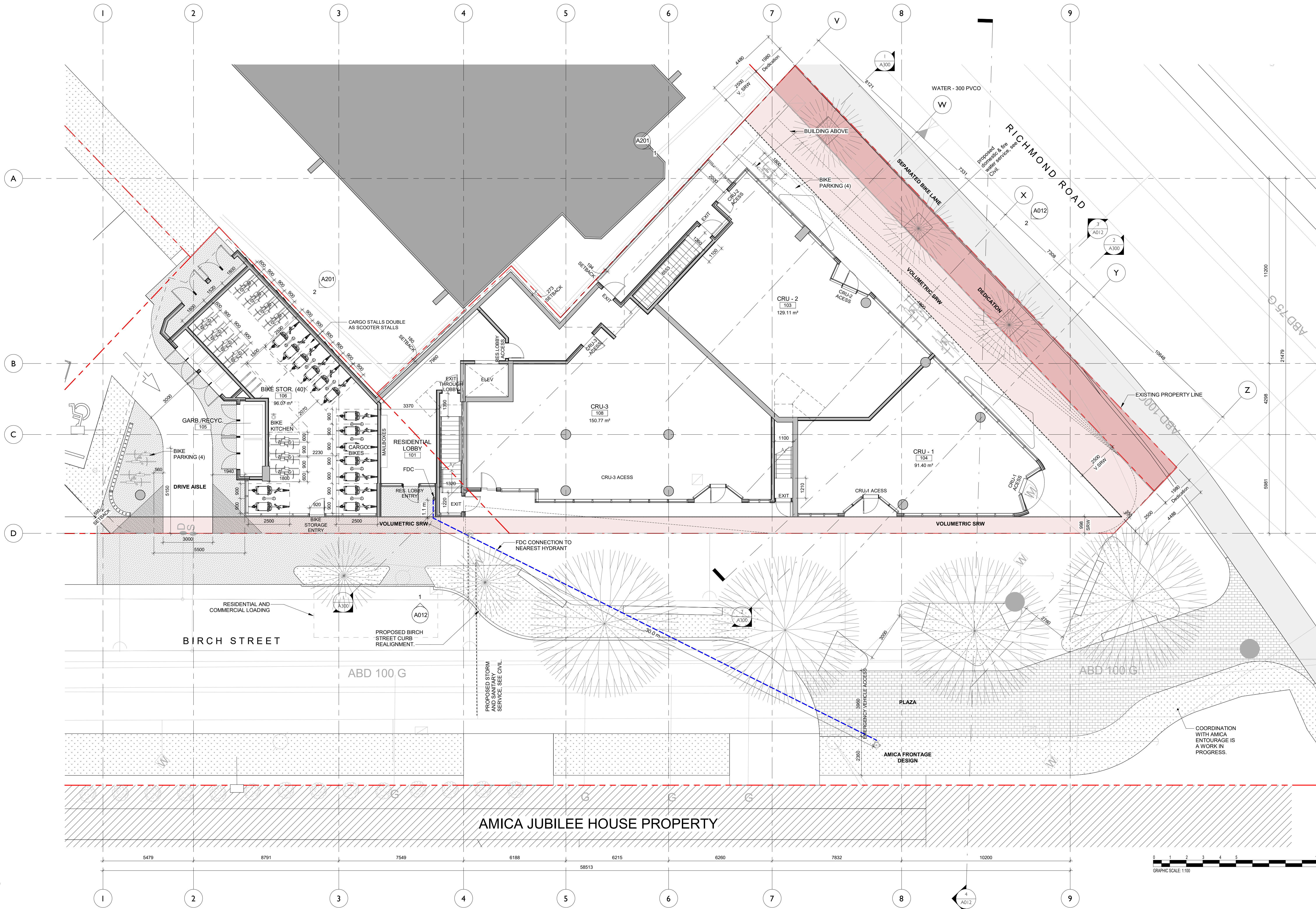
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 2305

Revision
 2024.02.09 **3**

Sheet #
A120



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NO.	DESCRIPTION	DATE
3	DP Rezoning Resubmission	2024.02.09
2	DP Rezoning Submission	2023.10.12
1	Development Tracker	2023.08.04



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TURNER SITE
 EMPRESA PROPERTIES
 2002 Richmond Rd, Victoria, BC

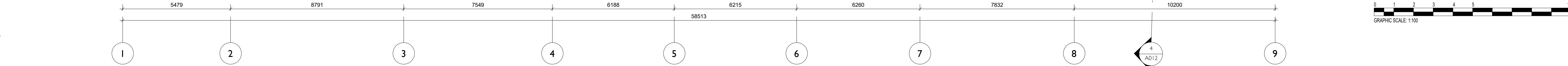
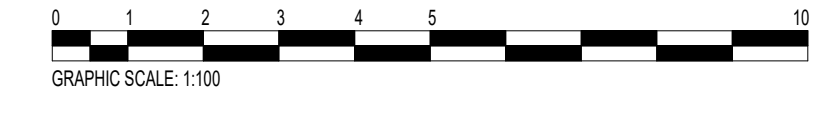
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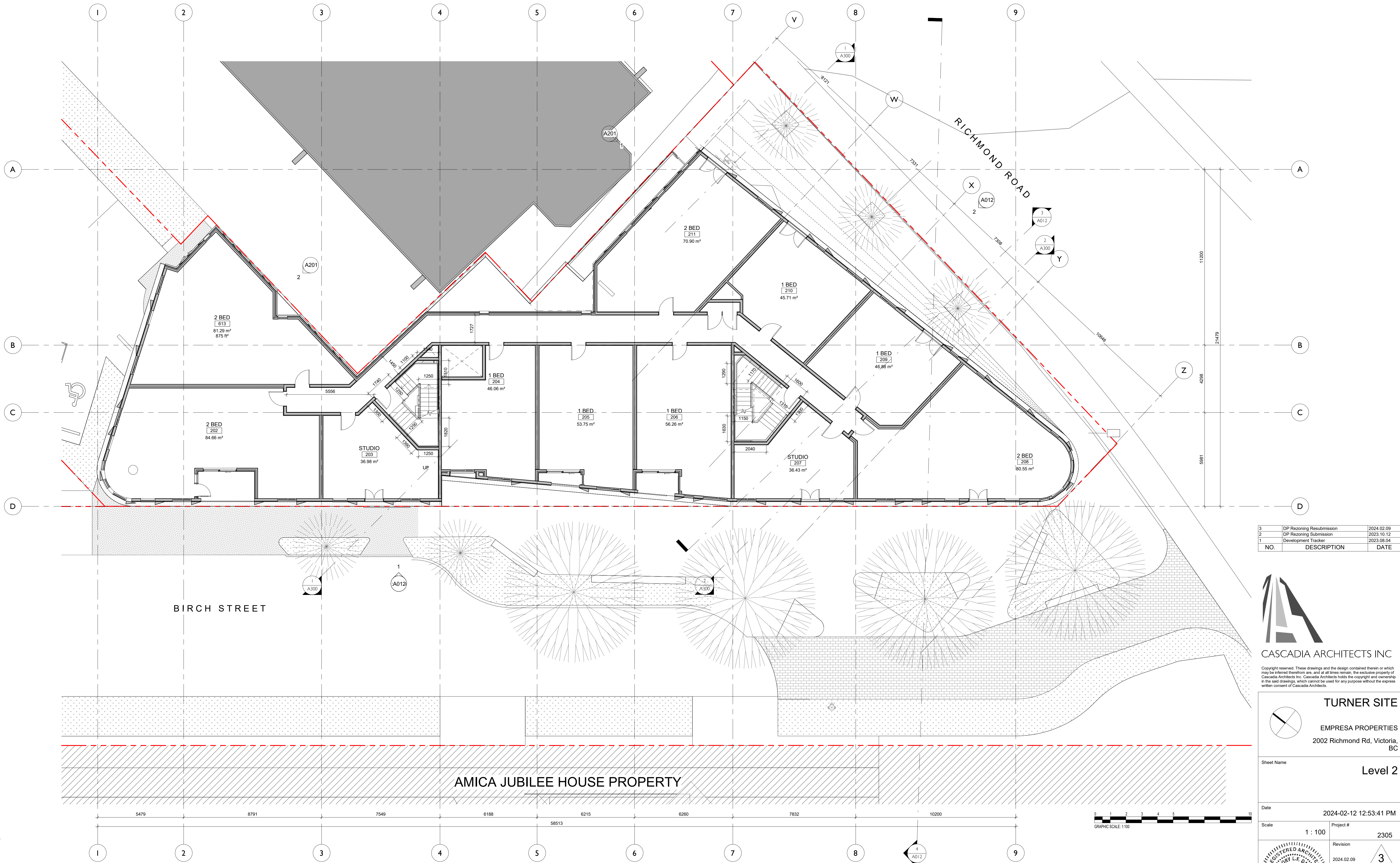
Scale
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 2305

Revision
 2024.02.09 **3**

Sheet #
A121



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NO.	DESCRIPTION	DATE
3	DP Rezoning Resubmission	2024.02.09
2	DP Rezoning Submission	2023.10.12
1	Development Tracker	2023.08.04



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TURNER SITE
 EMPRESA PROPERTIES
 2002 Richmond Rd, Victoria, BC

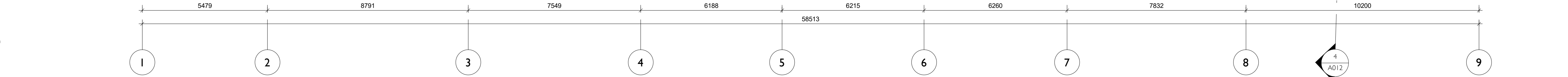
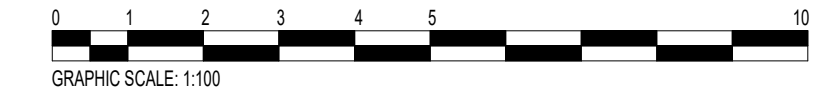
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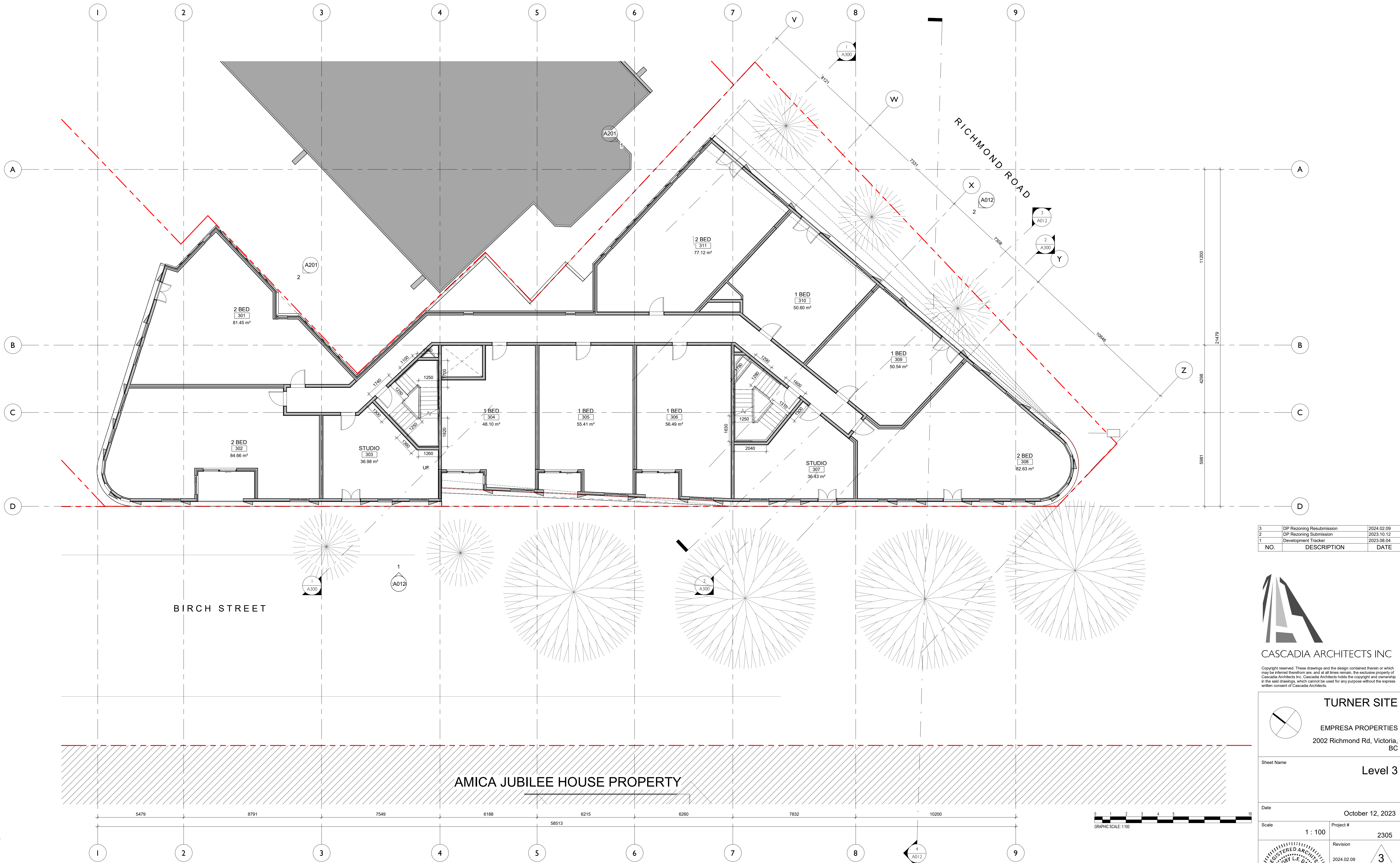
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Revision
 2024.02.09 **3**

Sheet #
A122



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NO.	DESCRIPTION	DATE
3	DP Rezoning Resubmission	2024.02.09
2	DP Rezoning Submission	2023.10.12
1	Development Tracker	2023.08.04



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TURNER SITE
 EMPRESA PROPERTIES
 2002 Richmond Rd, Victoria, BC

Sheet Name
Level 3

Date
 October 12, 2023

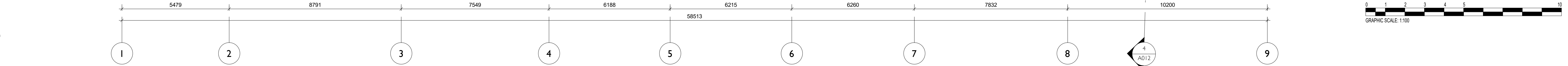
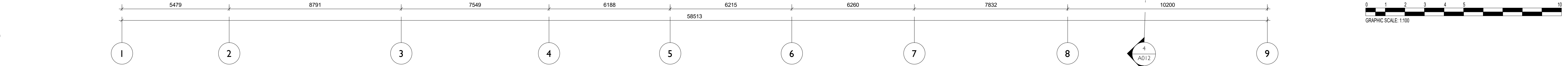
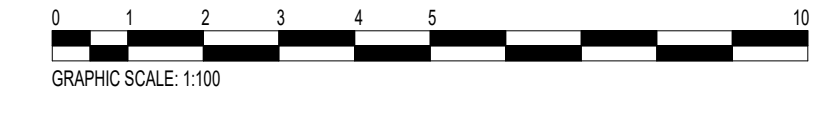
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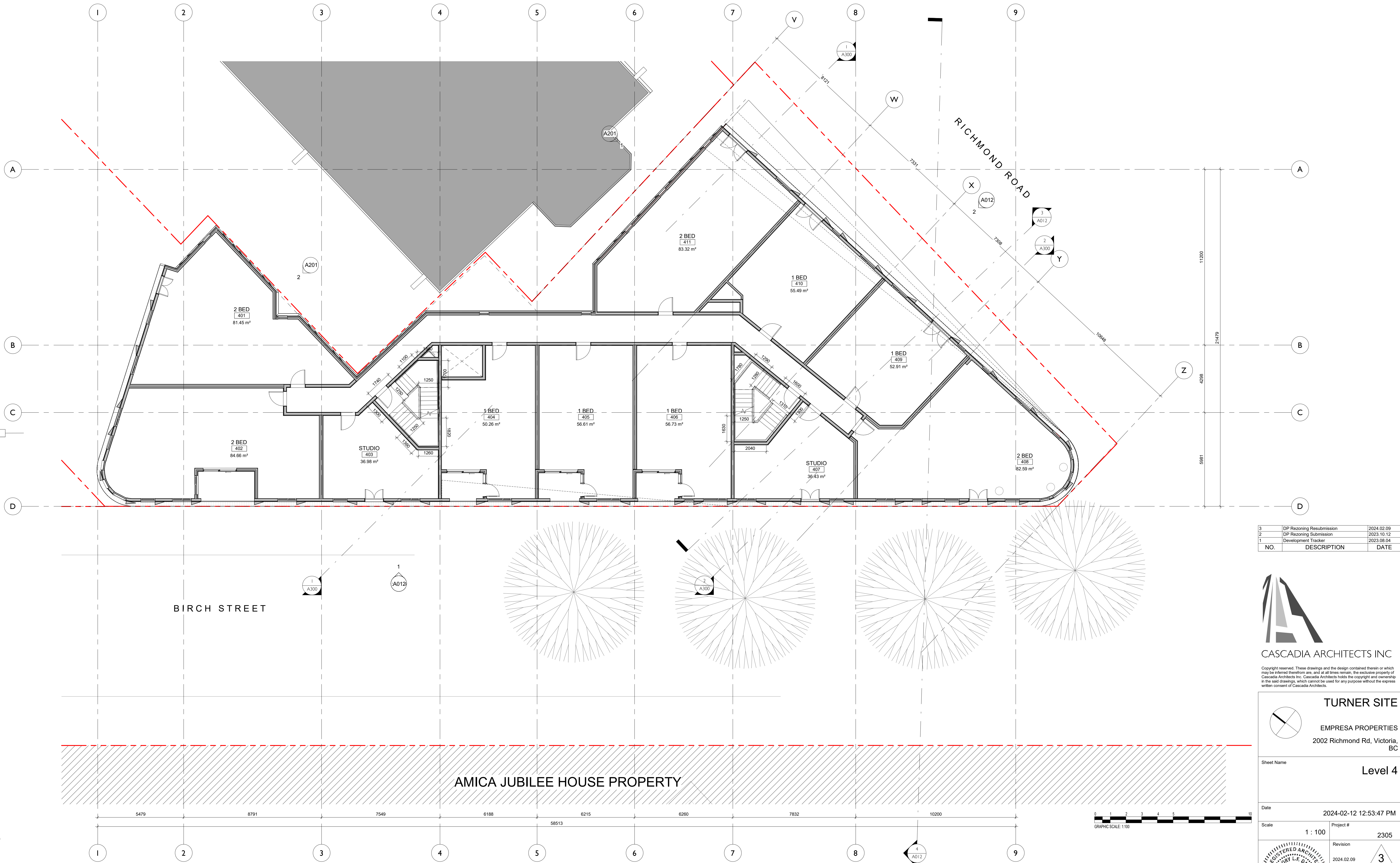
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Revision
 2024.02.09 **3**

Sheet #
A123

2024-02-12 12:53:44 PM





NO.	DESCRIPTION	DATE
3	DP Rezoning Resubmission	2024.02.09
2	DP Rezoning Submission	2023.10.12
1	Development Tracker	2023.08.04



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TURNER SITE
 EMPRESA PROPERTIES
 2002 Richmond Rd, Victoria, BC

Sheet Name
Level 4

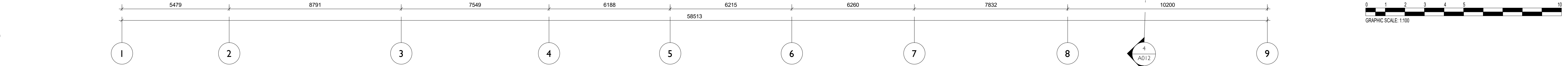
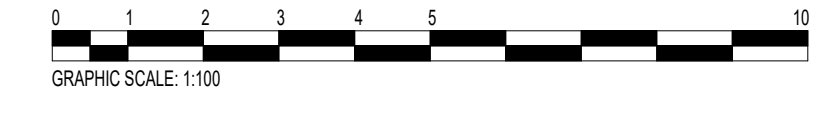
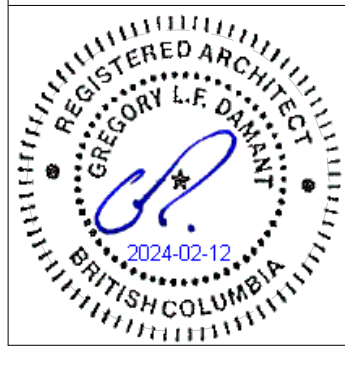
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Scale
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Project #
 2305

Revision
 2024.02.09 **3**

Sheet #
A124





NO.	DESCRIPTION	DATE
3	DP Rezoning Resubmission	2024.02.09
2	DP Rezoning Submission	2023.10.12
1	Development Tracker	2023.08.04



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TURNER SITE
 EMPRESA PROPERTIES
 2002 Richmond Rd, Victoria, BC

Sheet Name
Level 5

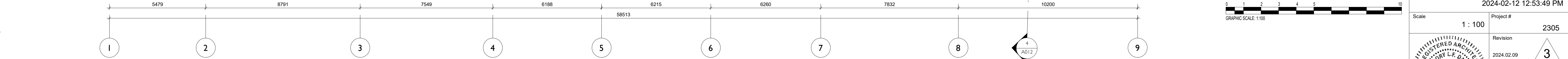
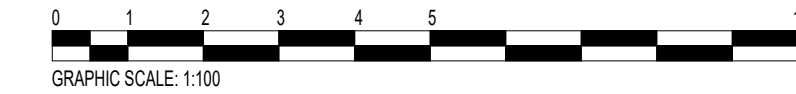
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Scale
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Project #
 2305

Revision
 2024.02.09 **3**

Sheet #
A125



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NO.	DESCRIPTION	DATE
3	DP Rezoning Resubmission	2024.02.09
2	DP Rezoning Submission	2023.10.12
1	Development Tracker	2023.08.04



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TURNER SITE
 EMPRESA PROPERTIES
 2002 Richmond Rd, Victoria, BC

Sheet Name
Level 6

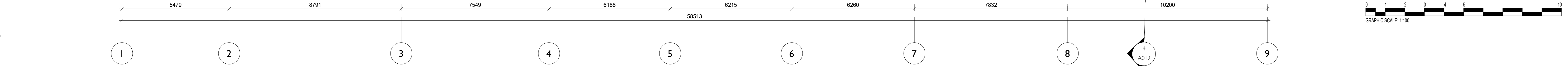
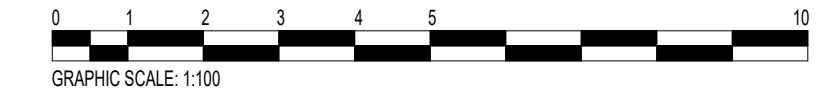
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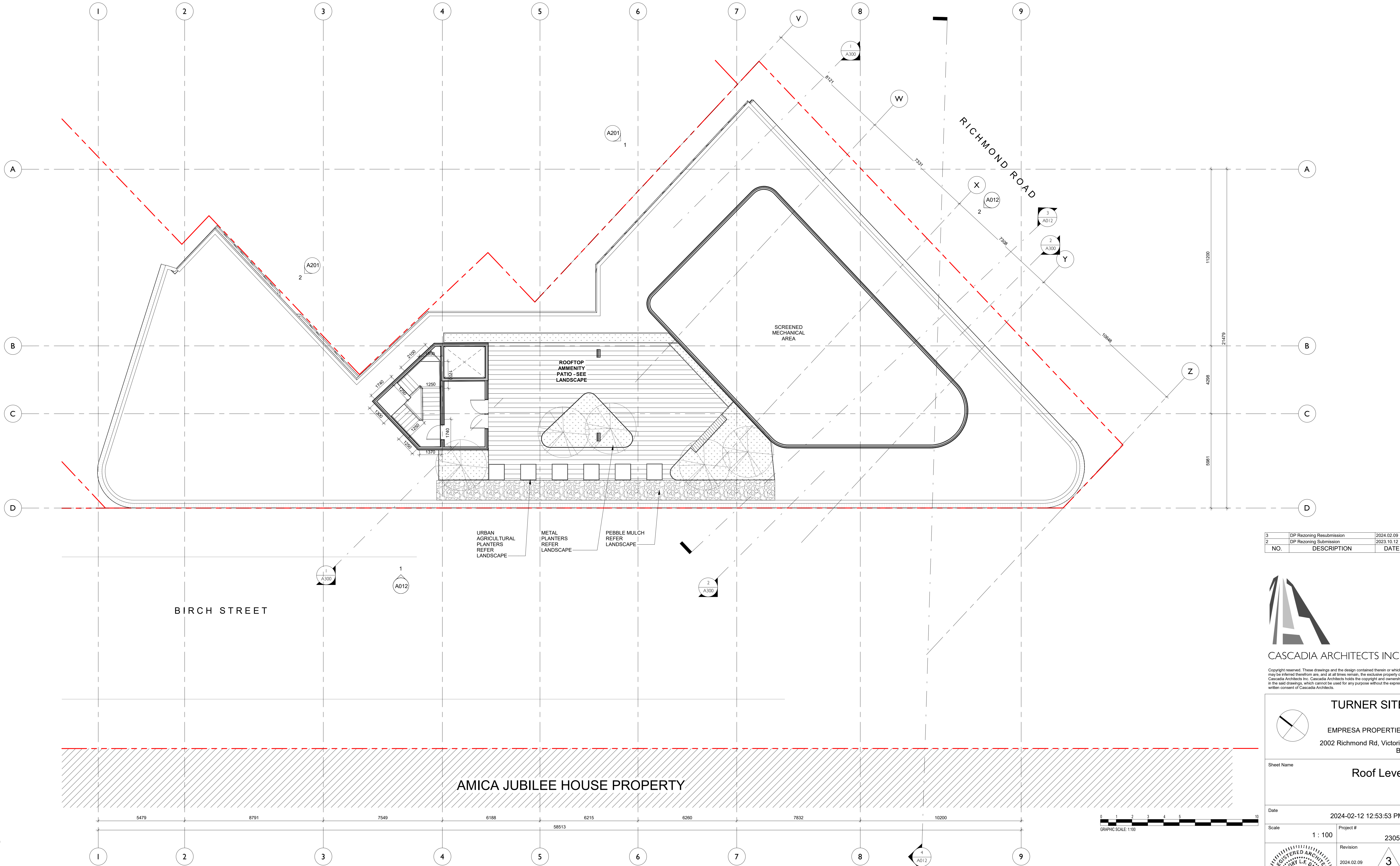
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Project #
 2305

Revision
 2024.02.09 **3**

Sheet #
A126





NO.	DESCRIPTION	DATE
3	DP Rezoning Resubmission	2024.02.09
2	DP Rezoning Submission	2023.10.12

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TURNER SITE
 EMPRESA PROPERTIES
 2002 Richmond Rd, Victoria, BC

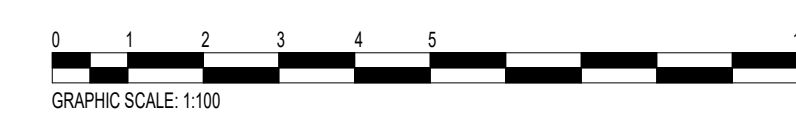
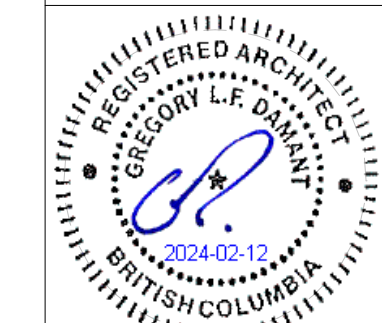
Sheet Name
Roof Level

Date
 2024-02-12 12:53:53 PM

Scale
 1 : 100 Project #
 2305

Revision
 2024.02.09 **3**

Sheet #
A127

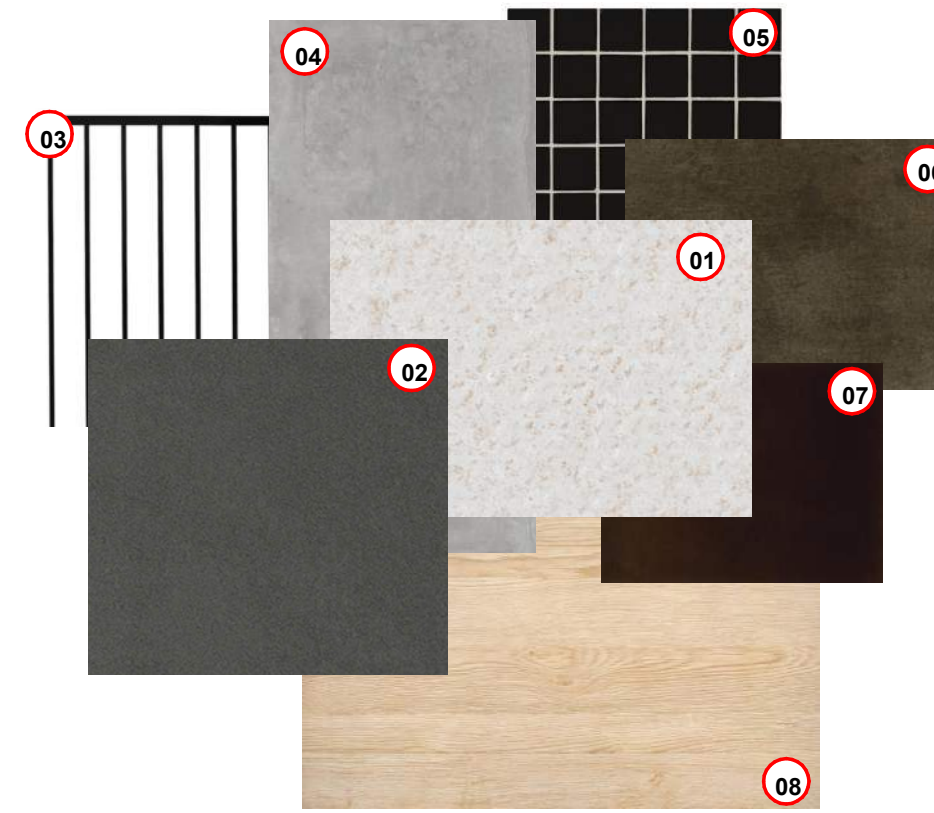


C:\Users\jldwyer\Documents\2305 Turner Site General\A127\RoofLevel.rvt



MATERIALS LEGEND

- 01 Metal Panel - Colour 01
- 02 Cementitious Panel - Dark Colour 02
- 03 Metal Picket - Dark Colour 02
- 04 Cast-in-place Arch. Concrete
- 05 Black tile
- 06 Metal Panel - Colour 02
- 07 Aluminum (Dark) pergola
- 08 Wood



1 Birch Street Elevation
SCALE = 1 : 100



3	DP Rezoning Resubmission	2024.02.09
2	DP Rezoning Submission	2023.10.12
1	Development Tracker	2023.08.04
NO.	DESCRIPTION	DATE



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TURNER SITE

EMPRESA PROPERTIES
2002 Richmond Rd, Victoria, BC

Sheet Name
Elevations

Date
2024-02-12 2:32:23 PM

Scale
As indicated

Project #
2305

Revision
2024.02.09

Revision #
3

Sheet #
A200

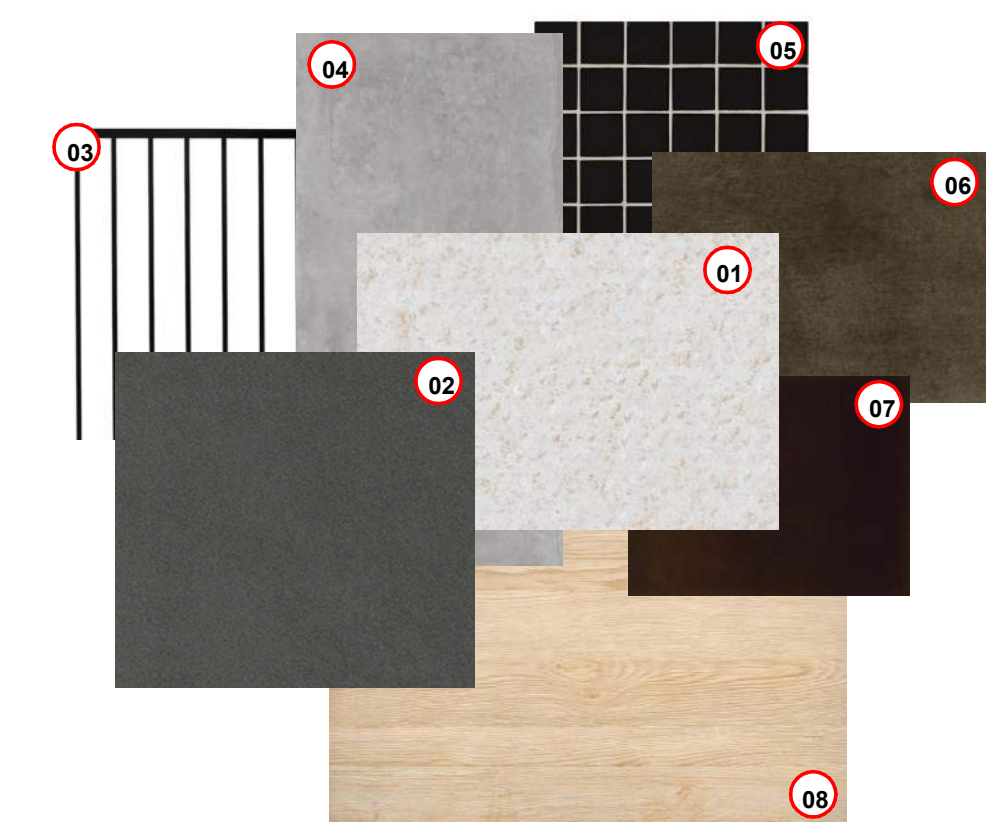
2 Richmond Road Elevation
SCALE = 1 : 100

URBAN AGRICULTURAL PLANTERS REFER LANDSCAPE

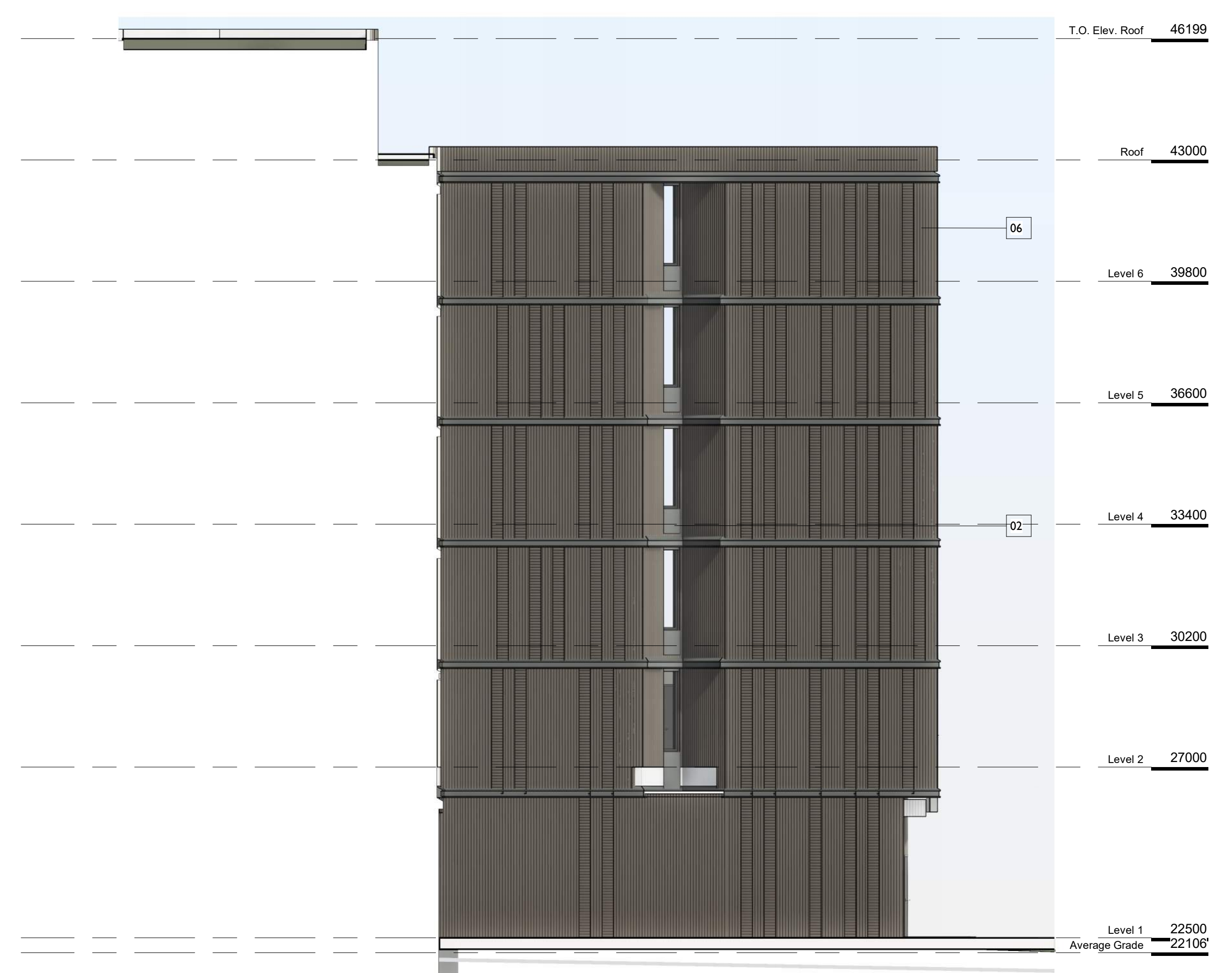


MATERIALS LEGEND

- 01 Metal Panel - Colour 01
- 02 Cementitious Panel - Dark Colour 02
- 03 Metal Picket - Dark Colour 02
- 04 Cast-in-place Arch. Concrete
- 05 Black tile
- 06 Metal Panel - Colour 02
- 07 Aluminum (Dark) pergola
- 08 Wood



1 NORTH FACING ELEVATION FROM 2020 RICHMOND SITE
SCALE = 1 : 100



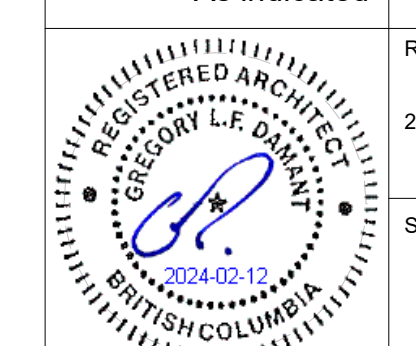
2 EAST FACING ELEVATION FROM 2020 RICHMOND SITE
SCALE = 1 : 100

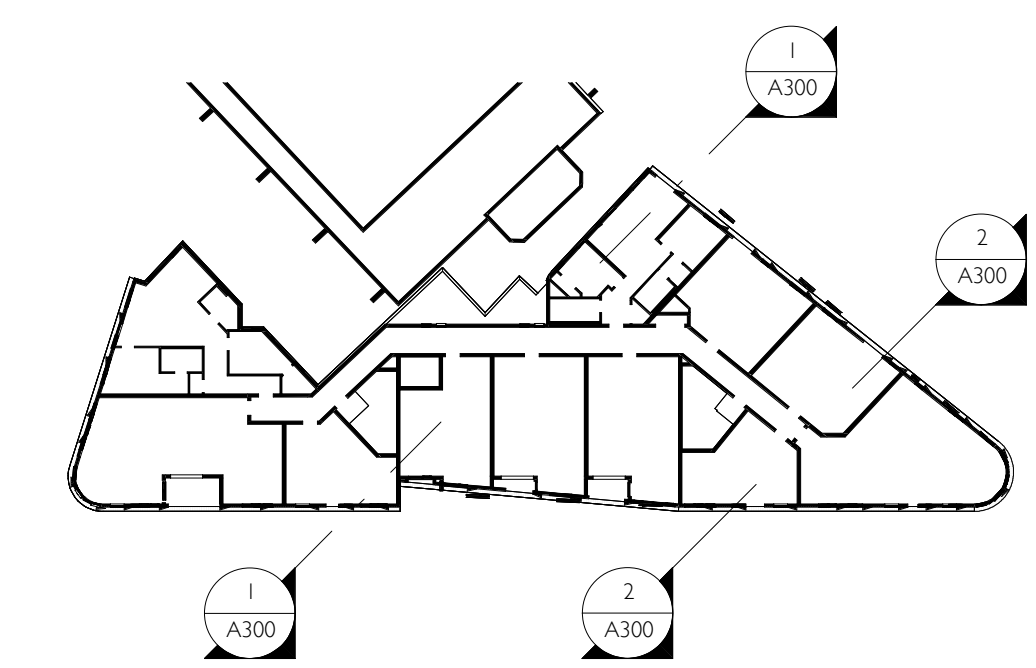
3	DP Rezoning Resubmission	2024.02.09
2	DP Rezoning Submission	2023.10.12
1	Development Tracker	2023.08.04
NO.	DESCRIPTION	DATE



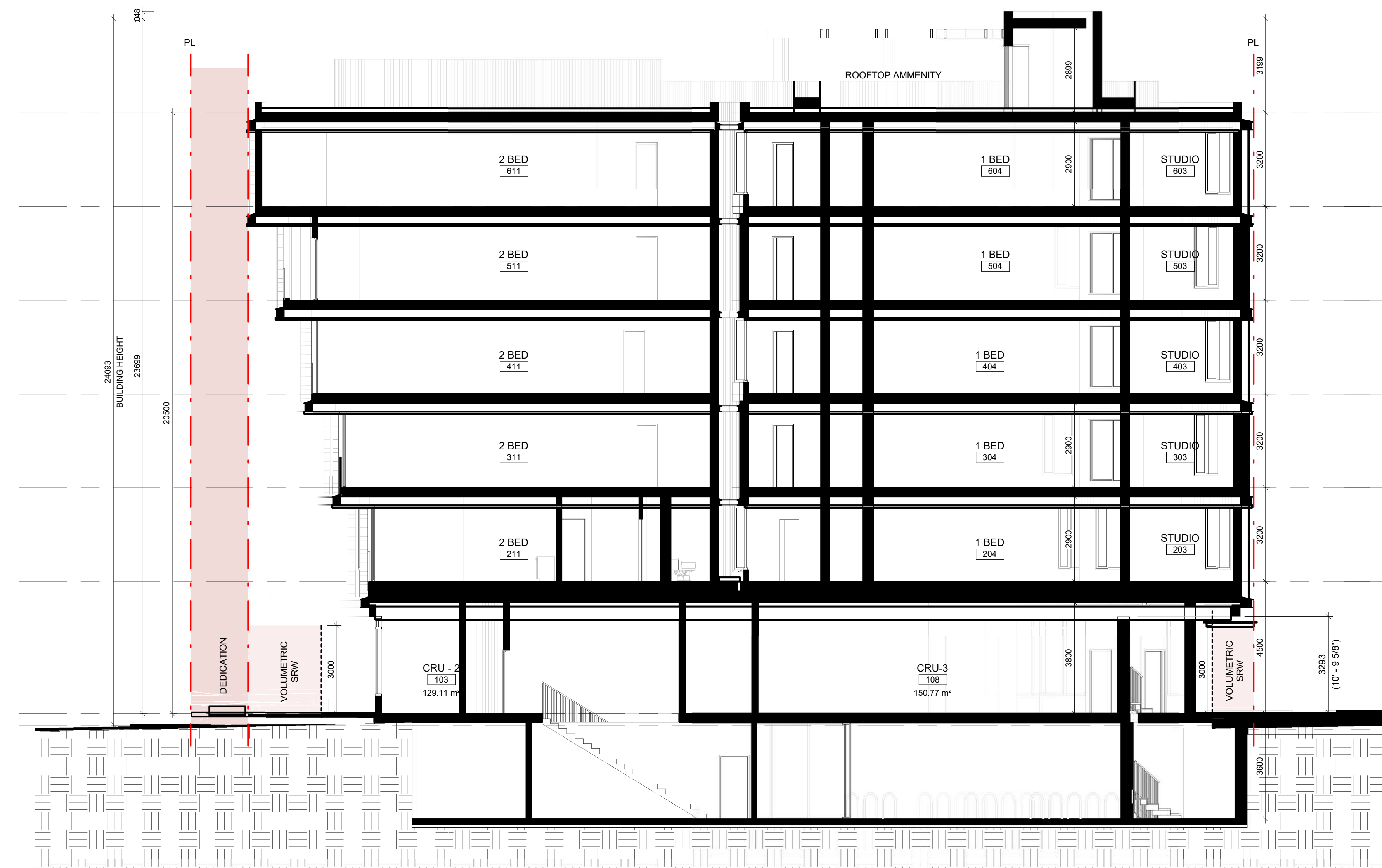
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TURNER SITE	
EMPRESA PROPERTIES 2002 Richmond Rd, Victoria, BC	
Sheet Name	Elevations
Date	2024-02-12 2:33:00 PM
Scale	Project # As indicated 2305
Revision	Revision 2024.02.09 3
Sheet #	A201

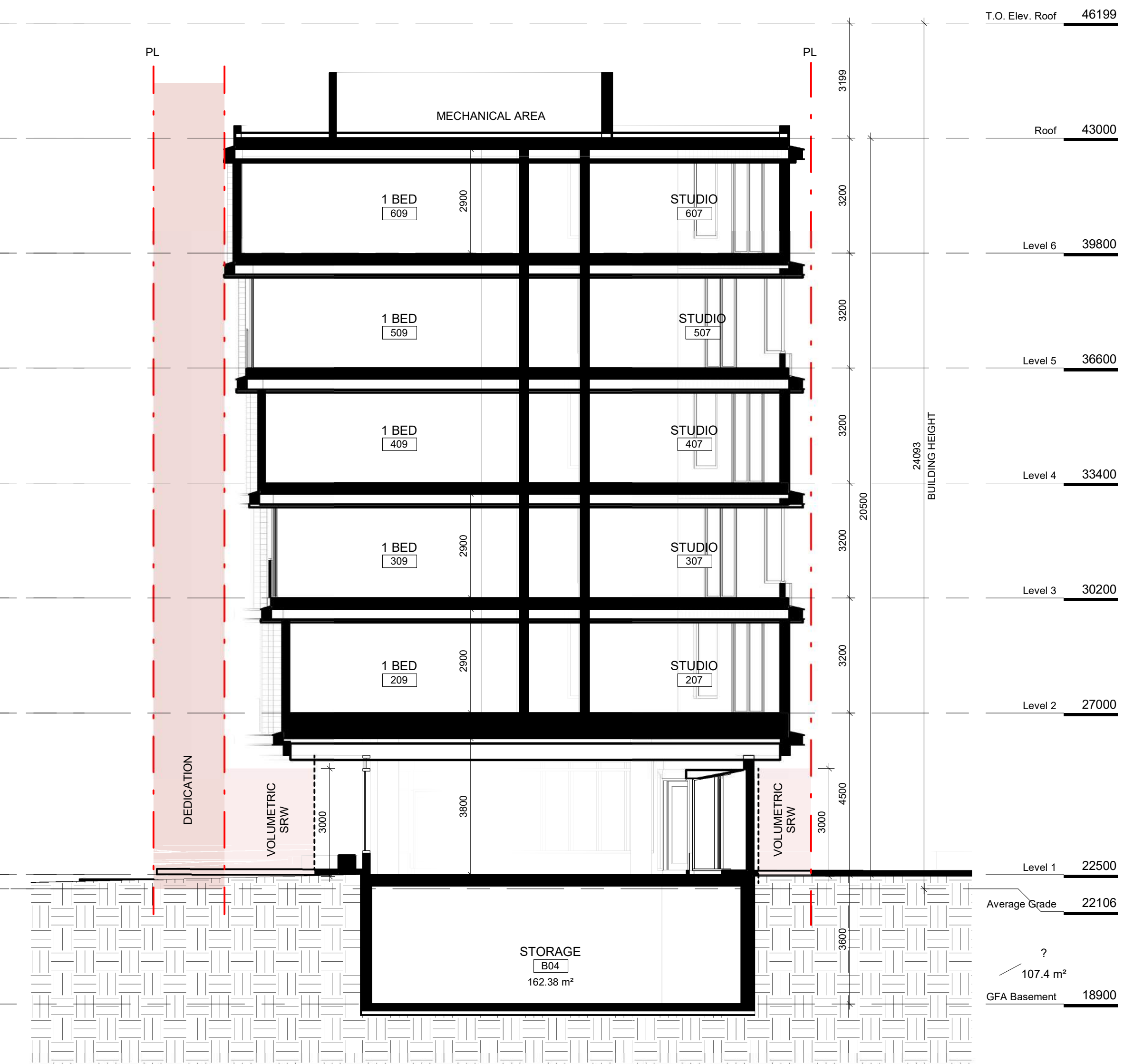




3 Key Plan
SCALE = 1 : 500



1 Section 1
SCALE = 1 : 100



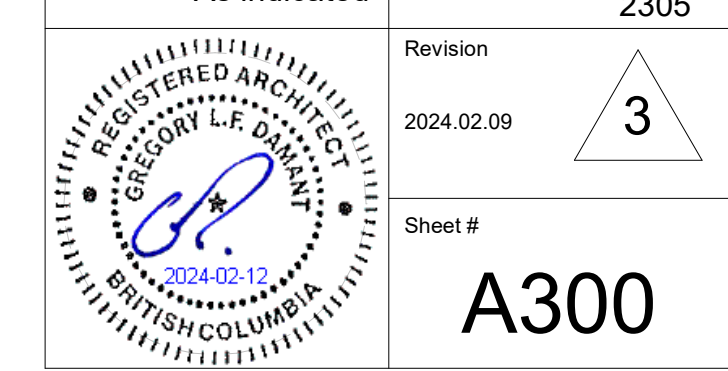
2 Section 2
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NO.	DESCRIPTION	DATE
3	DP Rezoning Resubmission	2024.02.09
2	DP Rezoning Submission	2023.10.12



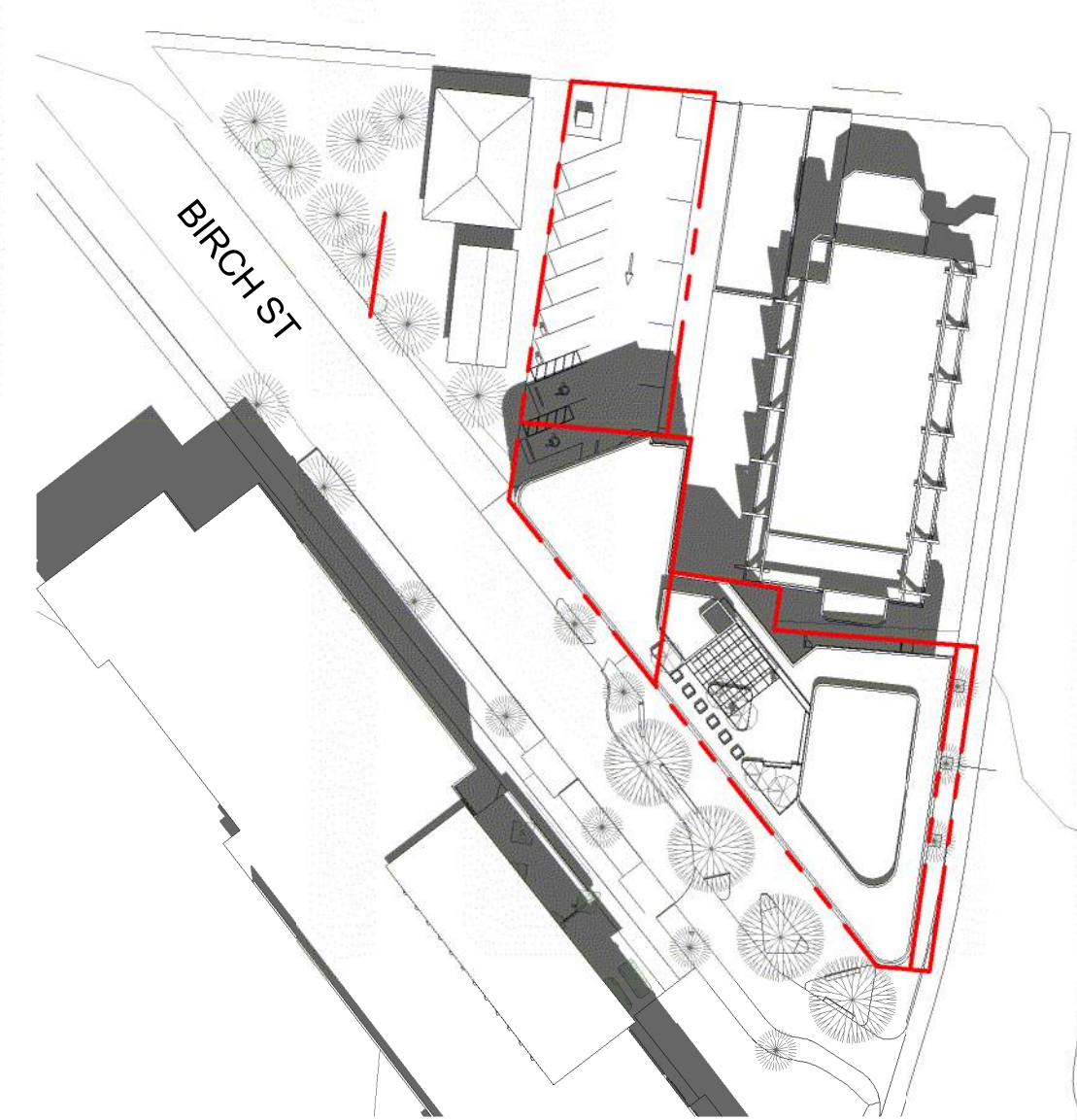
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TURNER SITE	
EMPRESA PROPERTIES 2002 Richmond Rd, Victoria, BC	
Sheet Name	Building Sections
Date	2024-02-12 12:54:45 PM
Scale	As indicated
Project #	2305
Revision	3
Date	2024.02.09
Sheet #	A300

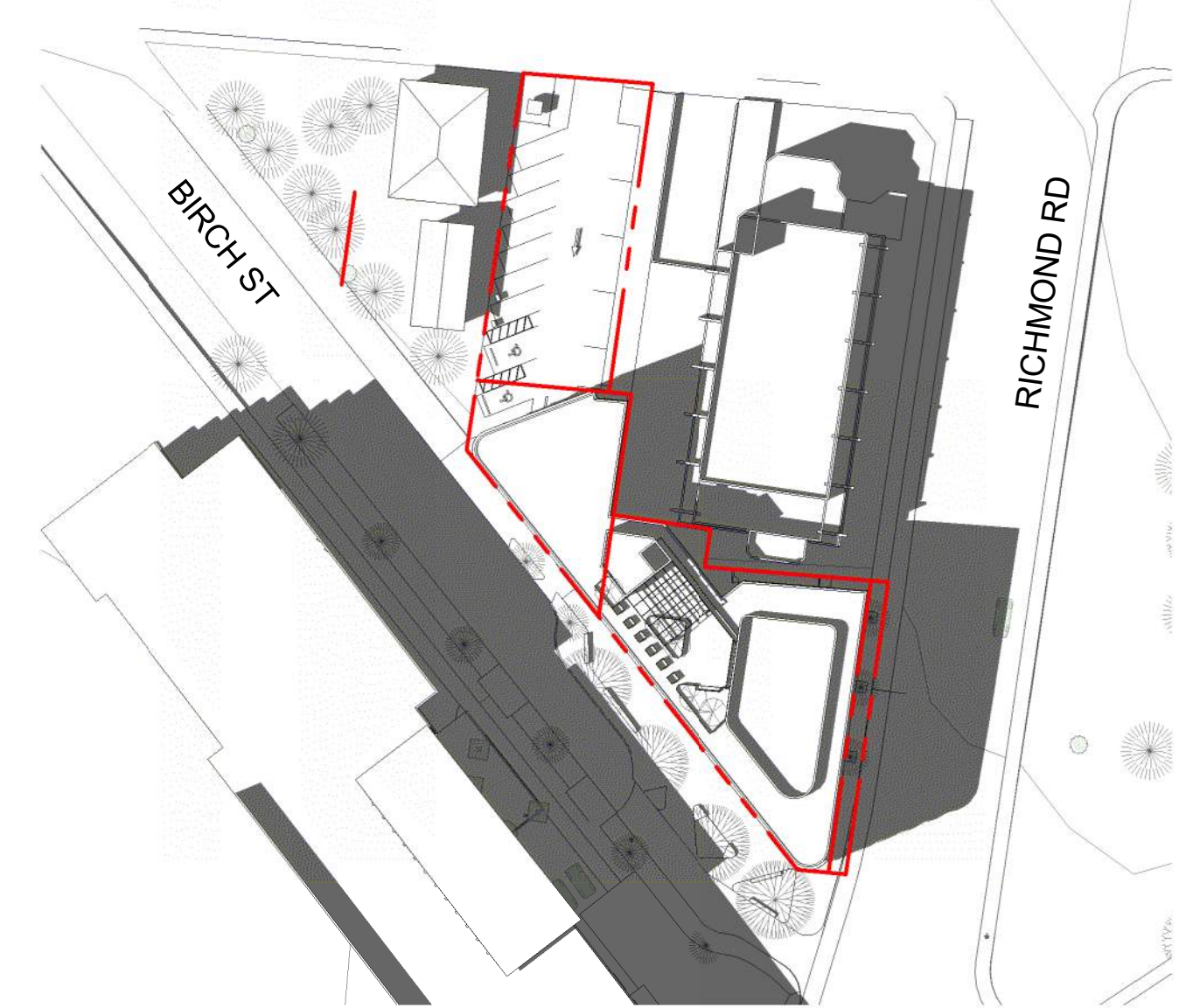




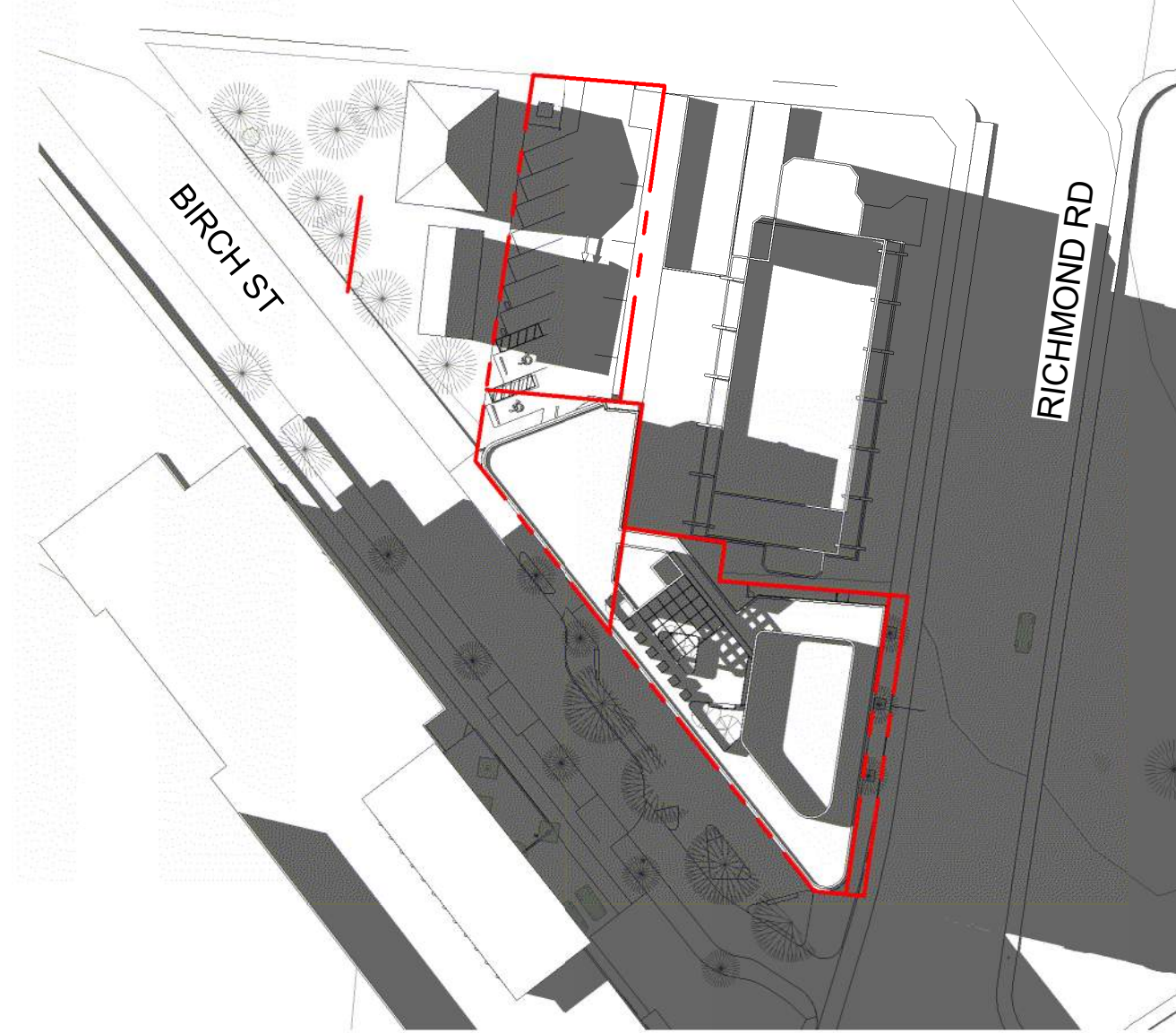
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SCALE = 1 : 750



2 Shadow Study - Summer Solstice 12 PM
SCALE = 1 : 750



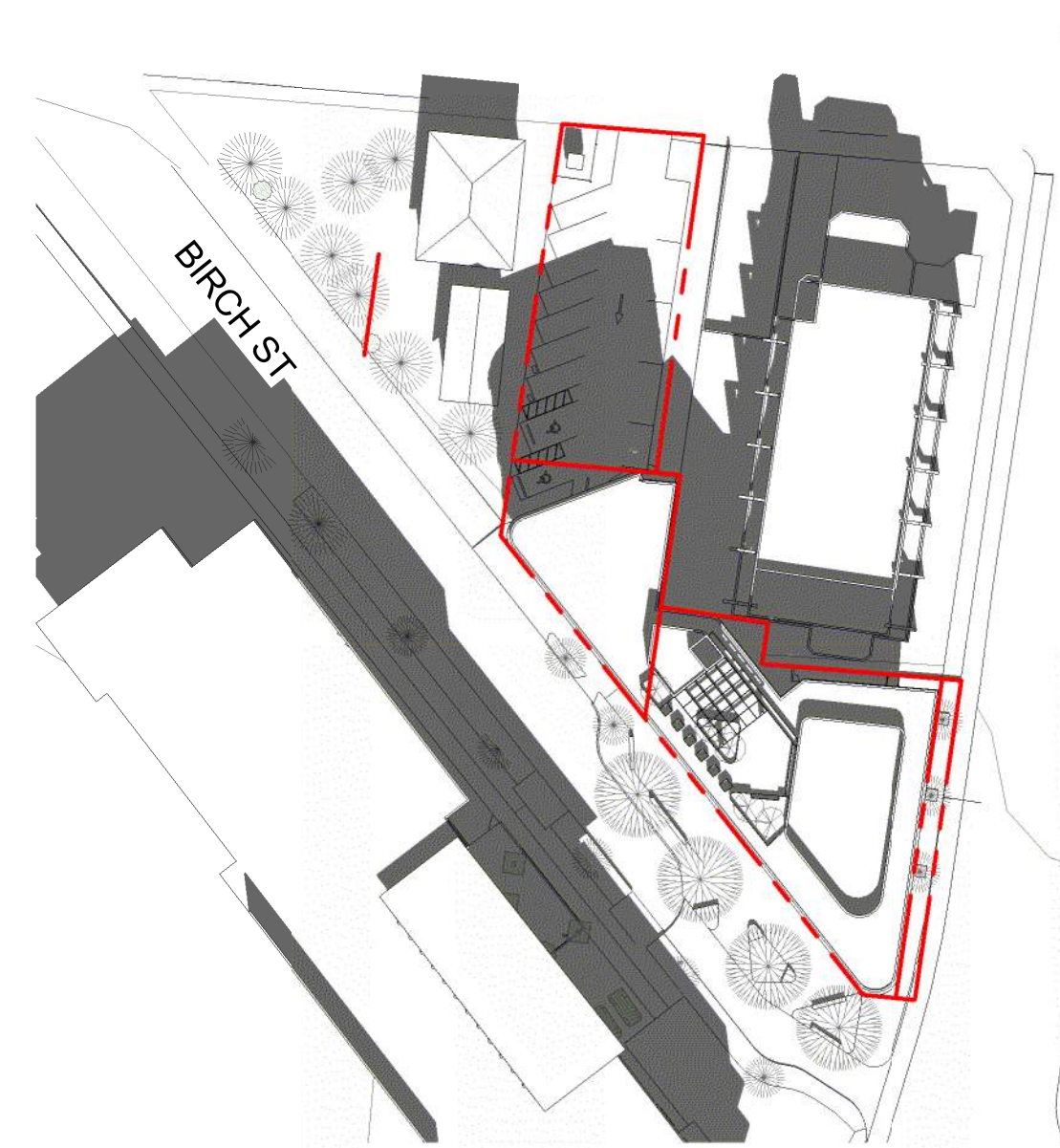
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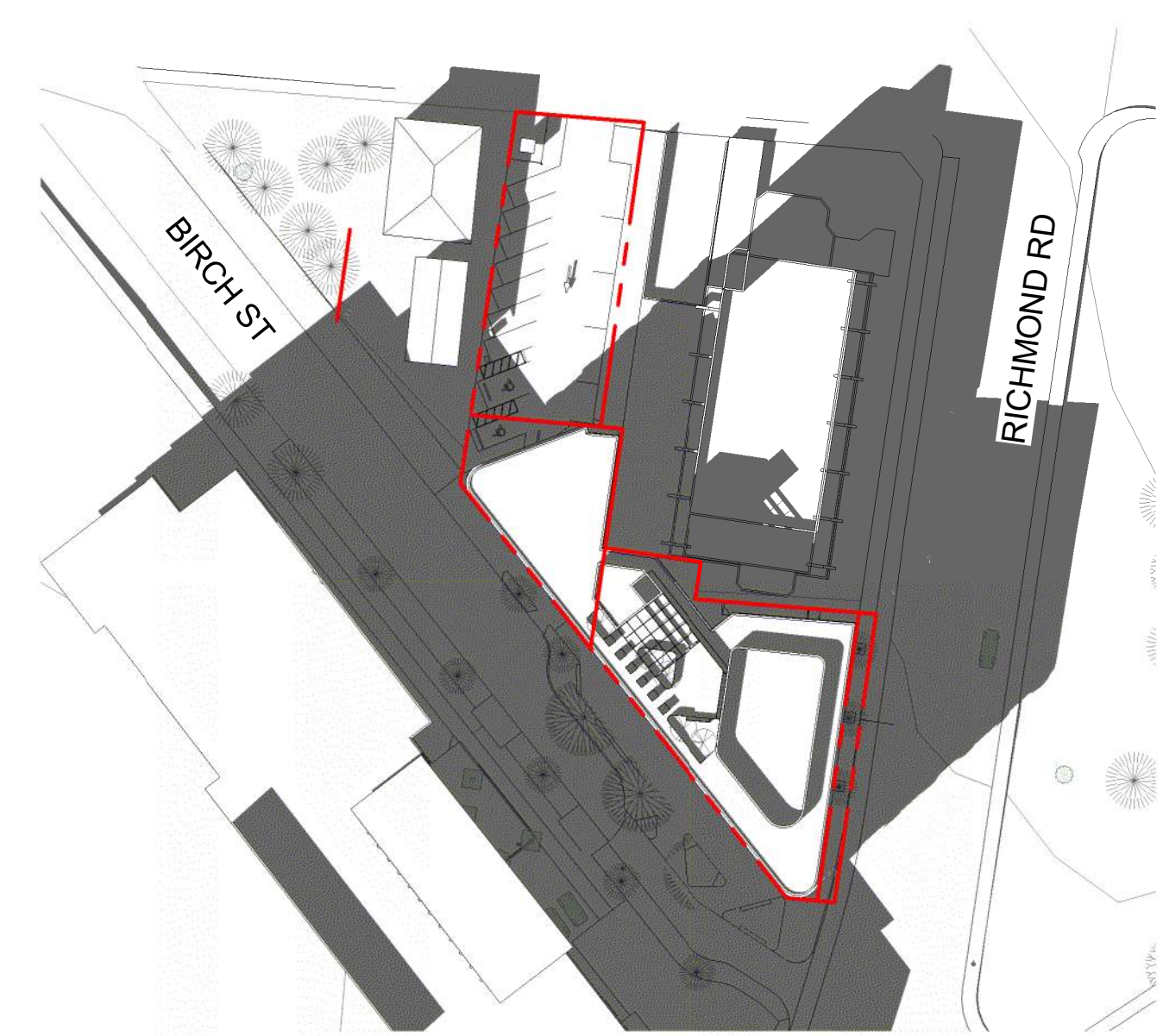
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5 Shadow Study - Equinox 9 AM
SCALE = 1 : 750



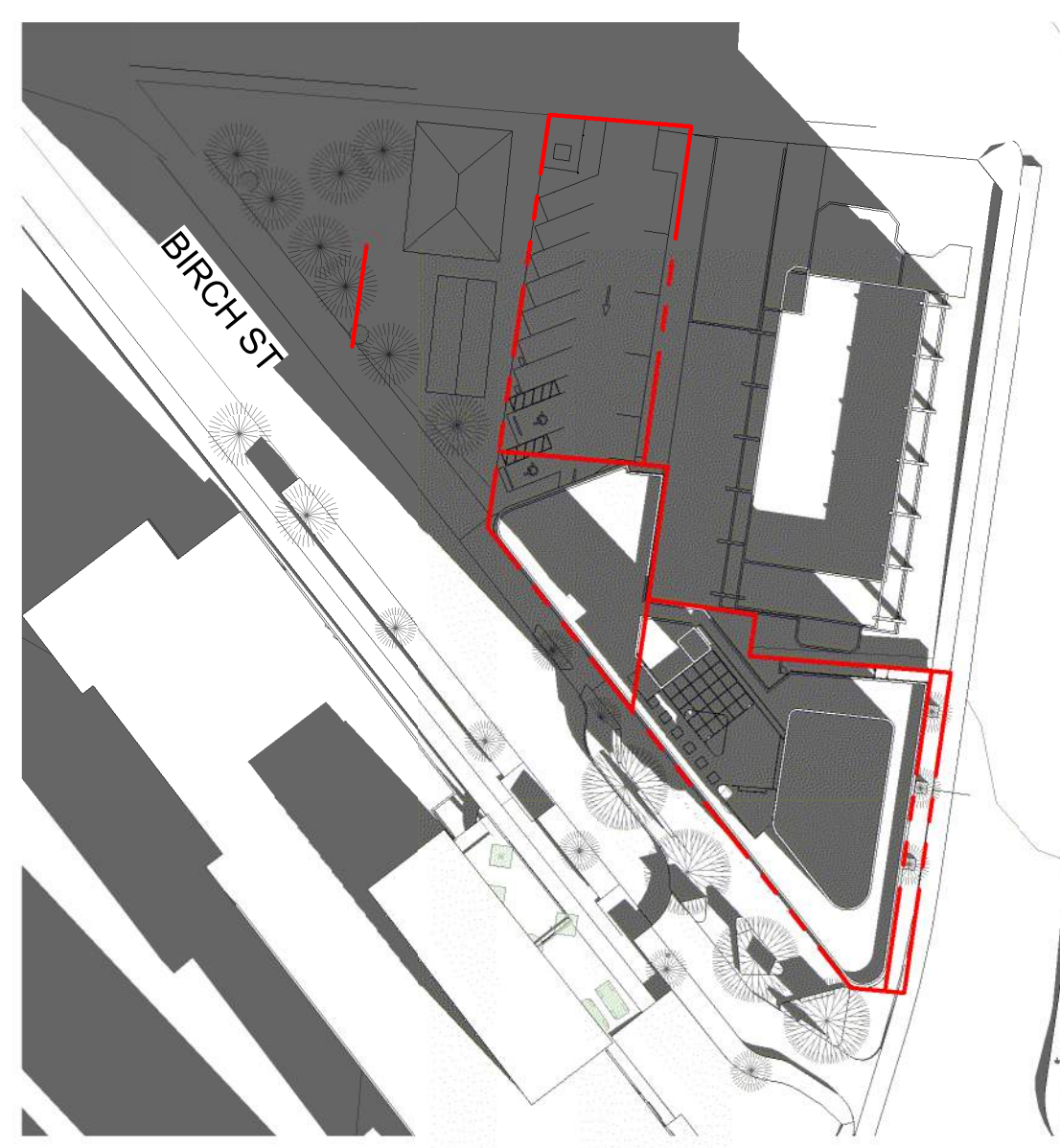
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SCALE = 1 : 750



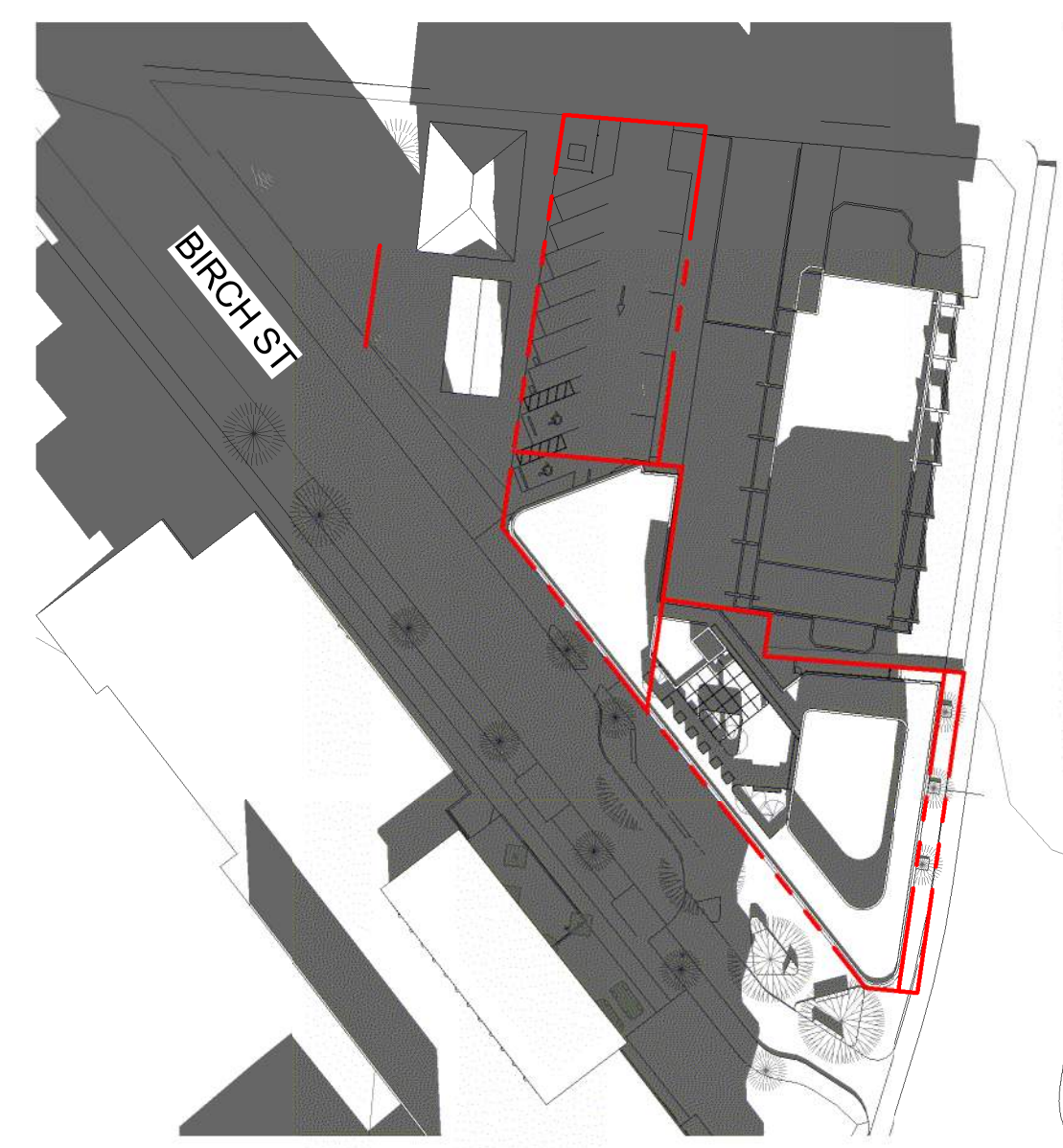
7 Shadow Study - Equinox 3 PM
SCALE = 1 : 750



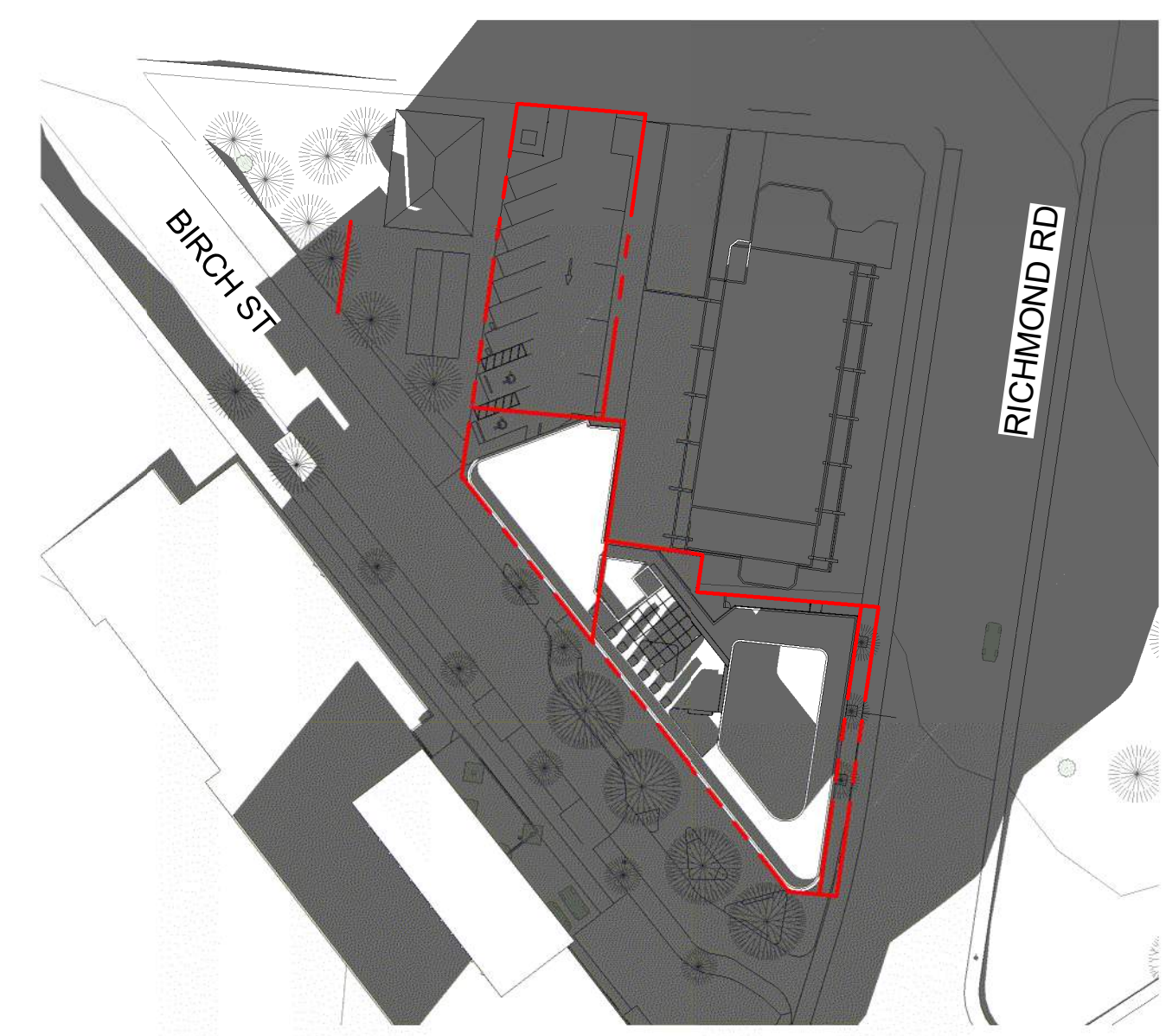
8 Shadow Study - Equinox 6 PM
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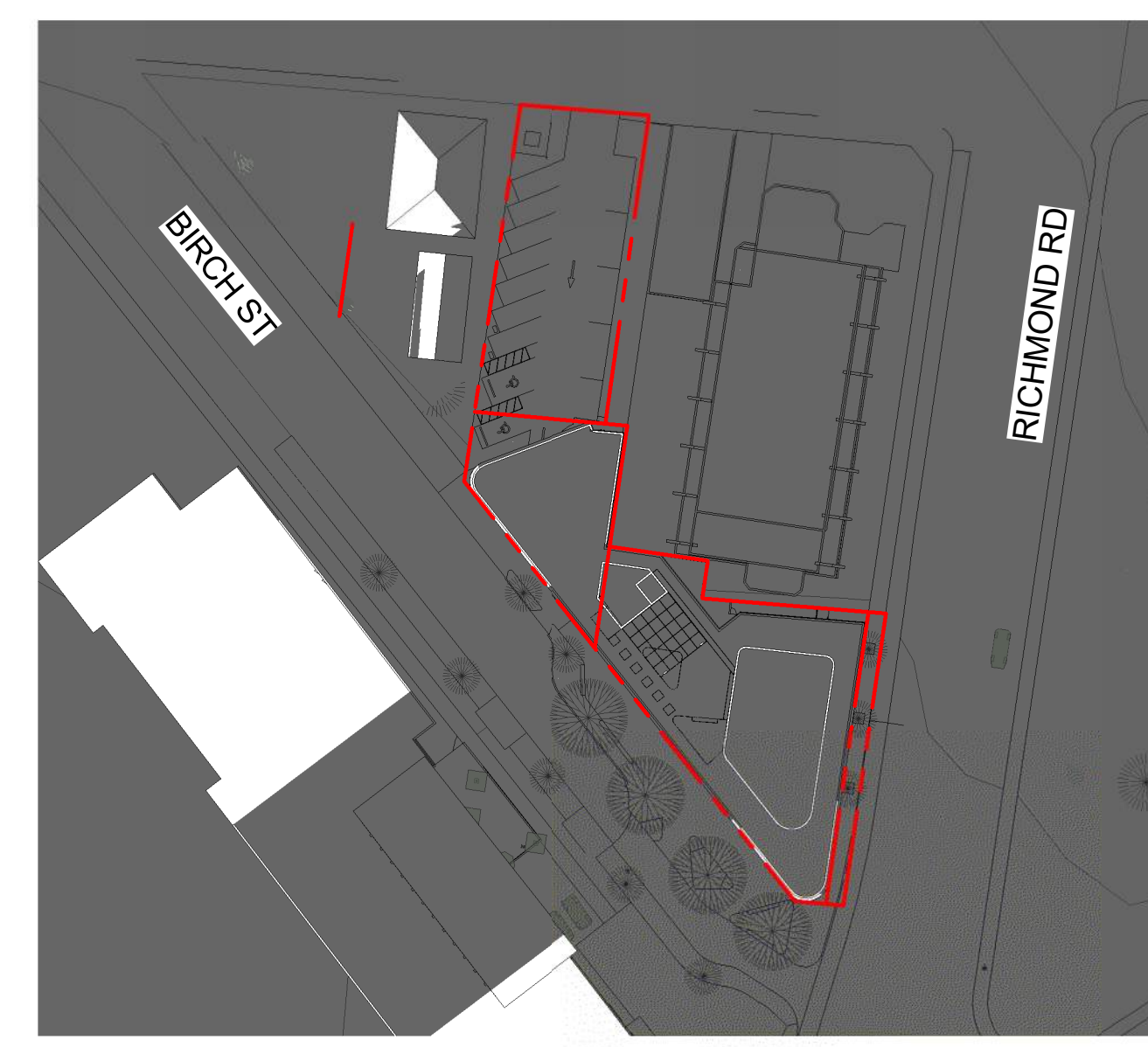
9 Shadow Study - Winter Solstice 9 AM
SCALE = 1 : 750



10 Shadow Study - Winter Solstice 12 PM
SCALE = 1 : 750



11 Shadow Study - Winter Solstice 3 PM
SCALE = 1 : 750



12 Shadow Study - Winter Solstice 6 PM
SCALE = 1 : 750

2	DP Rezoning Submission	2023.10.12
1	Development Tracker	2023.08.04
NO.	DESCRIPTION	DATE

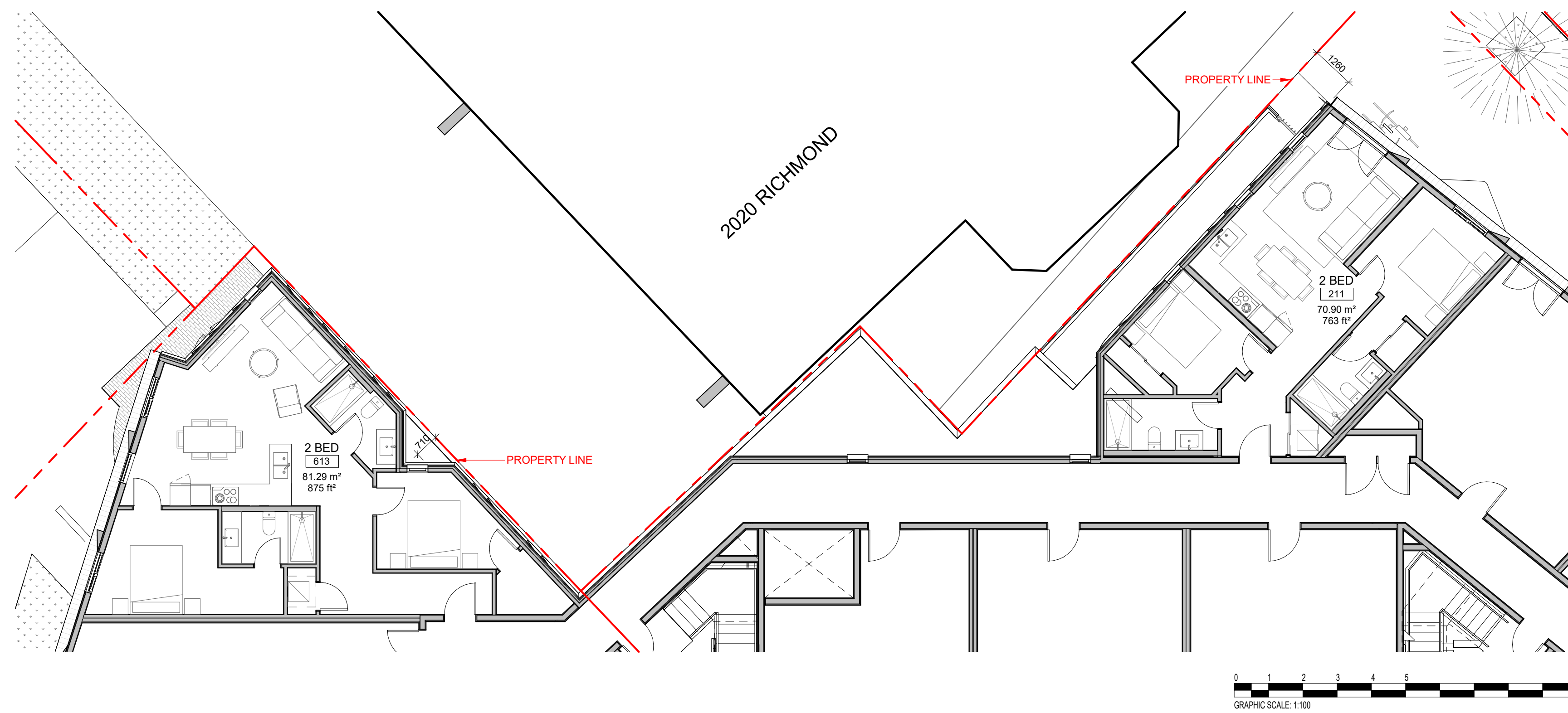


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TURNER SITE	
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Sheet Name Shadow Study	
Date	2024-02-12 12:55:00 PM
Scale	Project # 1 : 750 2305
Revision	2
Sheet #	A900

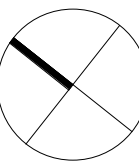

C:\Users\ltdwyer\Documents\2305 Turner Site\General\Winter\ShadowStudy



NO.	DESCRIPTION	DATE
3	DP Rezoning Resubmission	2024.02.09



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 TURNER SITE EMPRESA PROPERTIES 2002 Richmond Rd, Victoria, BC	
Sheet Name Unit Layouts along PL	
Date 2024-02-12 3:05:46 PM	
Scale 1 : 100	Project # 2305
	Revision 2024.02.09 3
Sheet # A128	

TURNER SITE

2002 RICHMOND RD. VICTORIA, BC

SHEET LIST

L0.00 COVER PAGE

L0.01 TREE MANAGEMENT PLAN

L0.02 TREE MANAGEMENT PLAN

L1.01 MATERIALS PLAN - LEVEL 1

L1.02 MATERIALS PLAN - ROOFTOP

L2.00 PLANTING SCHEDULE - LEVEL 1

L2.01 TREE PLANTING PLAN - LEVEL 1

L2.02 PLANTING PLAN - LEVEL 1

L2.03 TREE PLANTING PLAN - ROOFTOP

L2.04 PLANTING PLAN - ROOFTOP

L3.01 SOIL DEPTH PLAN - LEVEL 1

L3.02 SOIL DEPTH PLAN - ROOFTOP

L4.01 LIGHTING PLAN - LEVEL 1

L4.02 LIGHTING PLAN - ROOFTOP

L5.01 SECTIONS

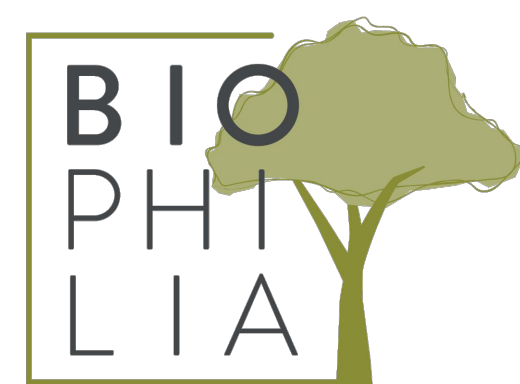
L6.01 DETAILS

GENERAL LANDSCAPE NOTES

STANDARDS:

1. ALL WORK ON MUNICIPAL PROPERTY TO CONFORM TO THE CITY OF VICTORIA DEVELOPMENT STANDARDS
2. ALL WORK ON THE DEVELOPMENT SITE TO CONFORM TO THE BC LANDSCAPE STANDARD (BCLS) AND THE MASTER MUNICIPAL CONSTRUCTION DOCUMENTS PLATINUM EDITION (MMCD) AND MMCD SUPPLEMENTAL DRAWINGS AND SPECIFICATIONS, UNLESS SPECIFICALLY STATED OTHERWISE IN WRITTEN SPECIFICATIONS AND ON DRAWINGS.
3. IN CASES OF CONFLICT BETWEEN THE BCLS AND THE MMCD STANDARDS, THE MORE STRINGENT REQUIREMENT WILL TAKE PRECEDENCE.
4. LANDSCAPE CONTRACTOR TO BE FAMILIAR WITH MUNICIPAL DEVELOPMENT STANDARDS AND BE IN POSSESSION OF THE BCLS AND MMCD MANUALS AND SUPPLEMENTAL DRAWINGS AND SPECIFICATIONS.
5. GROWING MEDIUM AND GROWING MEDIUM TESTING TO MMCD AND BCLS SECTION 6.
6. IRRIGATION TO IABC AND BCLS STANDARDS.





1608 Camosun Street, Victoria BC V8T 3E6
 Info@biophilicollective.ca 250 590 1156

OWNER/CLIENT:
EMPRESA PROPERTIES

PROJECT NAME:
TURNER SITE

PROJECT ADDRESS:
**2002 RICHMOND RD
 VICTORIA, BC.**

DESIGNED BY: BIANCA BODLEY
 DRAWN BY: GRACE MORAZZANI

LEGEND

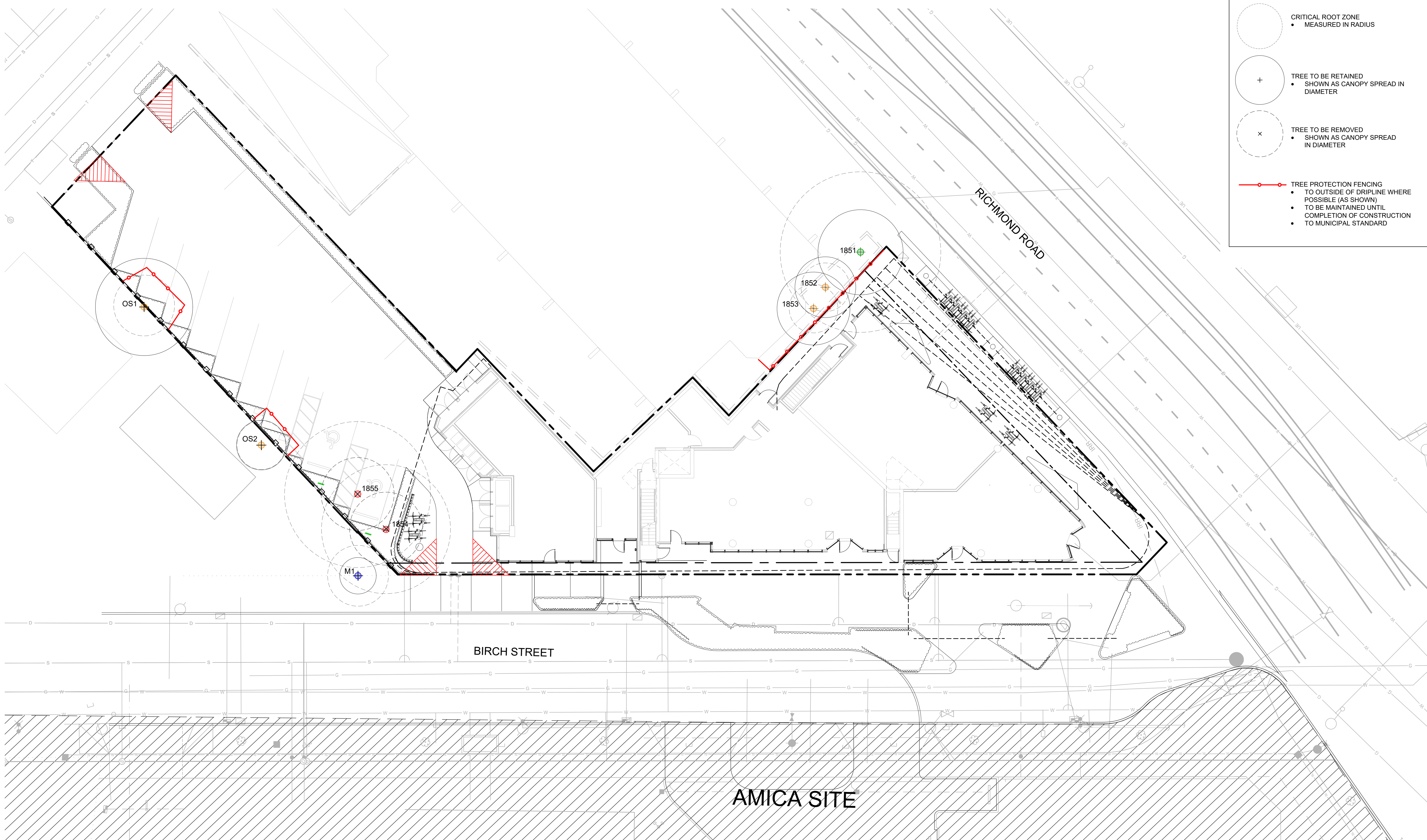
- PROTECTED TREE FOR REMOVAL
- PROTECTED TREE TO RETAIN
- NON-PROTECTED TREE FOR REMOVAL
- NON-PROTECTED TREE TO BE RETAINED
- MUNICIPAL TREE TO BE RETAINED
- MUNICIPAL TREE TO BE REMOVED

CRITICAL ROOT ZONE
 • MEASURED IN RADIUS

+ TREE TO BE RETAINED
 • SHOWN AS CANOPY SPREAD IN DIAMETER

x TREE TO BE REMOVED
 • SHOWN AS CANOPY SPREAD IN DIAMETER

TREE PROTECTION FENCING
 • TO OUTSIDE OF DRIFLINE WHERE POSSIBLE (AS SHOWN)
 • TO BE MAINTAINED UNTIL COMPLETION OF CONSTRUCTION
 • TO MUNICIPAL STANDARD



NO.	ISSUE	MMDDYY
3	ISSUED FOR DP RESUBMISSION	2/9/2024
2	ISSUED FOR DP/REZONING	10/11/2023
1	ISSUED FOR DEVELOPMENT TRACKER	08/08/2023

SEAL

NORTH ARROW



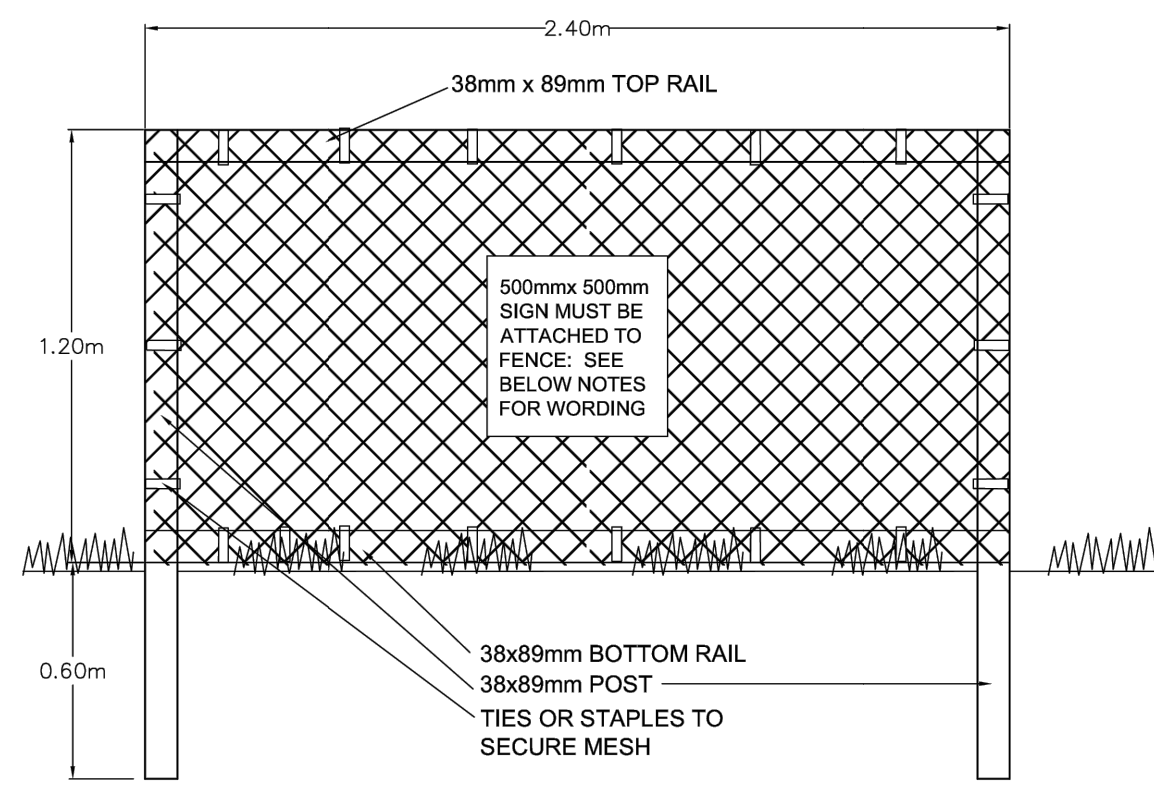
DRAWING TITLE:
**TREE MANAGEMENT PLAN
 LEVEL 1**

DWG NO:

SCALE: 1:150

L0.01





TREE PROTECTION FENCING

- FENCE WILL BE CONSTRUCTED USING 38 mm X 89mm WOOD FRAME: TOP, BOTTOM AND POSTS * USE ORANGE SNOW-FENCING MESH AND SECURE THE WOOD FRAME WITH 'ZIP' TIES OR GALVANIZED STAPLES.
 - ATTACH A 500mm X 500mm SIGN WITH THE FOLLOWING WORDING: WARNING- TREE PROTECTION AREA. THIS SIGN MUST BE AFFIXED ON EVERY FENCE OR AT LEAST EVERY 10 LINEAR METERS.
- * IN ROCKY AREAS, METAL POSTS (T-BAR OR REBAR) DRILLED INTO ROCK WILL BE ACCEPTED

**TREE PROTECTION FENCING
AND SIGNAGE DETAIL**

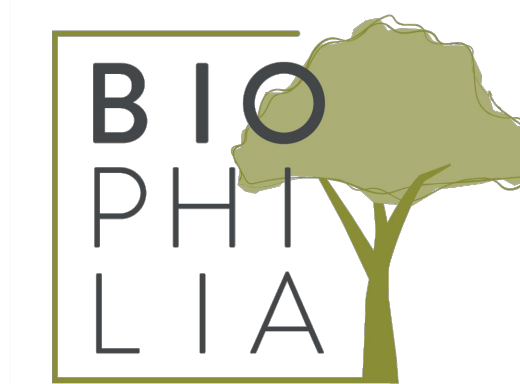
REVISIONS DRAWING NUMBER:
SD P1

2011

TABLE 1:

Tag #	Surveyed ? (Yes/No)	Location (On, Off, Shared, City)	Bylaw protected ? (Yes/No)	Name		dbh (cm)	crown radius (m)	Critical root zone radius (m)	Condition		Relative tolerance	General field observations/remarks	Tree retention/location comments	Retention status
				Common	Botanical				Health	Structural				
1851	No	On	Yes	Norway Maple	Acer platanoides	55	3.5	6.6	Fair-good	Fair-poor	Moderate	Codominant structure with active inclusions, limited rooting area, large surface roots topped repeatedly.	Root zone likely restricted to within planter, depending on depth of retaining wall. Will require significant pruning to accommodate new building, retention will depend on extent of pruning required.	Retain*
1852	No	On	No	Japanese Maple 'Full Moon'	Acer palmatum 'Full moon'	7,4,4	2.5	2	Fair-good	Fair-poor	Moderate	Multiple stems, competing for light.	Root zone restricted to within planter. No impacts anticipated.	Retain
1853	No	On	No	Japanese Maple 'Coral Bark'	Acer palmatum 'Coral Bark'	7,7,5	3	2	Fair	Fair	Moderate	Multiple stems, deadwood, overhangs existing balcony.	Root zone restricted to within planter. No impacts anticipated.	Retain
1854	Yes	On	Yes	Pear	Pyrus spp.	44	3.5	5.3	Fair-poor	Fair-poor	Moderate	Dieback, deadwood.	Within proposed building area	Remove
1855	Yes	On	Yes	Pear	Pyrus spp.	29,22	3	6	Fair	Fair	Moderate	Codominant with included bark in union, small deadwood.	Within proposed parking area.	Remove
OS1	Yes	Shared	No	Sycamore Maple	Acer pseudoplatanus	~20	4	2.5	Fair	Fair	Moderate	Drought stress.	Shared tree, retention will depend on potential impacts from proposed parking area,	Retain*
OS2	No	Off	No	Golden Chain Tree	Laburnum anagyroides	~8,7	2	2	Fair	Fair	Moderate	Co-dominant 2 stems previously removed.	Neighbours tree, retention will depend on potential impacts from proposed parking area.	Retain*
M1	No	Off	Yes	Golden Chain Tree	Laburnum anagyroides	8,7,6	1.5	2.5	Fair-poor	Poor	Moderate	Decay at base, bark damage.	Municipal tree, should be possible to isolate it from construction activity.	Retain

Prepared by:
Talmack Urban Forestry
Box 48153 RPO Uptown
Victoria, BC V8Z 7H6
Ph: (250) 479-8733 ~ Fax: (250) 479-7050
Email: tmtreehelp@gmail.com



1608 Camosun Street, Victoria BC V8T 3E6
Info@biophilialcollective.ca 250 590 1156

OWNER/CLIENT:
EMPRESA PROPERTIES

PROJECT NAME:
TURNER SITE

PROJECT ADDRESS:
**2002 RICHMOND RD
VICTORIA, BC.**

DESIGNED BY: BIANCA BODLEY
DRAWN BY: GRACE MORAZZANI

3	ISSUED FOR DP RESUBMISSION	2/9/2024
2	ISSUED FOR DP/REZONING	10/11/2023
1	ISSUED FOR DEVELOPMENT TRACKER	08/08/2023
NO.	ISSUE	MM/DD/YY

SEAL

NORTH ARROW



DRAWING TITLE:
**TREE MANAGEMENT PLAN
LEVEL 1**

DWG NO:

SCALE: 1:150

L0.02



PLAZA EXTENSION



CRU PATIOS



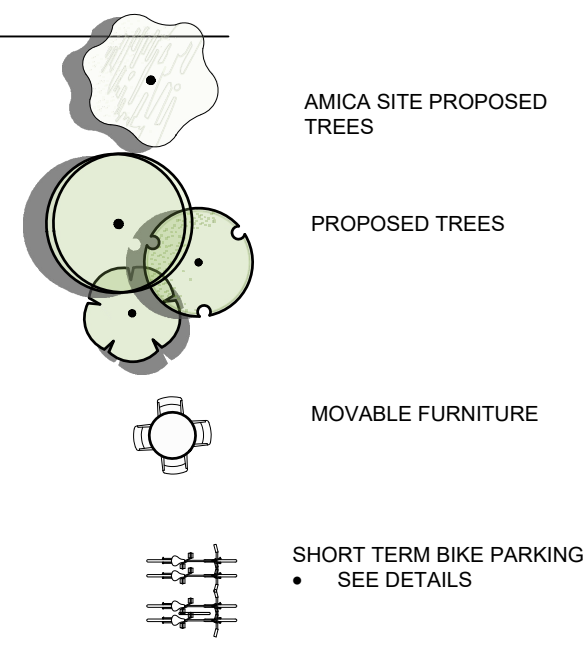
CORNER PLAZA

LEGEND

- PROPERTY LINE
- BUILDING ABOVE
- SRW LINE
- IRRIGATION SLEEVING
- ROOT BARRIERS

MATERIALS SCHEDULE - LEVEL 1

SYMBOL	DESCRIPTION	QTY
[Pattern]	Paving Type 1: CIP concrete	69.6 m ²
[Pattern]	Paving Type 2: Concrete Unit Pavers -Pedestrian grade	442.3 m ²
[Pattern]	Paving Type 3: Concrete Unit pavers -Vehicular grade	109.6 m ²
[Pattern]	Paving Type 4: Stamped Pervious Concrete	475.2 m ²
[Pattern]	Planted areas -Refer to Planting plan	198.3 m ²
[Pattern]	Soil Cells	92.9 m ²



MATERIALS PLAN NOTES

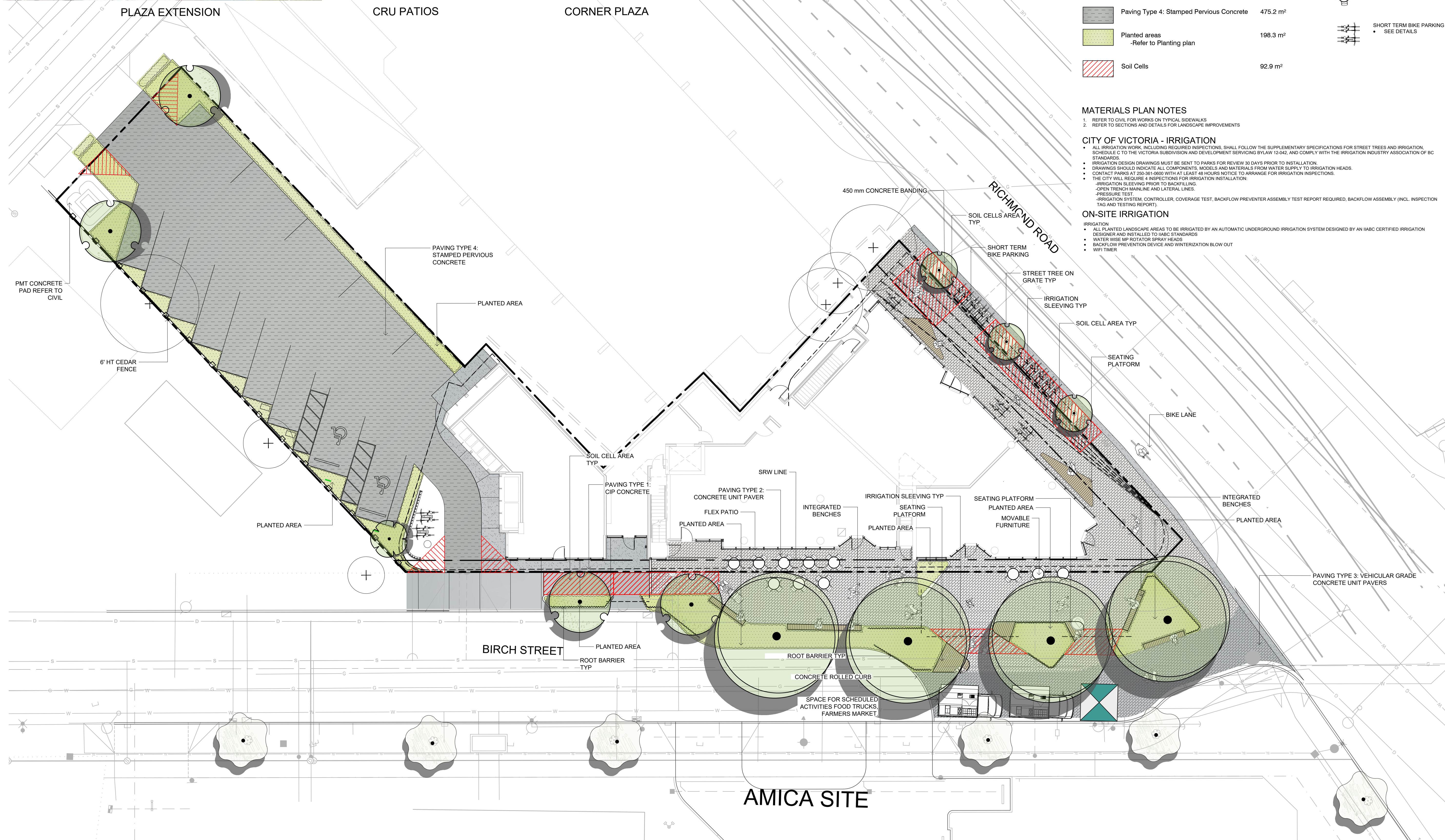
- REFER TO CIVIL FOR WORKS ON TYPICAL SIDEWALKS
- REFER TO SECTIONS AND DETAILS FOR LANDSCAPE IMPROVEMENTS

CITY OF VICTORIA - IRRIGATION

- ALL IRRIGATION WORK, INCLUDING REQUIRED INSPECTIONS, SHALL FOLLOW THE SUPPLEMENTARY SPECIFICATIONS FOR STREET TREES AND IRRIGATION, SCHEDULE C TO THE VICTORIA SUBDIVISION AND DEVELOPMENT SERVICING BYLAW 12-042, AND COMPLY WITH THE IRRIGATION INDUSTRY ASSOCIATION OF BC STANDARDS.
- IRRIGATION DESIGN DRAWINGS MUST BE SENT TO PARKS FOR REVIEW 30 DAYS PRIOR TO INSTALLATION.
- DRAWINGS SHOULD INDICATE ALL COMPONENTS, MODELS AND MATERIALS FROM WATER SUPPLY TO IRRIGATION HEADS.
- CONTACT PARKS AT 250-361-9909 WITH AT LEAST 48 HOURS NOTICE TO ARRANGE FOR IRRIGATION INSPECTIONS.
- THE CITY WILL REQUIRE 4 INSPECTIONS FOR IRRIGATION INSTALLATION:
 - IRRIGATION SLEEVING PRIOR TO BACKFILLING.
 - OPEN TRENCH MAINLINE AND LATERAL LINES.
 - PRESSURE TEST.
 - IRRIGATION SYSTEM CONTROLLER, COVERAGE TEST, BACKFLOW PREVENTER ASSEMBLY TEST REPORT REQUIRED, BACKFLOW ASSEMBLY (INCL. INSPECTION TAG AND TESTING REPORT).

ON-SITE IRRIGATION

- ALL PLANTED LANDSCAPE AREAS TO BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM DESIGNED BY AN IABC CERTIFIED IRRIGATION DESIGNER AND INSTALLED TO IABC STANDARDS.
- WATER WISE MP ROTATOR SPRAY HEADS
- BACKFLOW PREVENTION DEVICE AND WINTERIZATION BLOW OUT
- WPI TIMER



1608 Camosun Street, Victoria BC V8T 3E6
Info@biophilialcollective.ca 250 590 1156

OWNER/CLIENT:
EMPRESA PROPERTIES

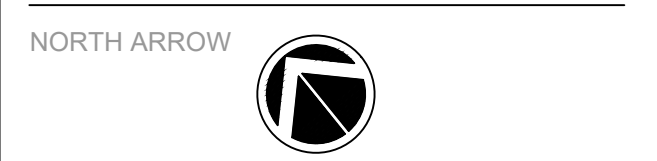
PROJECT NAME:
TURNER SITE

PROJECT ADDRESS:
**2002 RICHMOND RD
VICTORIA, BC.**

DESIGNED BY: **BIANCA BODLEY**
DRAWN BY: **GRACE MORAZZANI**

3	ISSUED FOR DP RESUBMISSION	2/9/2024
2	ISSUED FOR DP/REZONING	10/11/2023
1	ISSUED FOR DEVELOPMENT TRACKER	08/08/2023
NO.	ISSUE	MMDDYY

SEAL



DRAWING TITLE:
**MATERIALS PLAN
LEVEL 1**

DWG NO:

SCALE: 1:150 **L1.01**



BBQ STAND



URBAN AGRICULTURE PLANTERS



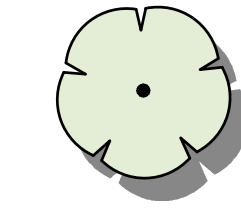
LOUNGE AREA

LEGEND

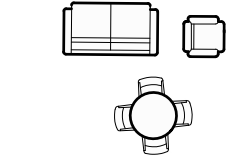
- PROPERTY LINE
- BUILDING ABOVE

MATERIALS SCHEDULE

SYMBOL	DESCRIPTION	QTY
	Paving Type 5: Composite Wood Deck	94.1 m ²
	Pebble Mulch	27.2 m ²
	Planted areas -Refer to Planting plan	40.1 m ²
	Urban agriculture	1.8 m ²



Proposed trees



Movable furniture



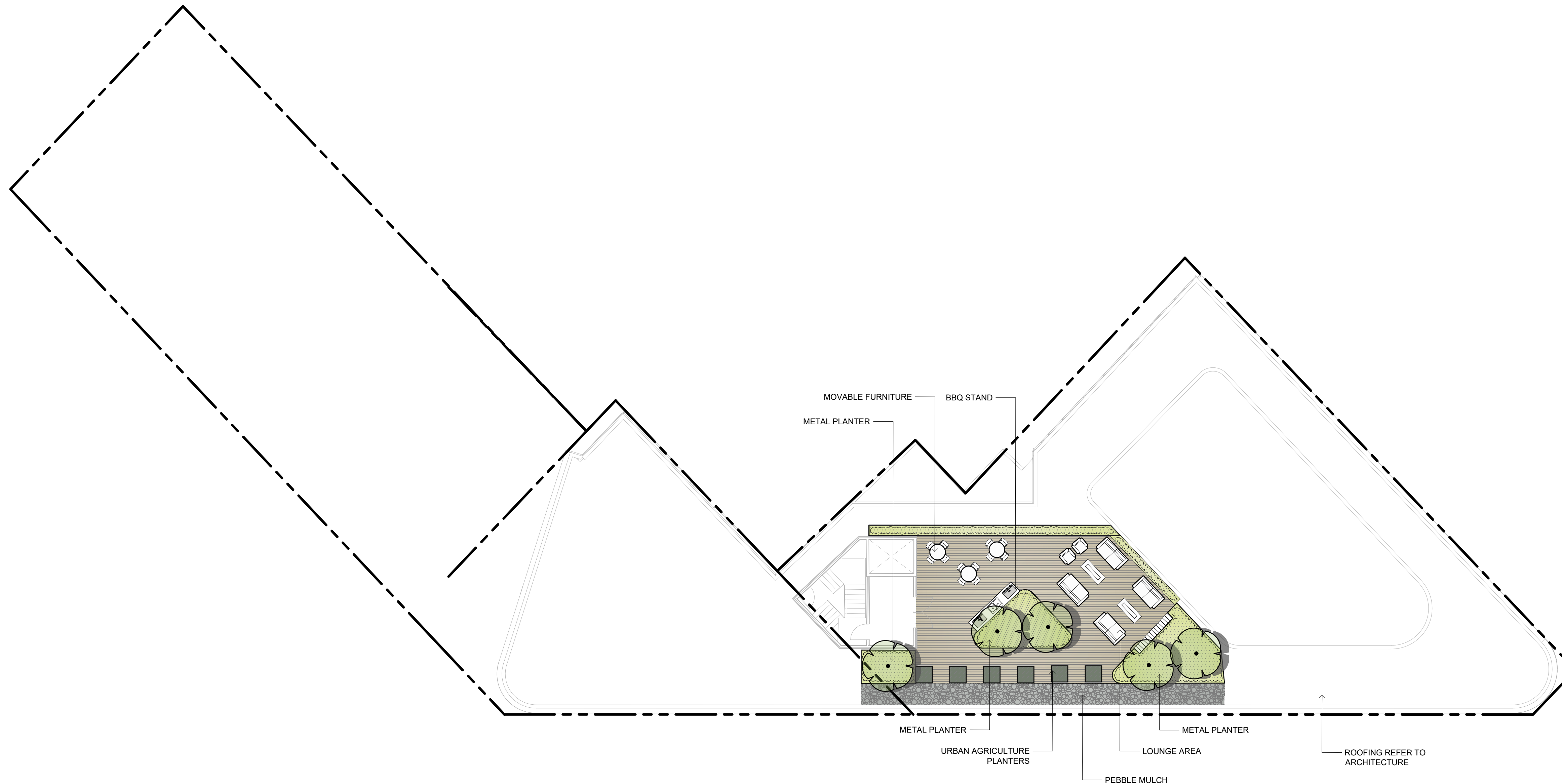
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SEAL

NORTH ARROW

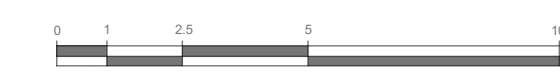


DRAWING TITLE:
**MATERIALS PLAN
ROOFTOP**

DWG NO:

SCALE: 1:150

L1.02



PLANT SCHEDULE LEVEL 1

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	SPACING	COMMENTS	QTY
TREES						
	AG	Acer griseum / Paperbark Maple	60mm Cal.	As Shown	B&B, Well Established	1
	AR	Acer rubrum / Red Maple	60mm Cal.	As Shown	B&B, Well Established	2
	AA	Acer rubrum 'Armstrong' / Armstrong Red Maple	60mm Cal.	As Shown	B&B, Well Established	3
	AM	Arbutus menziesii / Pacific Madrone	60mm Cal.	As Shown	B&B, Well Established	2
	QG	Quercus garryana / Oregon White Oak	60mm Cal.	As Shown	B&B, Well Established	4
SHRUBS						
	CP	Cephalotaxus harringtonia 'Prostrata' / Prostrate Plum Yew	#2 POT	1000 mm.	Full, Well Established	1
	Hp	Hebe pinguifolia 'Sutherlandii' / Sutherland Hebe	#2 POT	1000 mm.	Full, Well Established	20
	Lh	Ligustrum vulgare 'Swift' / First Editions® Straight Talk® Privet	#2 POT	800mm	Full, Well Established	46
	Pc	Prostanthera cuneata / Alpine Mint Bush	#2 POT	1200mm	Full, Well Established	2
GRASSES						
	Ck2	Calamagrostis x acutiflora 'Karl Foerster' / Karl Foerster Feather Reed Grass	#2 POT	600mm	Full, Well Established	52
	ML	Miscanthus sinensis 'Little Kitten' / Little Kitten Eulalia Grass	#1 POT	450mm	Full, Well Established	71
	SG	Stipa gigantea / Giant Feather Grass	#2 POT	750mm	Full, Well Established	36
PERENNIALS						
	AG2	Allium x 'Globemaster' / Globemaster Ornamental Onion	#1 POT	600mm	Full, Well Established	21
	EB	Echinops bannaticus 'Blue Glow' / Blue Glow Globe Thistle	#1 POT	600mm	Full, Well Established	16
	Es	Erica carnea 'Springwood White' / White Spring Winter Heath	#1 POT	450mm	Full, Well Established	10
	NP	Nepeta x faassenii 'Purrsian Blue' / Purrsian Blue Catmint	#1 POT	750mm	Full, Well Established	19
	PA	Perovskia atriplicifolia / Russian Sage	#2 POT	900mm	Full, Well Established	20
	RH	Rudbeckia hirta / Black-eyed Susan	#1 POT	600mm	Full, Well Established	62
	SC	Salvia nemorosa 'Caradonna' / Caradonna Meadow Sage	#1 POT	600mm	Full, Well Established	28
	SC2	Santolina chamaecyparissus / Lavender Cotton	#1 POT	450mm	Full, Well Established	136
	Tp	Thymus pseudolanuginosus / Woolly Thyme	#1 POT	300mm	Full, Well Established	141
	VB	Verbena bonariensis / Tall Verbena	#1 POT	750mm	Full, Well Established	14
	Vp	Veronica peduncularis 'Georgia Blue' / Georgia Blue Speedwell	#1 POT	450mm	Full, Well Established	13

PLANTING PLAN NOTES

- ALL PLANT MATERIAL TO BC SLA STANDARDS.
- THE SEARCH ARE FOR PLANT MATERIAL IS THE PACIFIC NORTHWEST INCLUDING WASHINGTON, OREGON AND BRITISH COLUMBIA.
- CONFIRM PLANTING LAYOUT WITH LANDSCAPE ARCHITECT ON SITE.
- ALL SOIL VOLUMES TO MEET THE STANDARDS OF THE CITY OF VICTORIA. REFER TO SOIL DEPTH PLANS FOR SOIL DEPTH REQUIREMENTS.
- ALL GROWING MEDIUM PROVISION AND INSTALLATION TO BE IN LINE WITH CANADIAN LANDSCAPE STANDARDS
- ALL LANDSCAPE AREAS TO BE IRRIGATED BY AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM
- IF REQUIRED, MUNICIPAL BOULEVARD TO BE IRRIGATED BY A SEPARATE SYSTEM FROM A SEPARATE MUNICIPAL SOURCE.



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DRAWN BY: GRACE MORAZZANI

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SEAL

NORTH ARROW



DRAWING TITLE:
**PLANTING SCHEDULE
LEVEL 1**

DWG NO:

SCALE: 1:150

L2.00



ARMSTRONG RED MAPLE
ACER RUBRUM 'ARMSTRONG'

GARRY OAK
QUERCUS GARRYANA

PAPERBARK MAPLE
ACER GRISEUM

RED MAPLE
ACER RUBRUM

PACIFIC MADRONE
ARBUTUS MENZIESII

LEGEND

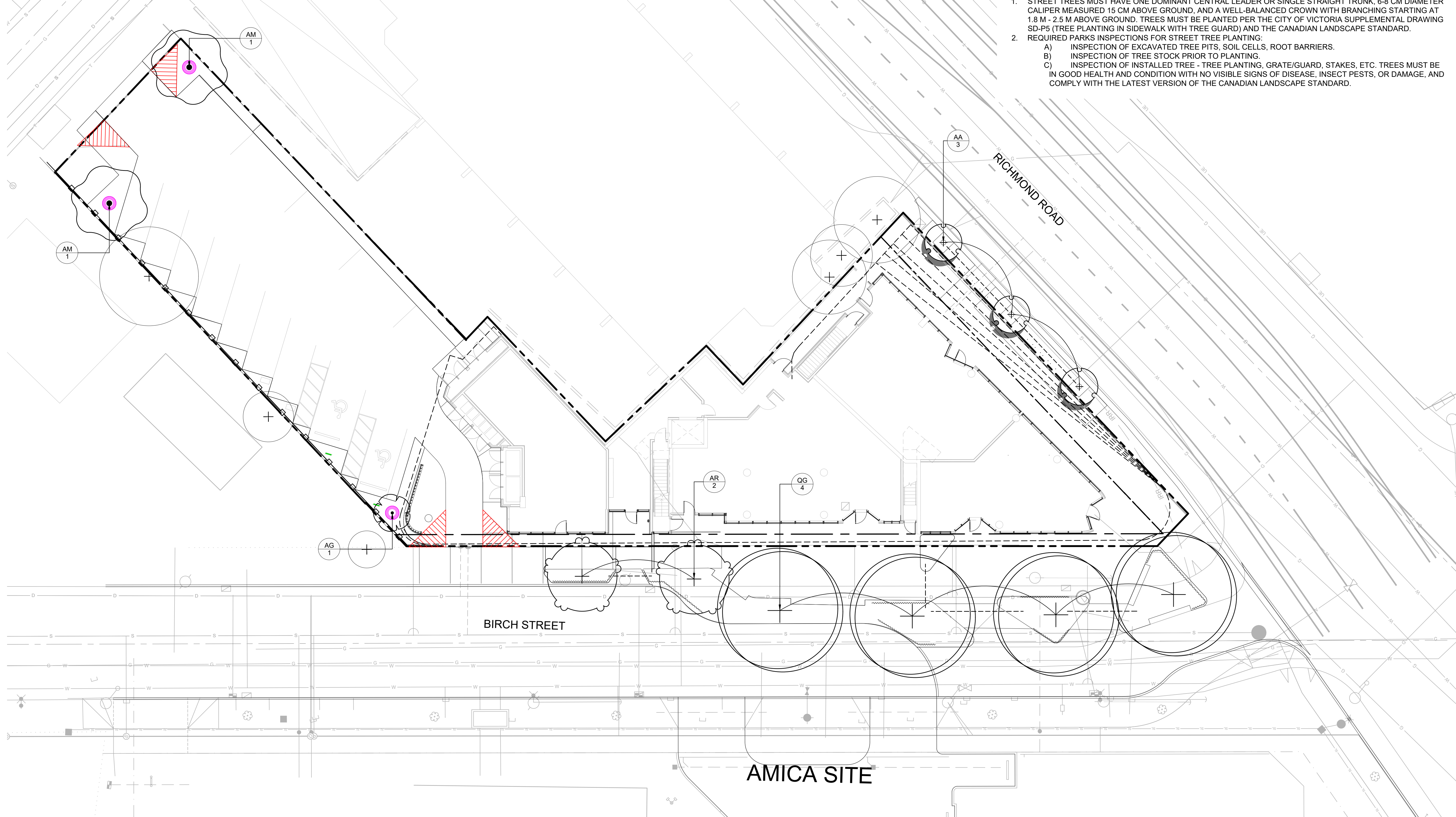
- PROPERTY LINE
- IRRIGATION SLEEVING
- BUILDING ABOVE
- ROOT BARRIERS

PLANTING PLAN NOTES

1. ALL PLANT MATERIAL TO BCSLA STANDARDS.
2. THE SEARCH ARE FOR PLANT MATERIAL IS THE PACIFIC NORTHWEST INCLUDING WASHINGTON, OREGON AND BRITISH COLUMBIA.
3. CONFIRM PLANTING LAYOUT WITH LANDSCAPE ARCHITECT ON SITE.
4. ALL SOIL VOLUMES TO MEET THE STANDARDS OF THE CITY OF VICTORIA. REFER TO SOIL DEPTH PLANS FOR SOIL DEPTH REQUIREMENTS.
5. ALL GROWING MEDIUM PROVISION AND INSTALLATION TO BE IN LINE WITH CANADIAN LANDSCAPE STANDARDS
6. REFER TO CIVIL AND MECHANICAL FOR DRAINS.
7. ALL LANDSCAPE AREAS TO BE IRRIGATED BY AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM; SEE IRRIGATION PLAN.
8. IF REQUIRED, MUNICIPAL BOULEVARD TO BE IRRIGATED BY A SEPARATE SYSTEM FROM A SEPARATE MUNICIPAL SOURCE.

STREET TREES NOTES

1. STREET TREES MUST HAVE ONE DOMINANT CENTRAL LEADER OR SINGLE STRAIGHT TRUNK, 6-8 CM DIAMETER CALIPER MEASURED 15 CM ABOVE GROUND, AND A WELL-BALANCED CROWN WITH BRANCHING STARTING AT 1.8 M - 2.5 M ABOVE GROUND. TREES MUST BE PLANTED PER THE CITY OF VICTORIA SUPPLEMENTAL DRAWING SD-P5 (TREE PLANTING IN SIDEWALK WITH TREE GUARD) AND THE CANADIAN LANDSCAPE STANDARD.
2. REQUIRED PARKS INSPECTIONS FOR STREET TREE PLANTING:
 - A) INSPECTION OF EXCAVATED TREE PITS, SOIL CELLS, ROOT BARRIERS.
 - B) INSPECTION OF TREE STOCK PRIOR TO PLANTING.
 - C) INSPECTION OF INSTALLED TREE - TREE PLANTING, GRATE/GUARD, STAKES, ETC. TREES MUST BE IN GOOD HEALTH AND CONDITION WITH NO VISIBLE SIGNS OF DISEASE, INSECT PESTS, OR DAMAGE, AND COMPLY WITH THE LATEST VERSION OF THE CANADIAN LANDSCAPE STANDARD.



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DRAWN BY: **GRACE MORAZZANI**

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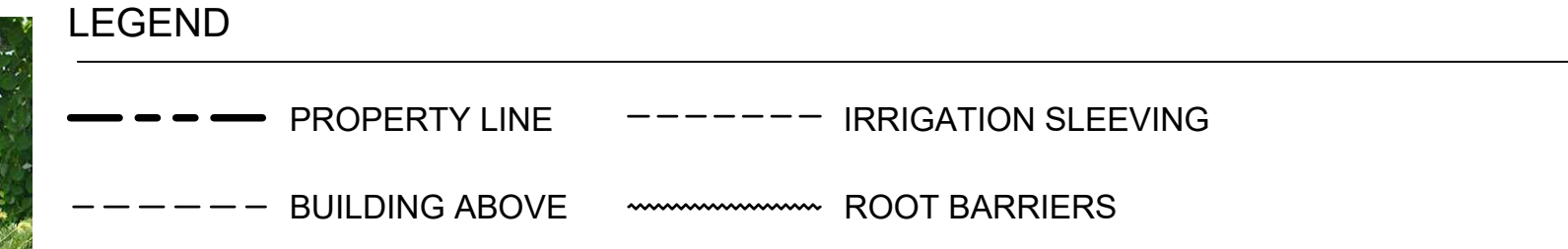
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DRAWING TITLE:
**TREE PLANTING PLAN
LEVEL 1**

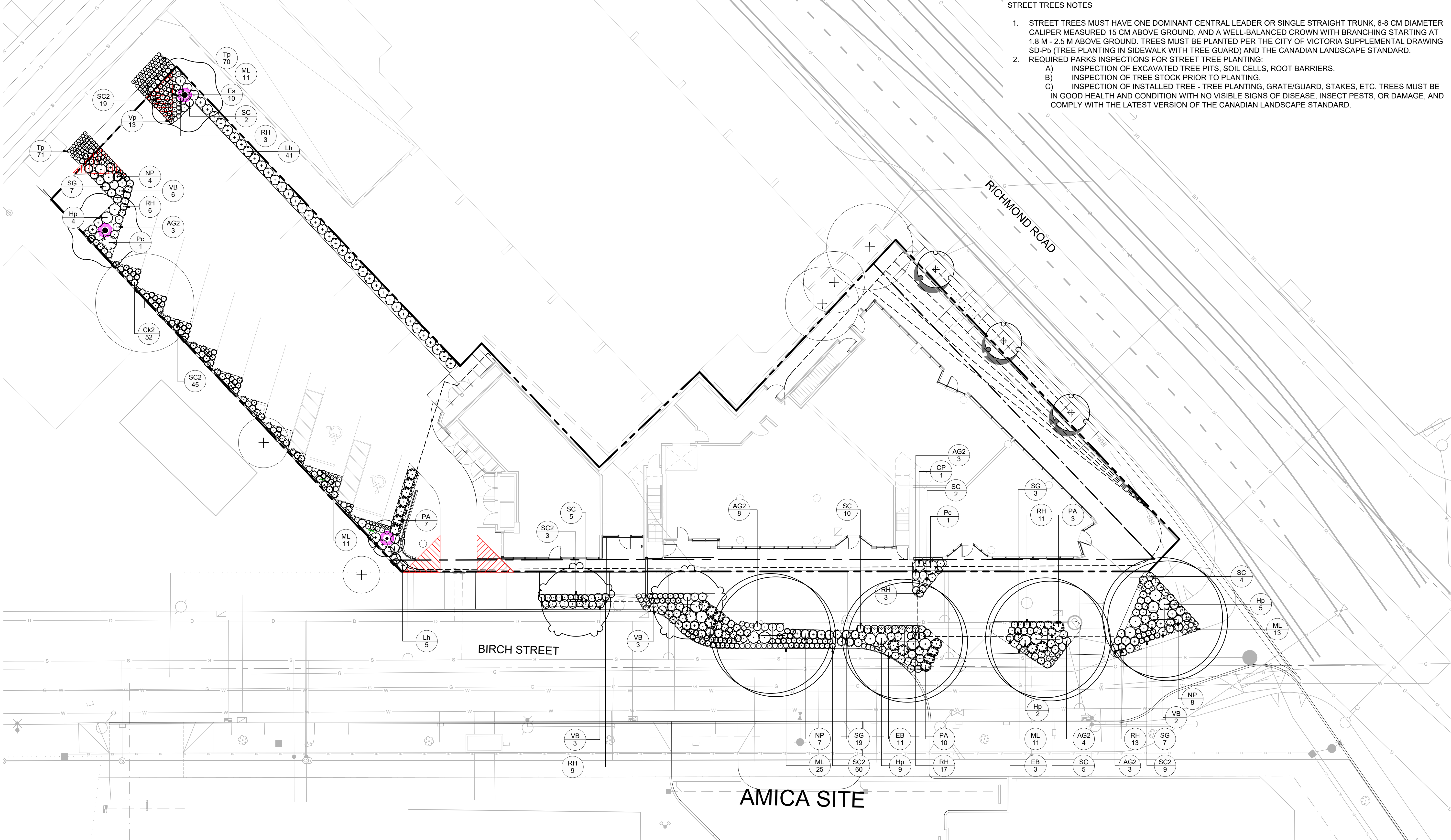
DWG NO:

SCALE: **1:150** **L2.01**



- PLANTING PLAN NOTES**
- ALL PLANT MATERIAL TO BC SLA STANDARDS.
 - THE SEARCH ARE FOR PLANT MATERIAL IS THE PACIFIC NORTHWEST INCLUDING WASHINGTON, OREGON AND BRITISH COLUMBIA.
 - CONFIRM PLANTING LAYOUT WITH LANDSCAPE ARCHITECT ON SITE.
 - ALL SOIL VOLUMES TO MEET THE STANDARDS OF THE CITY OF VICTORIA. REFER TO SOIL DEPTH PLANS FOR SOIL DEPTH REQUIREMENTS.
 - ALL GROWING MEDIUM PROVISION AND INSTALLATION TO BE IN LINE WITH CANADIAN LANDSCAPE STANDARDS
 - REFER TO CIVIL AND MECHANICAL FOR DRAINS.
 - ALL LANDSCAPE AREAS TO BE IRRIGATED BY AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM; SEE IRRIGATION PLAN.
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- STREET TREES NOTES**
- STREET TREES MUST HAVE ONE DOMINANT CENTRAL LEADER OR SINGLE STRAIGHT TRUNK, 6-8 CM DIAMETER CALIPER MEASURED 15 CM ABOVE GROUND, AND A WELL-BALANCED CROWN WITH BRANCHING STARTING AT 1.8 M - 2.5 M ABOVE GROUND. TREES MUST BE PLANTED PER THE CITY OF VICTORIA SUPPLEMENTAL DRAWING SD-P5 (TREE PLANTING IN SIDEWALK WITH TREE GUARD) AND THE CANADIAN LANDSCAPE STANDARD.
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 - INSPECTION OF EXCAVATED TREE PITS, SOIL CELLS, ROOT BARRIERS.
 - INSPECTION OF TREE STOCK PRIOR TO PLANTING.
 - INSPECTION OF INSTALLED TREE - TREE PLANTING, GRATE/GUARD, STAKES, ETC. TREES MUST BE IN GOOD HEALTH AND CONDITION WITH NO VISIBLE SIGNS OF DISEASE, INSECT PESTS, OR DAMAGE, AND COMPLY WITH THE LATEST VERSION OF THE CANADIAN LANDSCAPE STANDARD.



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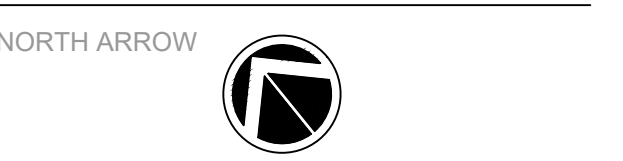
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 DRAWN BY: GRACE MORAZZANI

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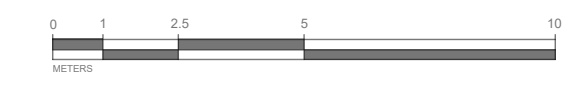
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DRAWING TITLE:
**PLANTING PLAN
 LEVEL 1**

DWG NO:

SCALE: 1:150 **L2.02**

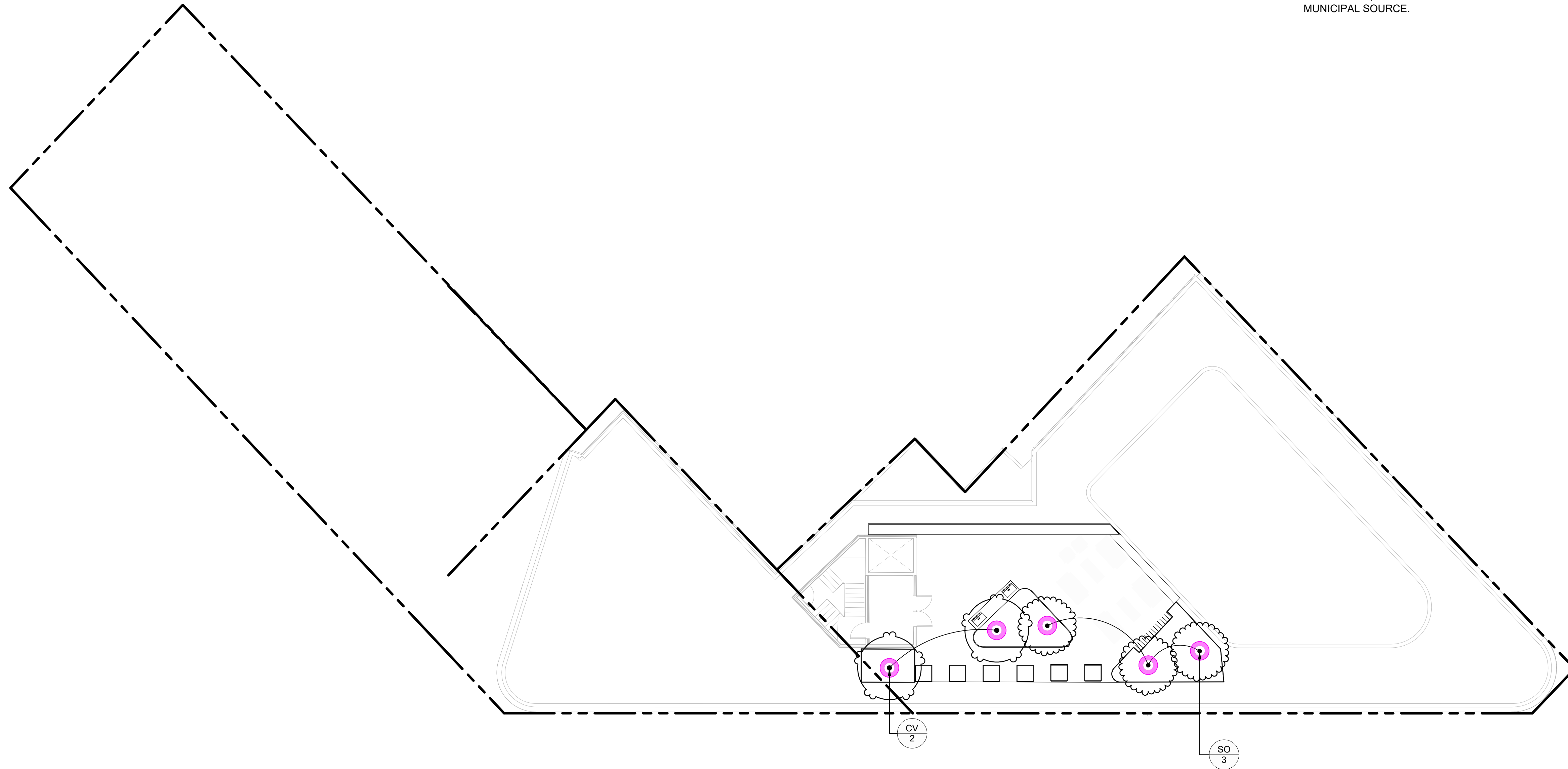




FRAGRANT SNOWBELL
STYRAX OBASSIA



VENUS DOGWOOD
CORNUS X 'KN30-8'



LEGEND

- PROPERTY LINE
- - - - BUILDING ABOVE
- REPLACEMENT TREE

PLANT SCHEDULE ROOFTOP

TREES	CODE	BOTANICAL / COMMON NAME	SIZE	QTY	REMARKS
	CV	Cornus x 'KN30-8' / Venus® Dogwood	60mm Cal.	2	B&B, Well Established
	SO	Styrax obassia / Fragrant Snowbell	60mm Cal.	3	B&B, Well Established

PLANTING PLAN NOTES

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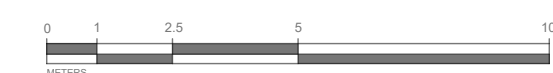
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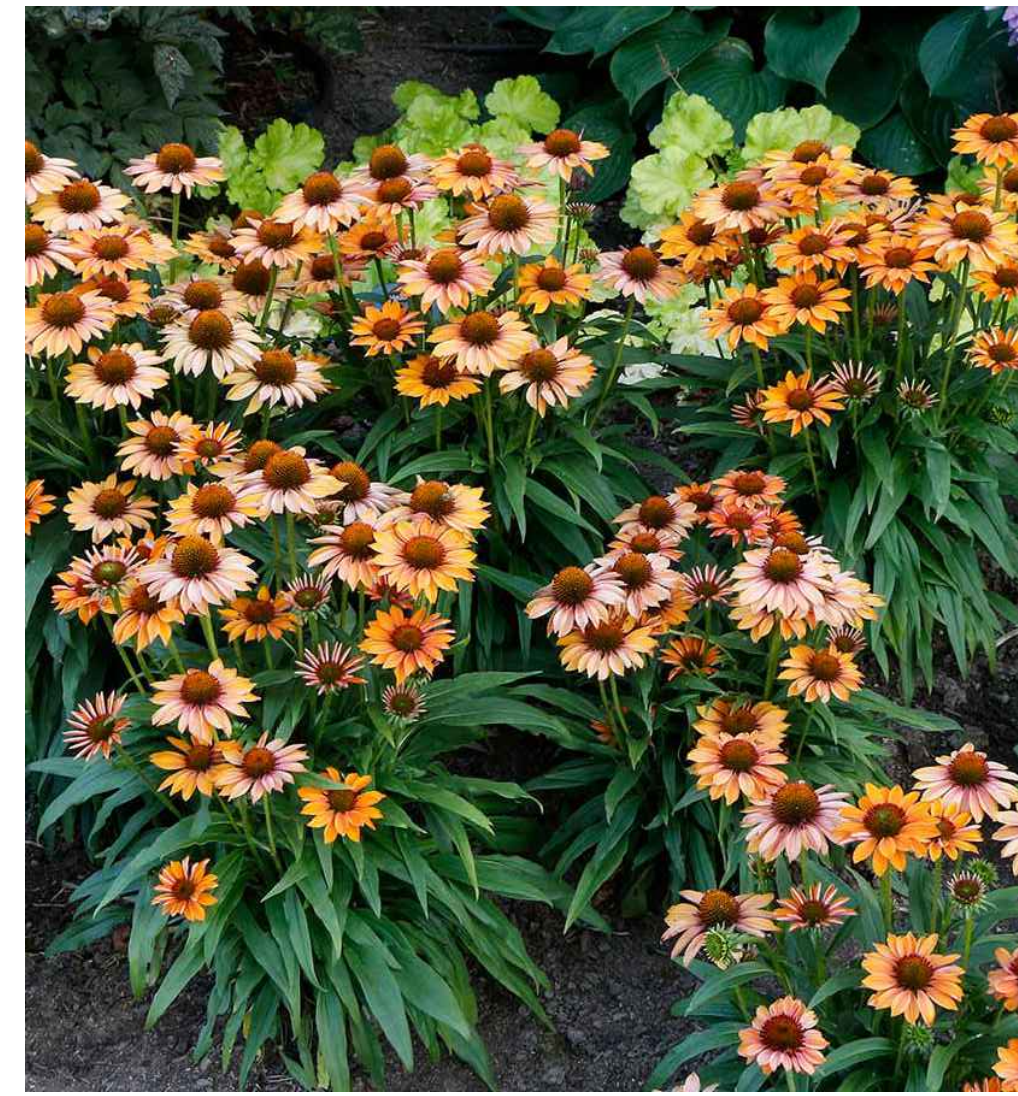


DRAWING TITLE:
**TREE PLANTING PLAN
ROOFTOP**

DWG NO:

SCALE: 1:150 **L2.03**





LEGEND

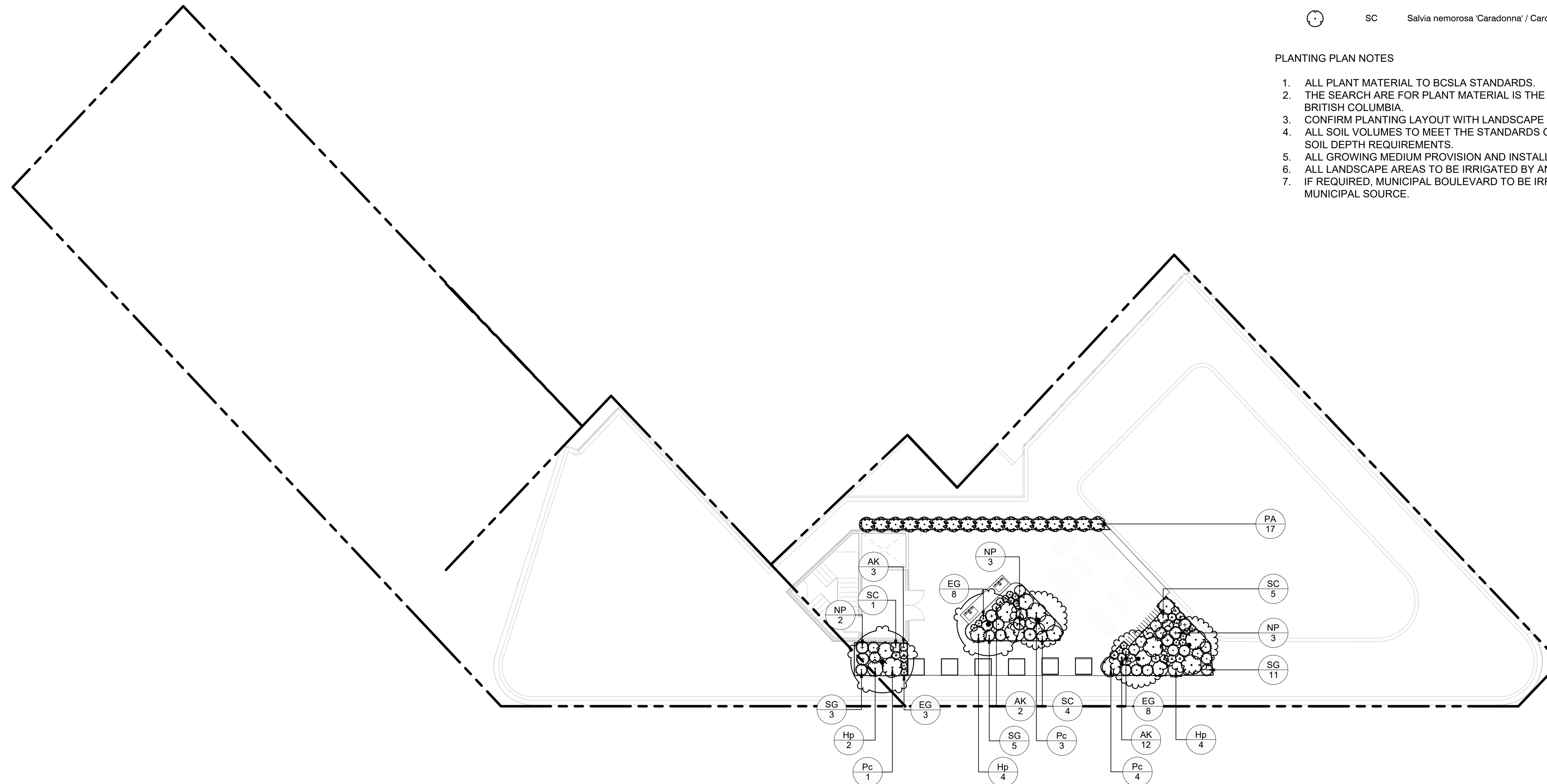
- — — — — PROPERTY LINE
- - - - - BUILDING ABOVE

PLANT SCHEDULE ROOFTOP

SHRUBS	CODE	BOTANICAL / COMMON NAME	SIZE	QTY	REMARKS
	Hp	Hebe pinguifolia 'Sutherlandii' / Sutherland Hebe	#2 POT	10	Well Established
	Pc	Prostanthera cuneata / Alpine Mint Bush	#2 POT	8	Well Established
GRASSES	CODE	BOTANICAL / COMMON NAME	SIZE	QTY	REMARKS
	SG	Stipa gigantea / Giant Feather Grass	#2 POT	19	Well Established
PERENNIALS	CODE	BOTANICAL / COMMON NAME	SIZE	QTY	REMARKS
	AK	Agastache x 'Kudos Mandarin' / Kudos Mandarin Anise Hyssop	#1 POT	17	Well Established
	EG	Echinacea x 'TNECHPG' / Prima™ Ginger Coneflower	#1 POT	19	Well Established
	NP	Nepeta x faassenii 'Purrsian Blue' / Purrsian Blue Catmint	#1 POT	8	Well Established
	PA	Perovskia atriplicifolia / Russian Sage	#2 POT	17	Well Established
	SC	Salvia nemorosa 'Caradonna' / Cardonna Meadow Sage	#1 POT	10	Well Established

PLANTING PLAN NOTES

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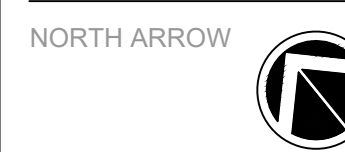
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SEAL



DRAWING TITLE:
**PLANTING PLAN
 ROOFTOP**

DWG NO:

SCALE: 1:150 **L2.04**



LEGEND

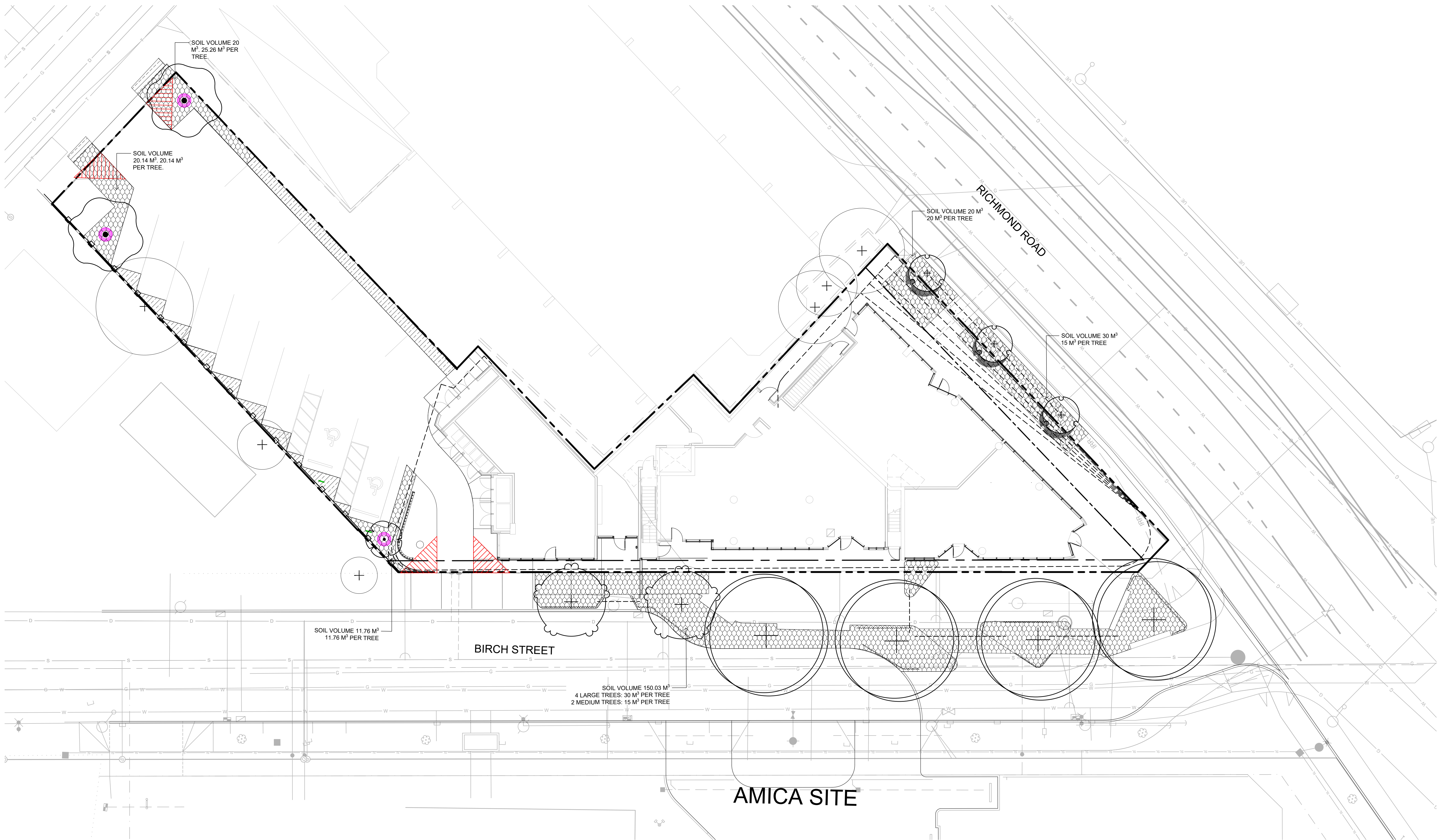
- PROPERTY LINE
- IRRIGATION SLEEVING
- BUILDING ABOVE
- ROOT BARRIERS

SOIL DEPTH SCHEDULE - MAIN LEVEL

SYMBOL	DESCRIPTION	QTY	DETAIL	2024-02-08 12:01
	1000 MM MIN SOIL DEPTH	258.7 m ²		
	450 MM MIN SOIL DEPTH	41.3 m ²		

SOIL DEPTH PLAN NOTES

1. ALL GROWING MEDIUM TO CANADIAN LANDSCAPE STANDARDS.
2. REFER TO SPECIFICATIONS FOR SOIL TYPE AND COMPOSITION



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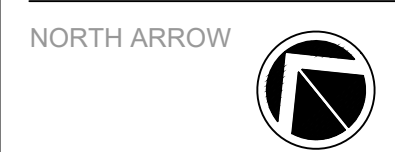
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DRAWING TITLE:
**PLANTING PLAN
 LEVEL 1**

DWG NO:

SCALE: 1:150 **L3.01**



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SEAL

NORTH ARROW



DRAWING TITLE:
**SOIL DEPTH PLAN
ROOFTOP**

DWG NO:

SCALE: **1:150**

L3.02

LEGEND

- PROPERTY LINE
- BUILDING ABOVE

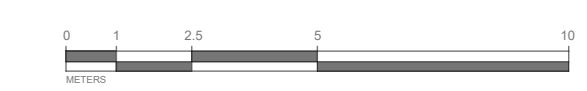
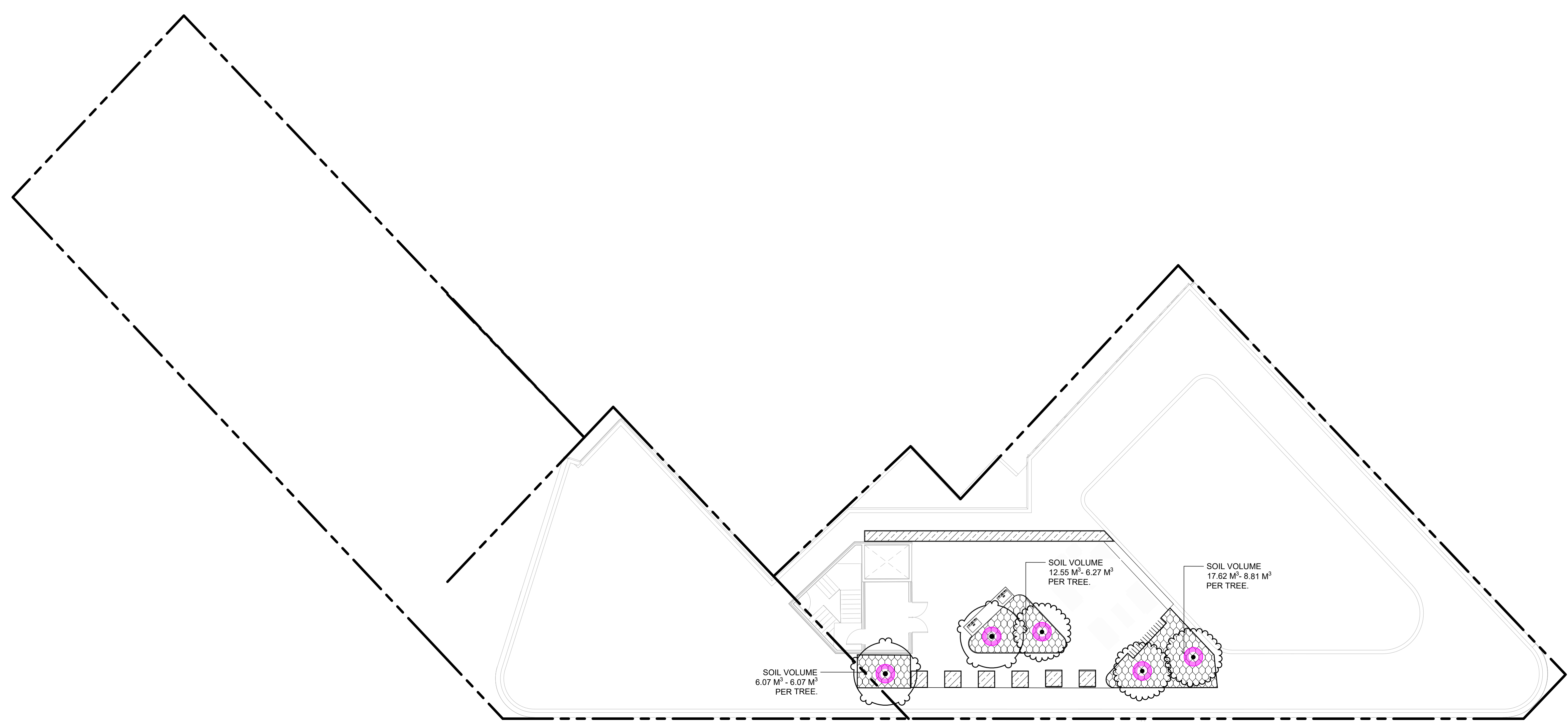
SOIL DEPTH SCHEDULE - ROOFTOP

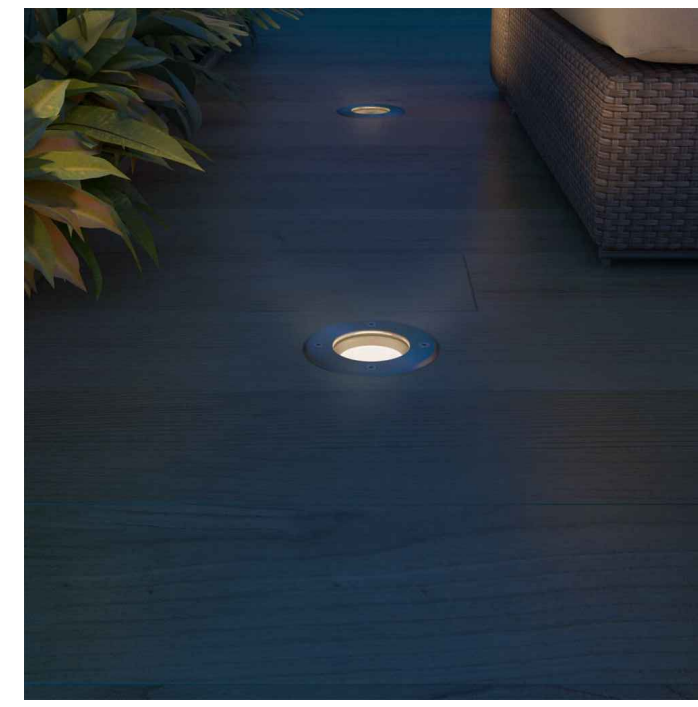
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SYMBOL	DESCRIPTION	QTY	DETAIL
	1000 MM MIN SOIL DEPTH	34.7 m ²	
	450 MM MIN SOIL DEPTH	13.9 m ²	

MUNICIPAL SOURCE.

SOIL DEPTH PLAN NOTES





TREE UPIGHTS

IN-GROUND LIGHTS

BOLLARD LIGHTS

LEGEND

--- PROPERTY LINE IRF

--- BUILDING ABOVE RO

LIGHTING SCHEDULE LEVEL 1

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
◀	TREE UPLIGHTS	9
⊙	BOLLARD LIGHTS	6
•	IN-GROUND LIGHTS	4

LIGHTING PLAN NOTES

- LIGHTING PLAN FOR ILLUSTRATIVE PURPOSES ONLY. LANDSCAPE LIGHTING FIXTURES, TYPES AND LOCATION IN PUBLIC AREAS SUBJECT TO MUNICIPAL APPROVAL



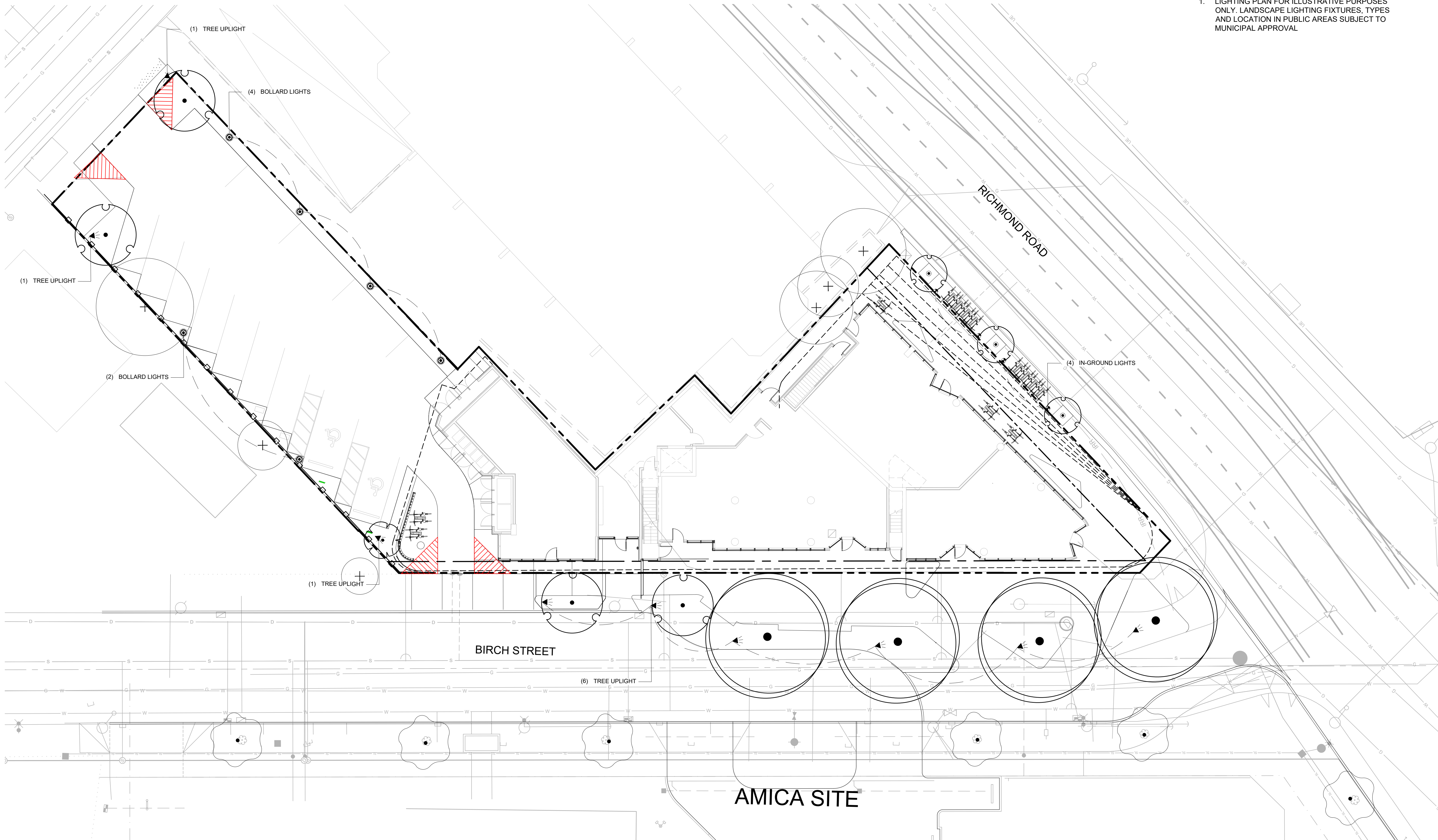
1608 Camosun Street, Victoria BC V8T 3E6
Info@biophilialcollective.ca 250 590 1156

OWNER/CLIENT:
EMPRESA PROPERTIES

PROJECT NAME:
TURNER SITE

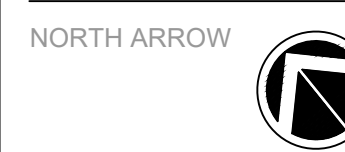
PROJECT ADDRESS:
**2002 RICHMOND RD
VICTORIA, BC.**

DESIGNED BY: BIANCA BODLEY
DRAWN BY: GRACE MORAZZANI



NO.	ISSUE	MMDDYY
3	ISSUED FOR DP RESUBMISSION	2/9/2024
2	ISSUED FOR DP/REZONING	10/11/2023
1	ISSUED FOR DEVELOPMENT TRACKER	08/08/2023

SEAL



DRAWING TITLE:
**LIGHTING PLAN
LEVEL 1**

DWG NO:

SCALE: 1:150 **L4.01**

LEGEND

- PROPERTY LINE IRF
- BUILDING ABOVE RO
- CURB LINE

LIGHTING SCHEDULE ROOFTOP

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	2024-02-05 16:42
◀	TREE UPLIGHTS	5	



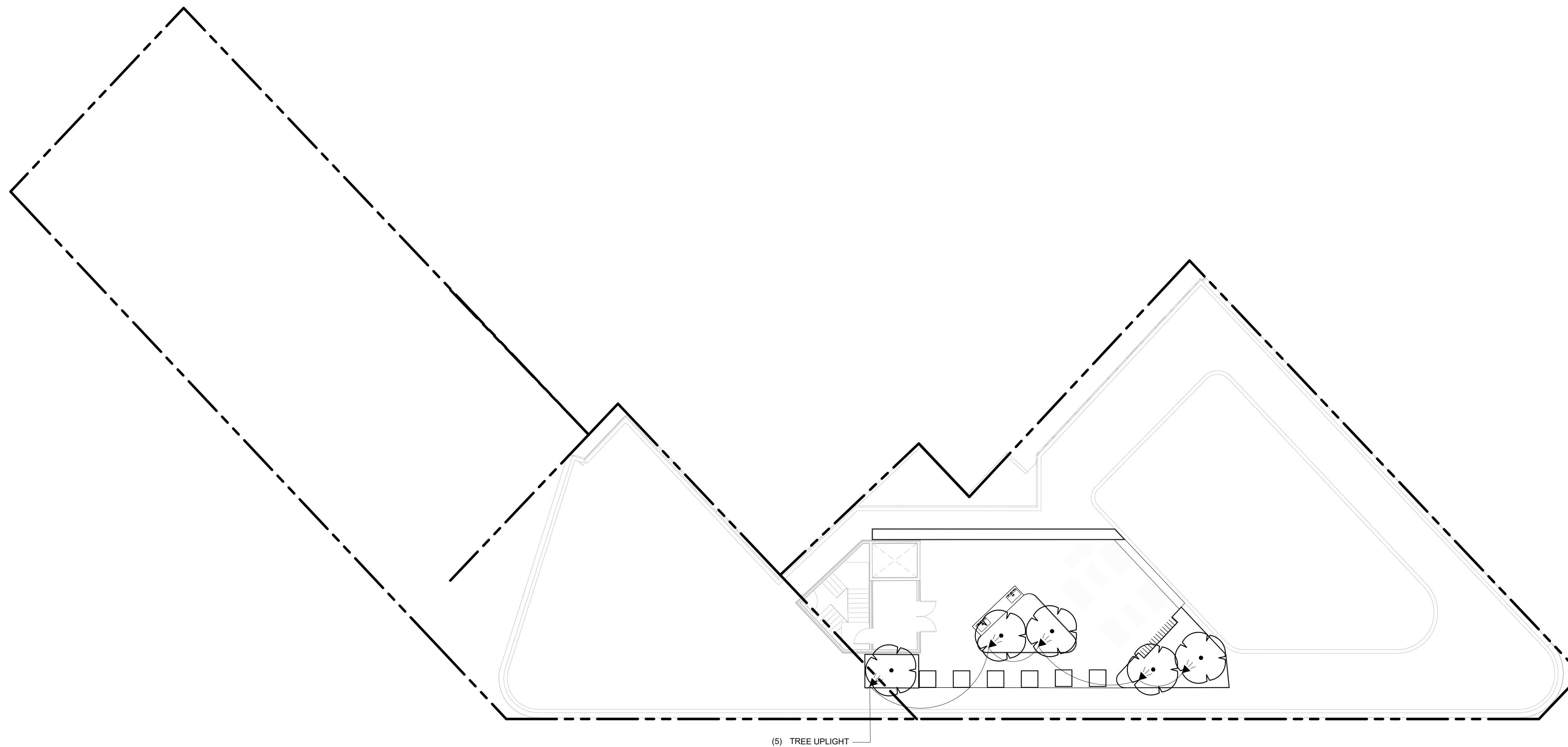
1608 Camosun Street, Victoria BC V8T 3E6
 Info@biophilacollective.ca 250 590 1156

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DESIGNED BY: **BIANCA BODLEY**
 DRAWN BY: **GRACE MORAZZANI**



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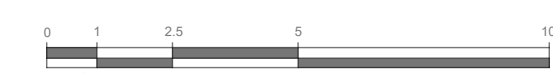
SEAL

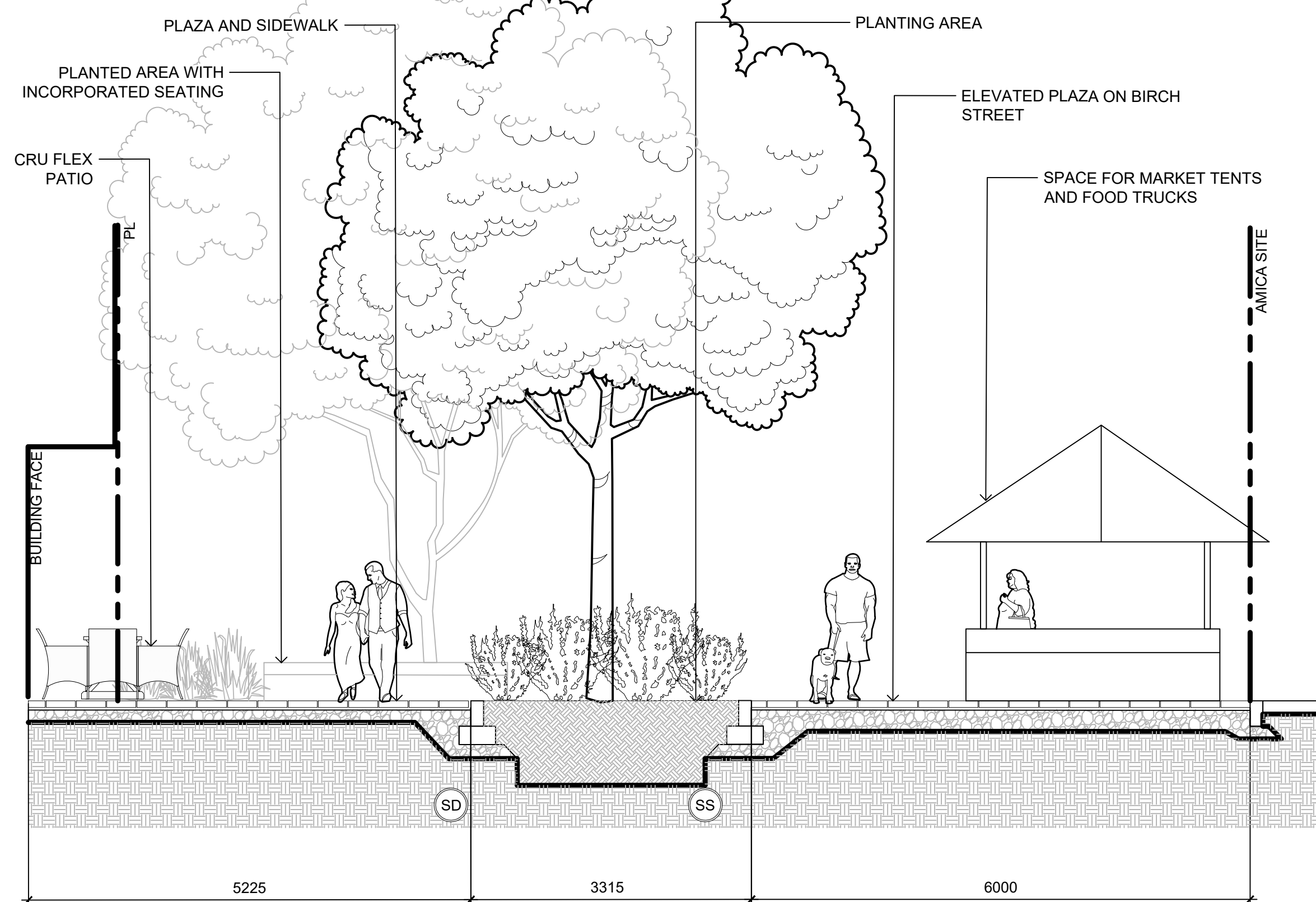
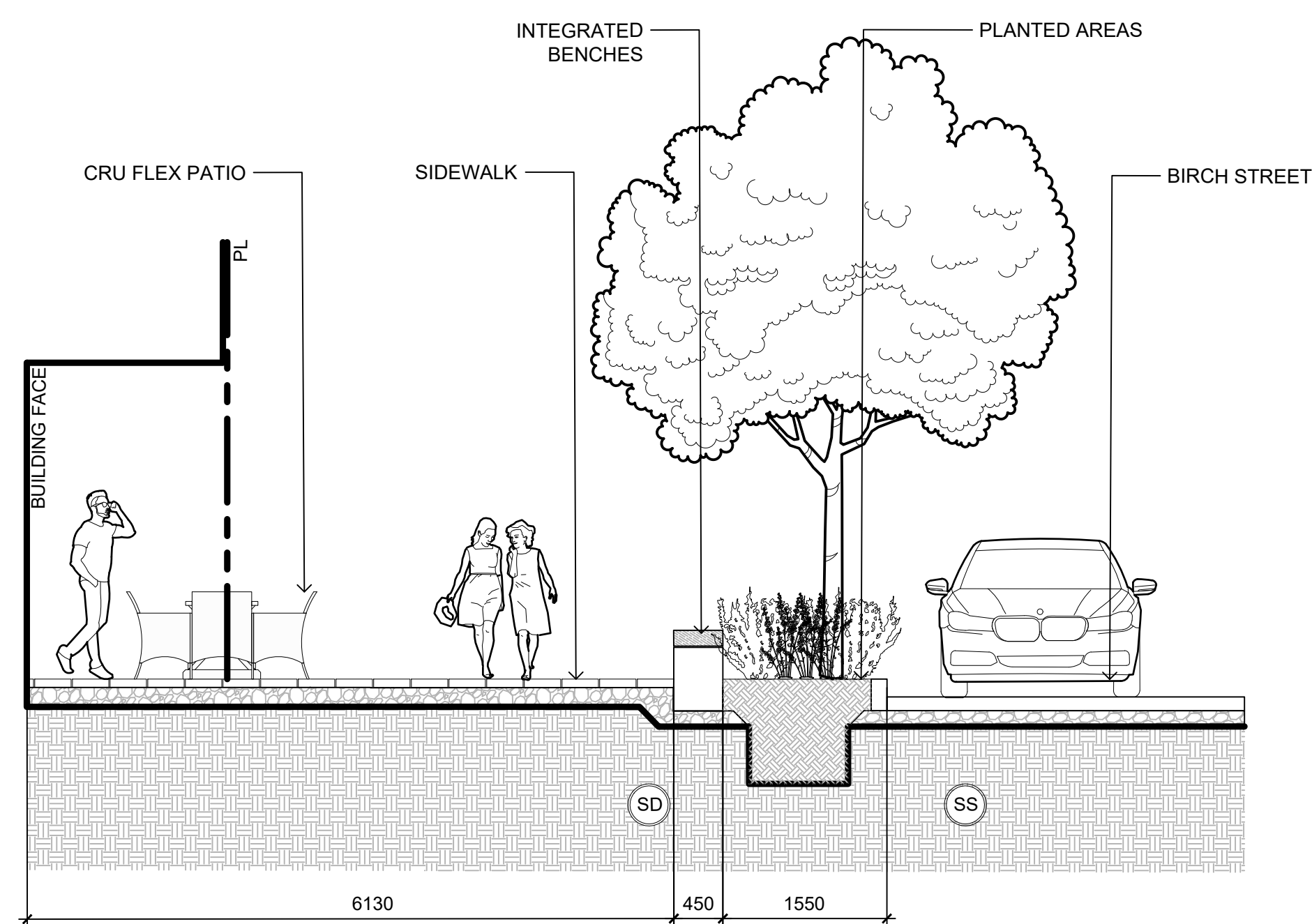
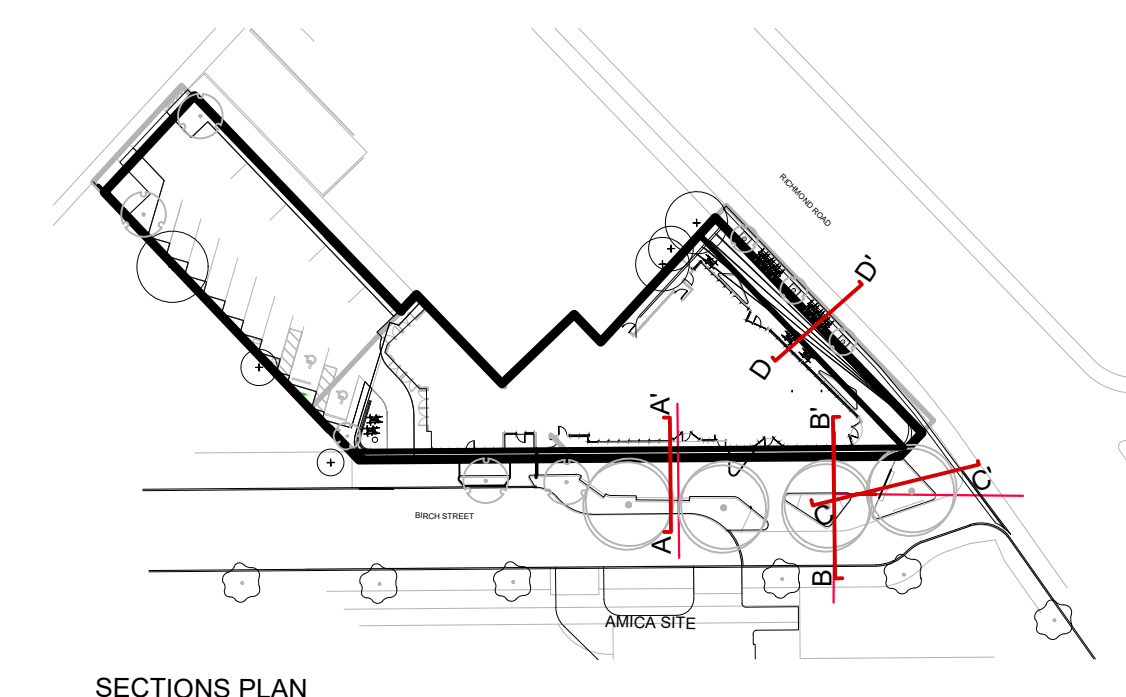


DRAWING TITLE:
**LIGHTING PLAN
 ROOFTOP**

DWG NO:

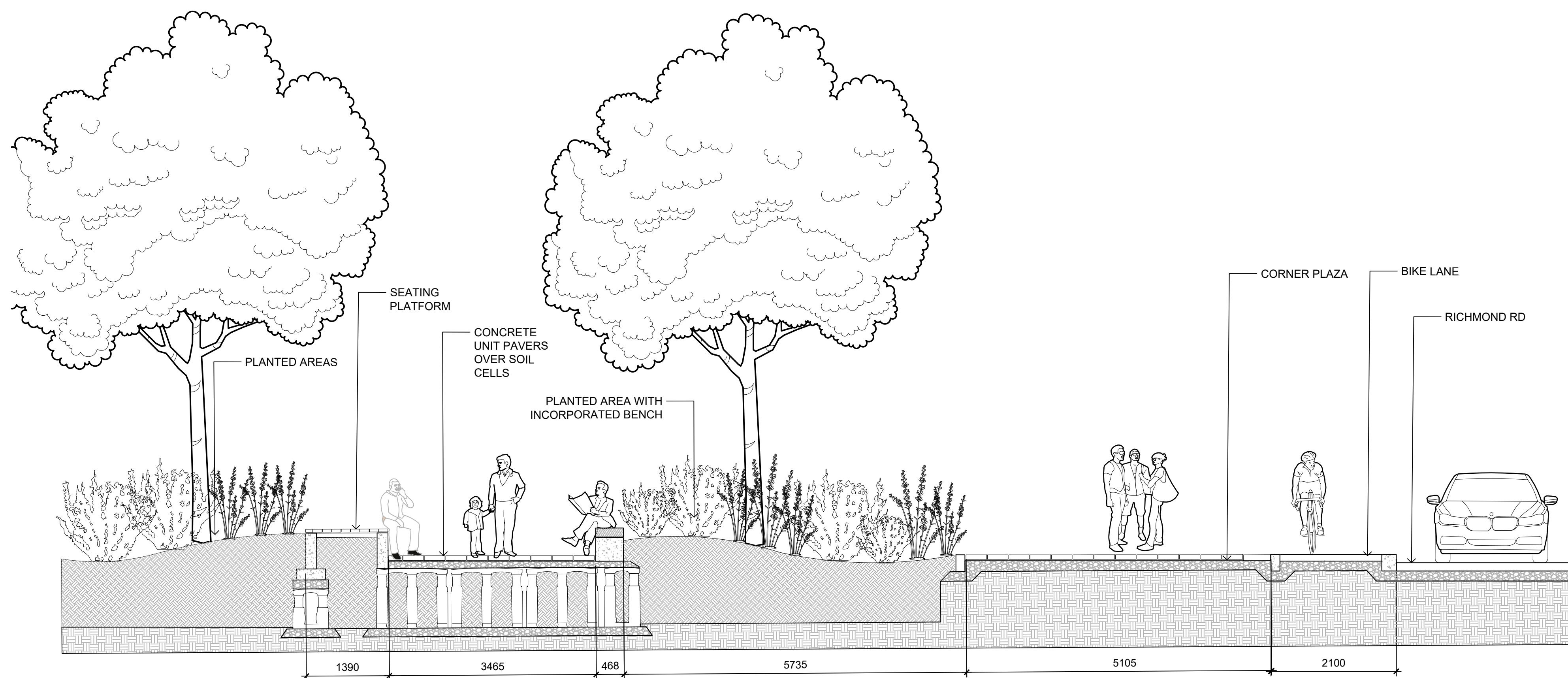
SCALE: **1:150** **L4.02**



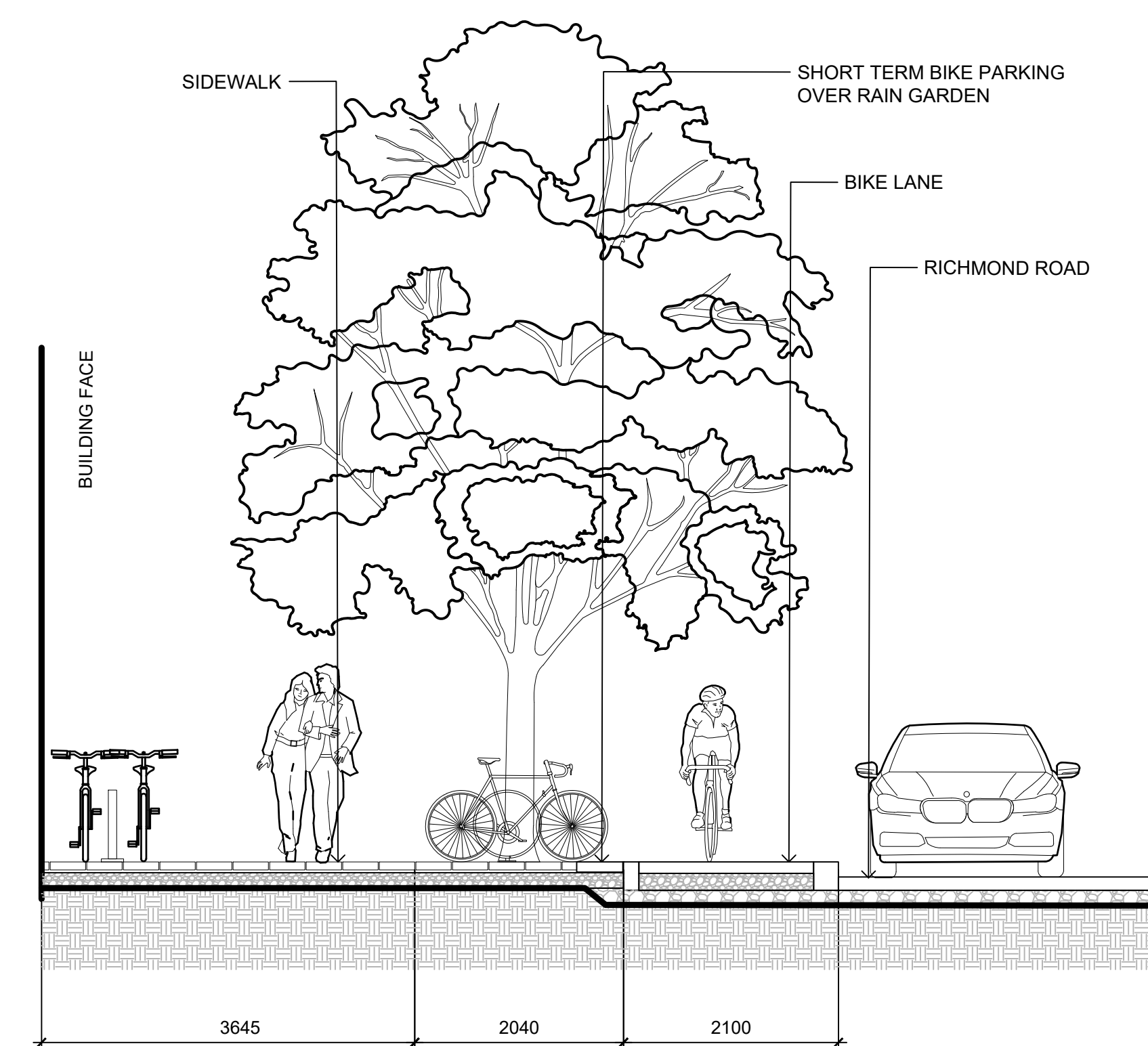


1 SECTION A-A: BIRCH STREET
1:50

2 SECTION B-B: ELEVATED PLAZA
1:50



3 SECTION C-C: CORNER PLAZA
1:50



4 SECTION D-D: RICHMOND ROAD
1:50

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2	ISSUED FOR DP/REZONING	10/11/2023
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NO.	ISSUE	MM/DD/YY

SEAL

NORTH ARROW



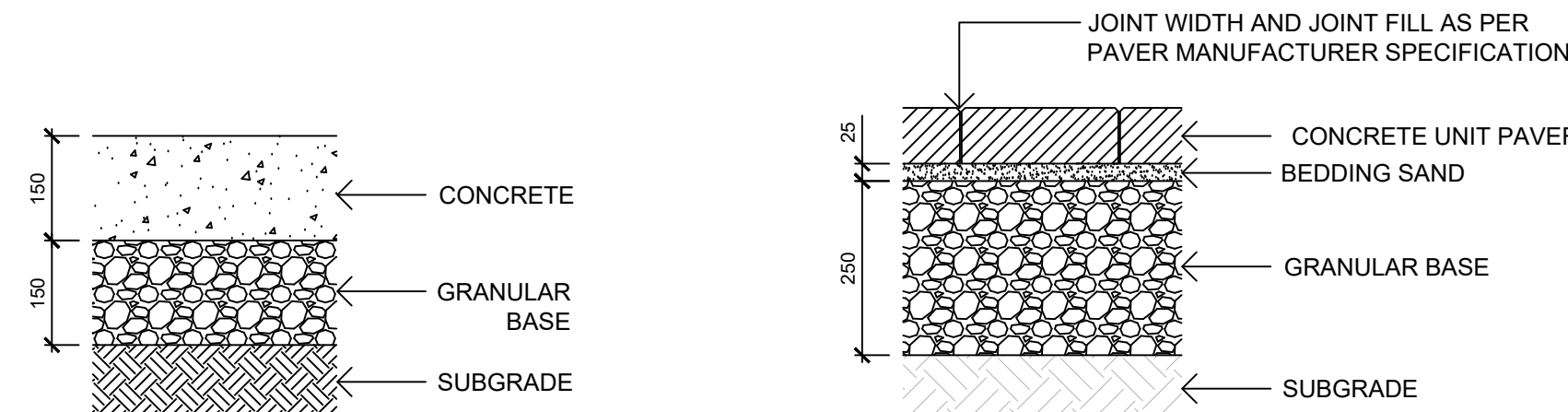
DRAWING TITLE:
SECTIONS

DWG NO:

SCALE: 1:50

L5.01

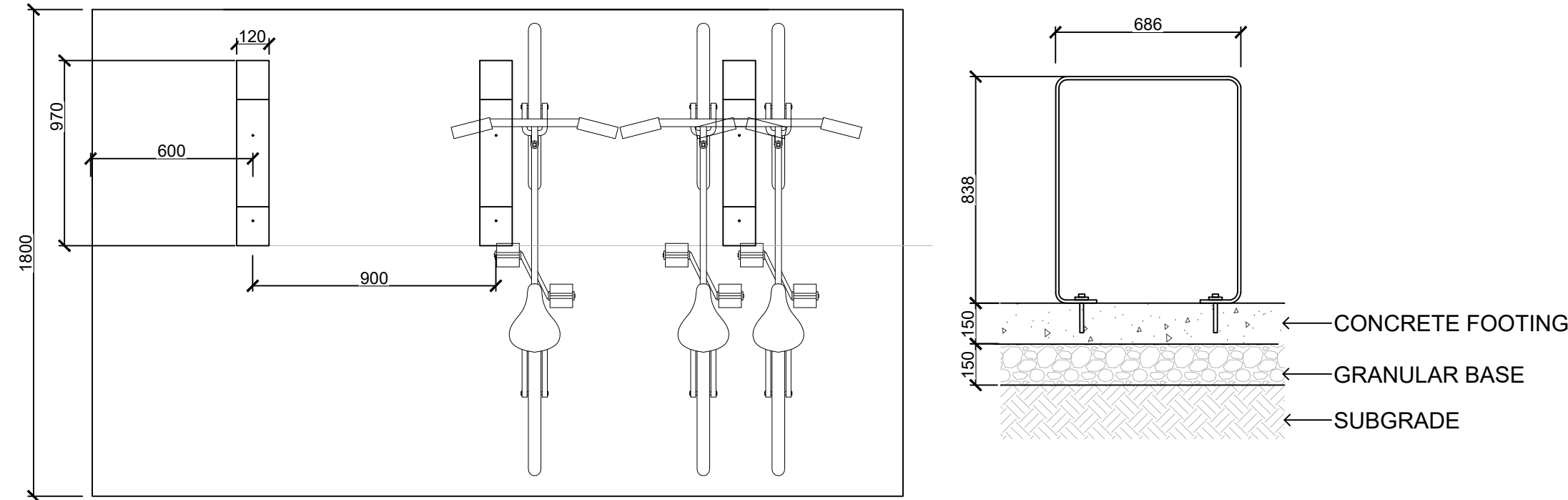




- SUBGRADE AND GRANULAR BASE TO BE COMPACTED TO MIN. 95% MPD.
- CONCRETE SIDEWALK TO MMCD/MUNICIPAL SPECIFICATIONS
- SUBGRADE AND GRANULAR BASE TO BE COMPACTED TO MIN. 95% MPD.
- GRANULAR BASE TO BE COMPACTED IN MAX. 100mm LIFTS.
- PAVER AND PAVER INSTALLATION TO MMCD AND MANUFACTURER'S SPECIFICATION UNLESS NOTED OTHERWISE.

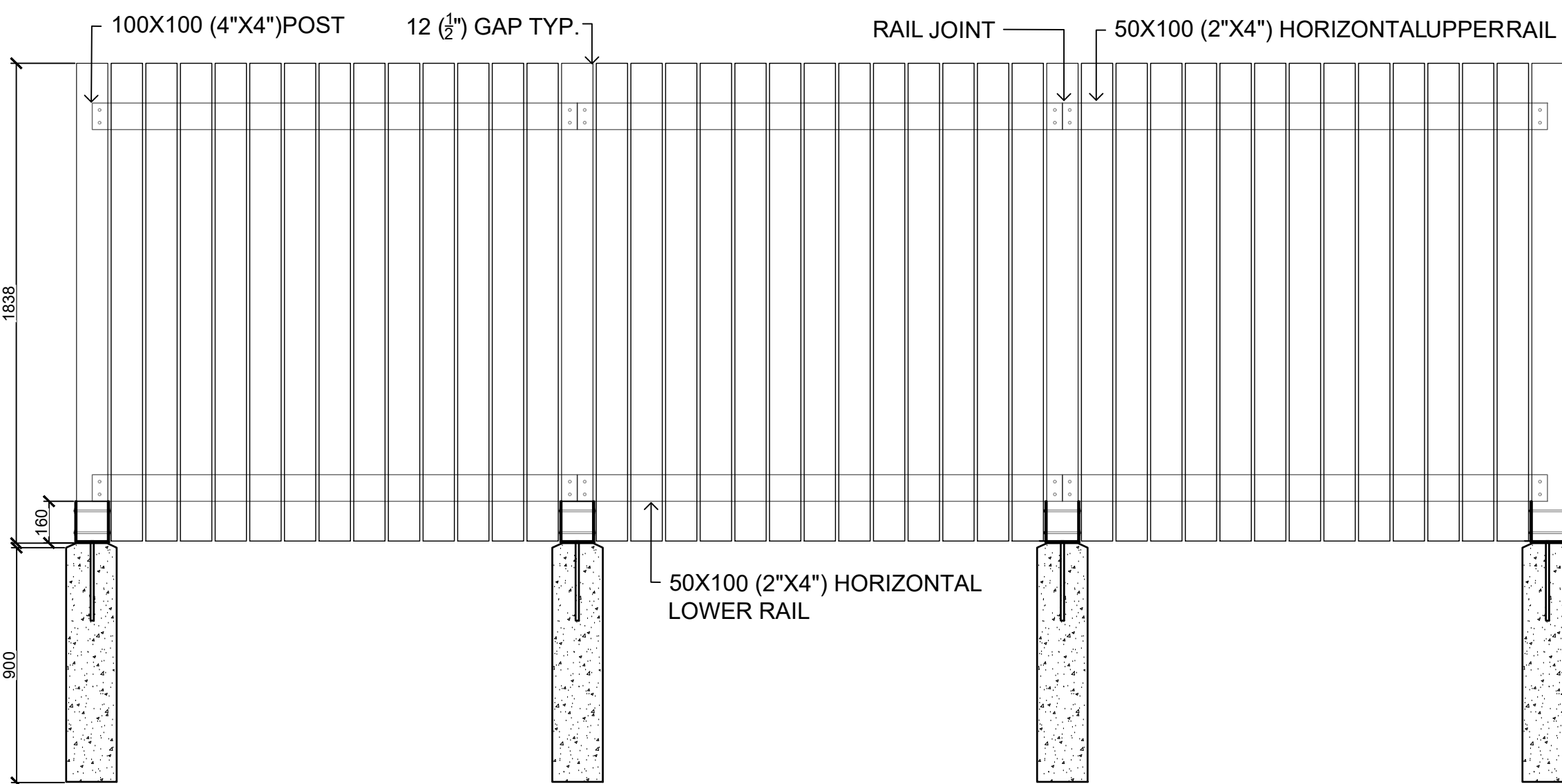
1 PAVING TYPE 1: CIP CONCRETE
1:10

2 PAVING TYPE 2: CONCRETE UNIT PAVERS
1:10



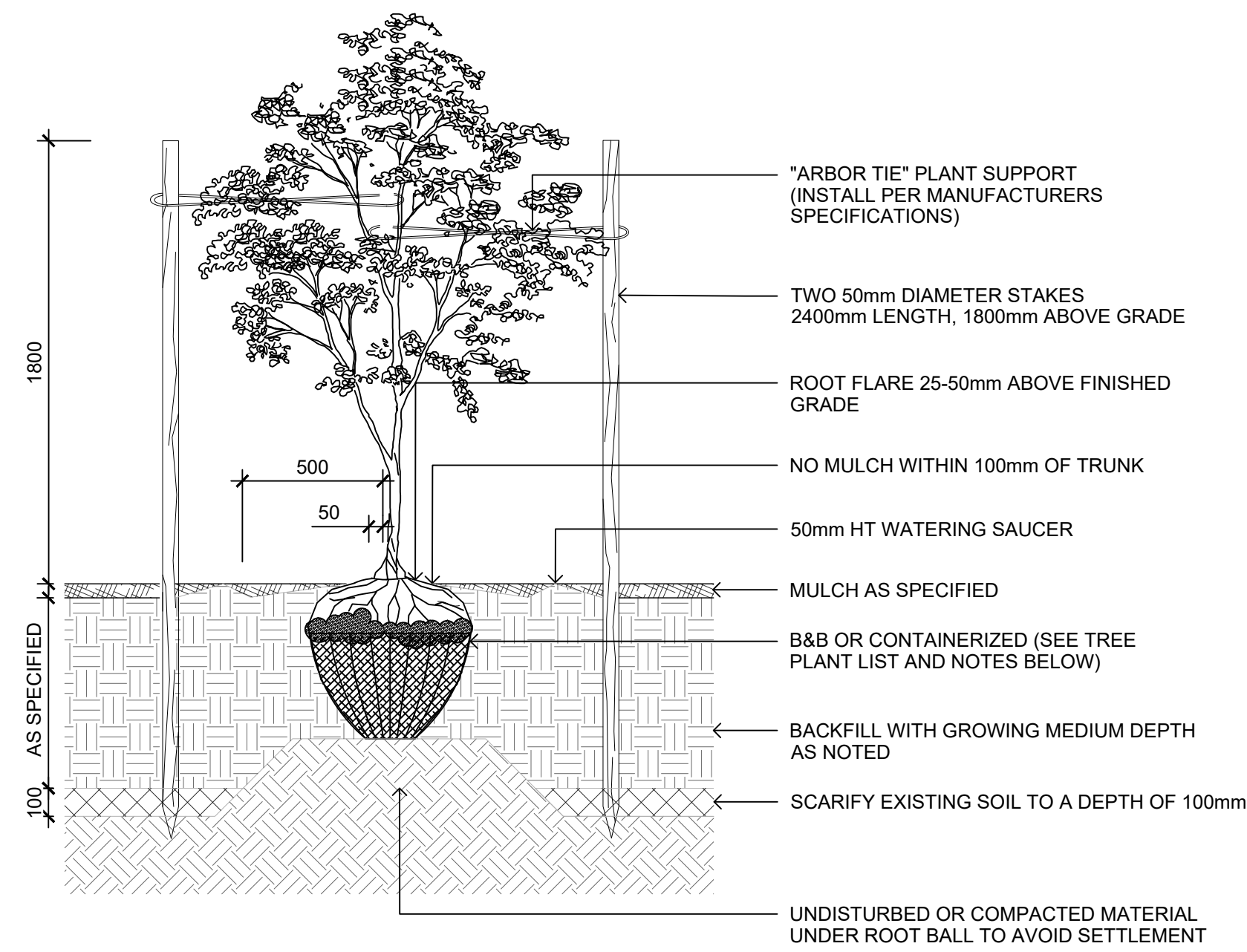
- NOTES:
- BIKE RACK INCLUDES INSTALLATION OF CONCRETE FOOTINGS. ENSURE GRANULAR BASE TO BE COMPACTED TO MIN. 95% MPD. CONCRETE TO MMCD SPECIFICATIONS.
 - STEEL TO BE 50/10 THICKNESS; HOT-DIPPED GALVANIZED AS PER ASTM A123 AND HAND GROUND AFTER GALVANIZATION, PRIMED WITH A ZINC-RICH EPOXY PRIMER AND POWDERCOATED WITH A POLYESTER TRY-GLICIDYLISOCYANURATE (TGIC) FINISH 4mm THICK. COLOUR: SILVER
 - SURFACE MOUNT WITH TAMPERPROOF BOLTS.
 - SHOP DRAWING REQUIRED FOR APPROVAL PRIOR TO FABRICATION.

3 BIKE RACKS
1:20



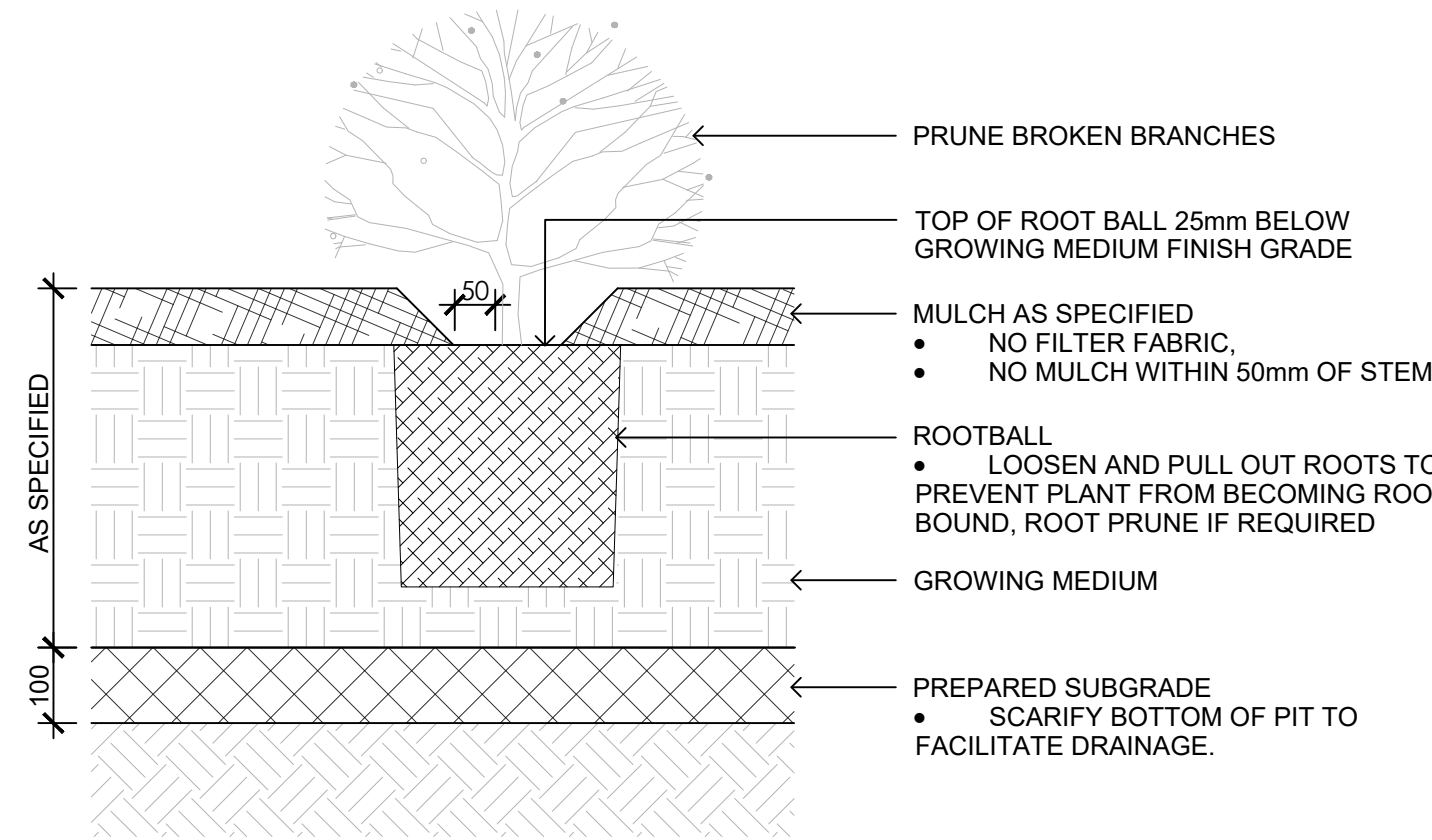
- NOTES:
- FINISHED SIDE OF FENCE TO FACE ADJACENT PROPERTY
 - ALL LUMBER TO BE SMOOTH, FINISHED 4 SIDES, CLEAR GRADE SEASONED CEDAR - ALL RIPPED BOARDS TO BE PLANED SMOOTH
 - ALL SCREWS TO BE POLYMER COATED EXTERIOR WOOD SCREWS
 - ALL NUTS AND WASHERS TO BE SELF LOCKING STAINLESS STEEL
 - POST BASE ANCHOR TO BE BLACK POWDER COATED STEEL

7 FENCE
1:10



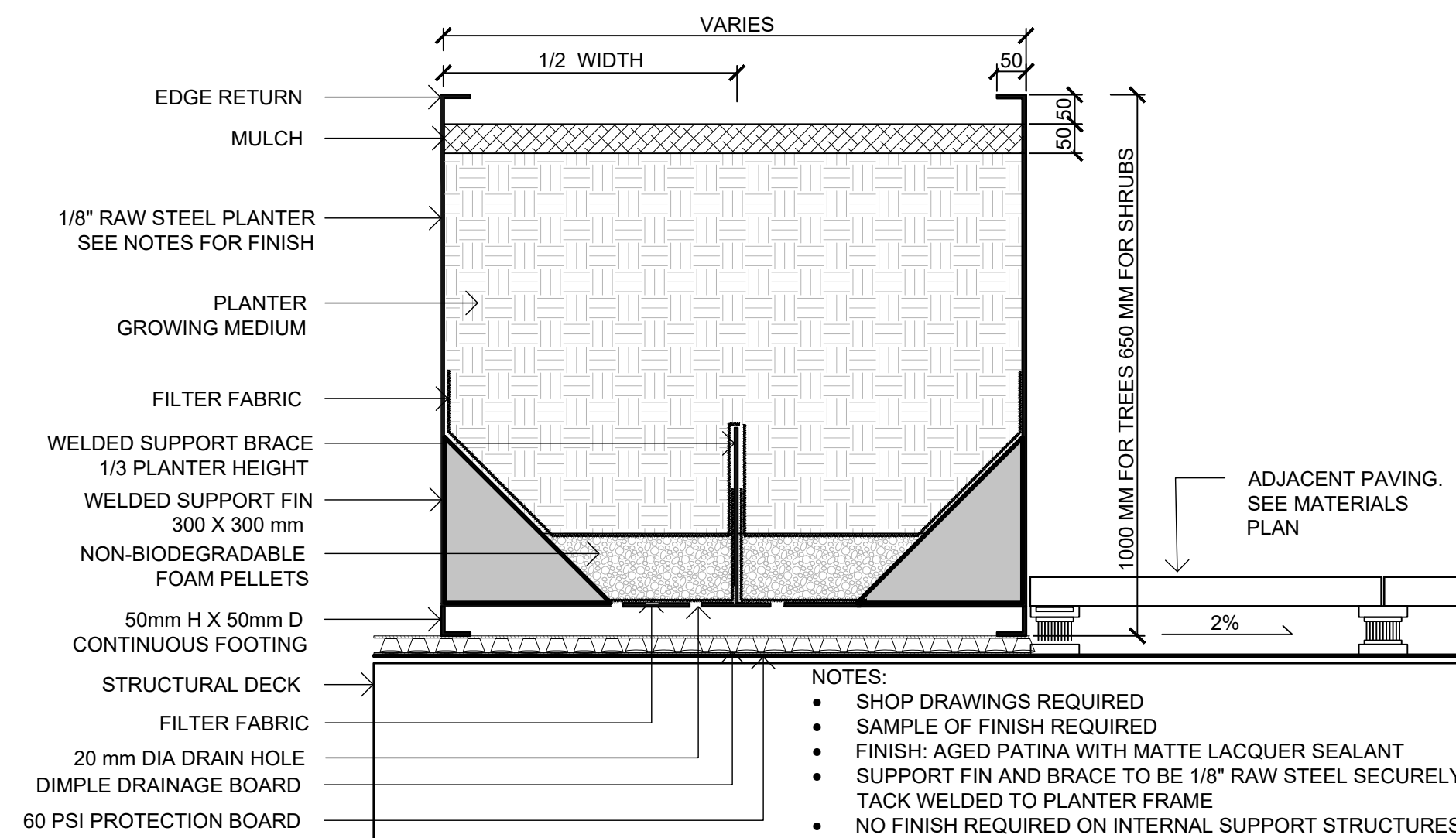
- NOTES:
- CONTRACTOR SHALL INSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION
 - FOR B&B: REMOVE TOP 1/3 OF BURLAP AND CAGE PRIOR TO BACKFILLING WITH GROWING MEDIUM
 - FOR CONTAINERS: LOOSEN ROOT STRUCTURE AND ENSURE NO CIRCLING ROOTS BY LIGHT ROOT PRUNING
 - INSTALL TREE TIE AT APPROX. 50% OF TREE HT. FOR CONIFERS LESS THAN 3m HT. AND 100mm BELOW LOWEST BRANCH FOR DECIDUOUS LESS THAN 100mm CAL. DO NOT REMOVE OR CONSTRAIN ANY BRANCHES.
 - STANDARD TREE PLANTING DETAILS TO BE APPLIED ACCORDINGLY TO TREES PLANTED IN PLANTERS
 - TREE PLANTING ON MUNICIPAL PROPERTY TO MUNICIPAL STANDARD DETAIL

4 ON-GRADE TREE PLANTING
1:10



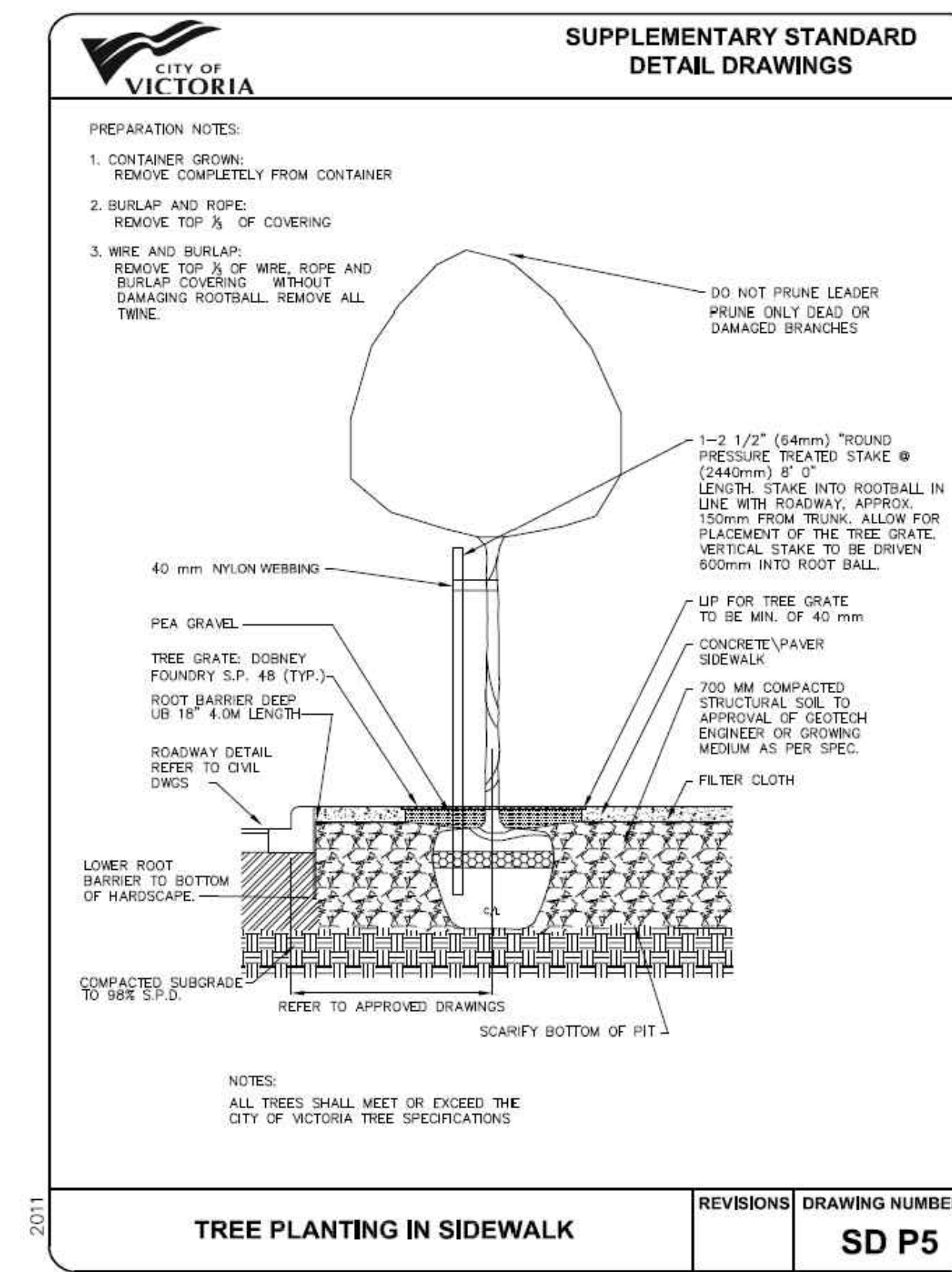
- NOTES:
- SHRUB PLANTING AS PER WRITTEN SPECIFICATIONS
 - GROWING MEDIUM AND MULCH AS PER WRITTEN SPECIFICATIONS

6 ON-GRADE SHRUB PLANTING
1:10

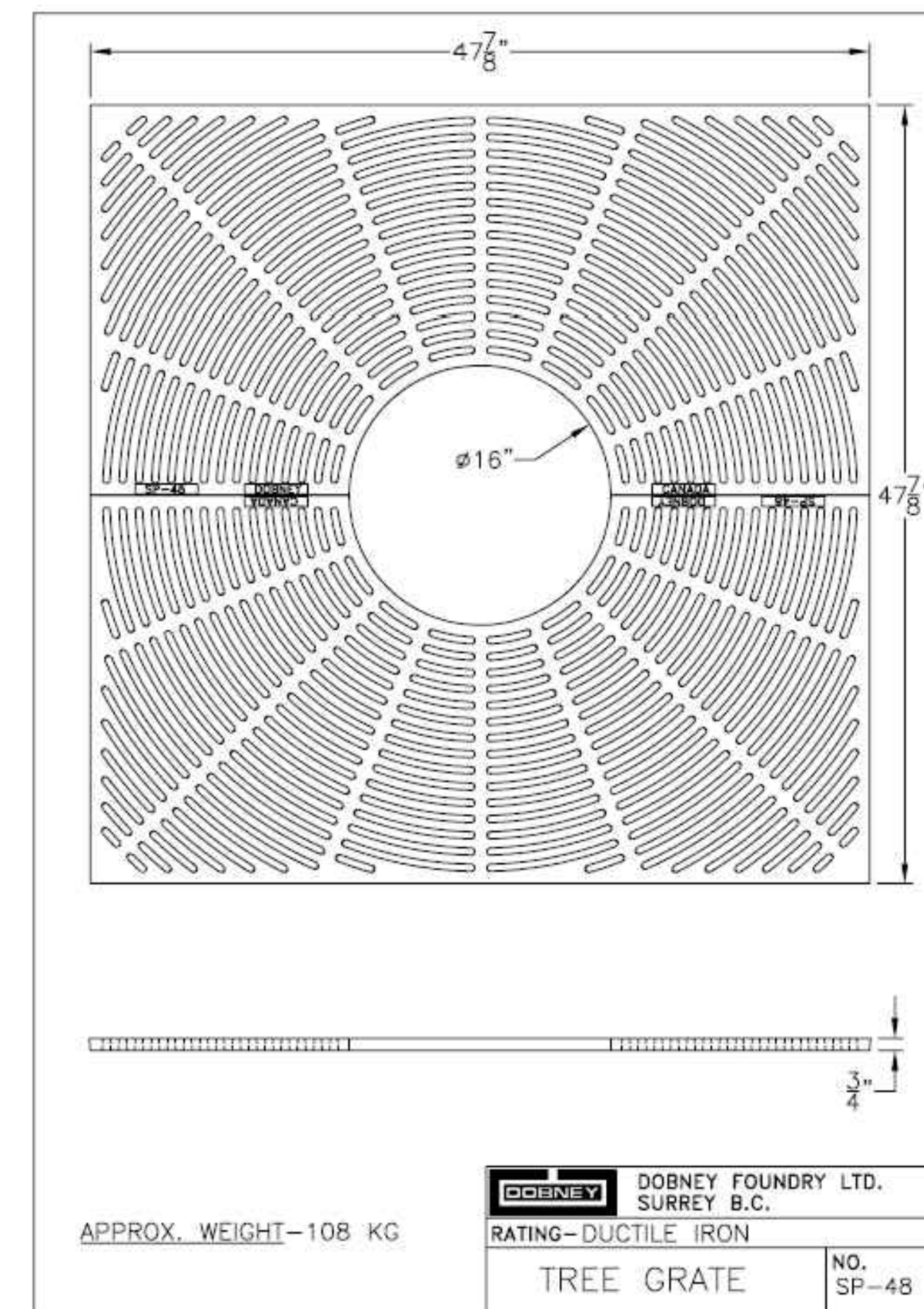


- NOTES:
- SHOP DRAWINGS REQUIRED
 - SAMPLE OF FINISH REQUIRED
 - FINISH: AGED PATINA WITH MATTE LACQUER SEALANT
 - SUPPORT FIN AND BRACE TO BE 1/8\" RAW STEEL SECURELY TACK WELDED TO PLANTER FRAME
 - NO FINISH REQUIRED ON INTERNAL SUPPORT STRUCTURES

8 METAL PLANTERS
1:10



5 ON-GRADE TREE PLANTING
1:10



9 TREE GRATE
NTS



1608 Camosun Street, Victoria BC V8T 3E6
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SEAL

NORTH ARROW

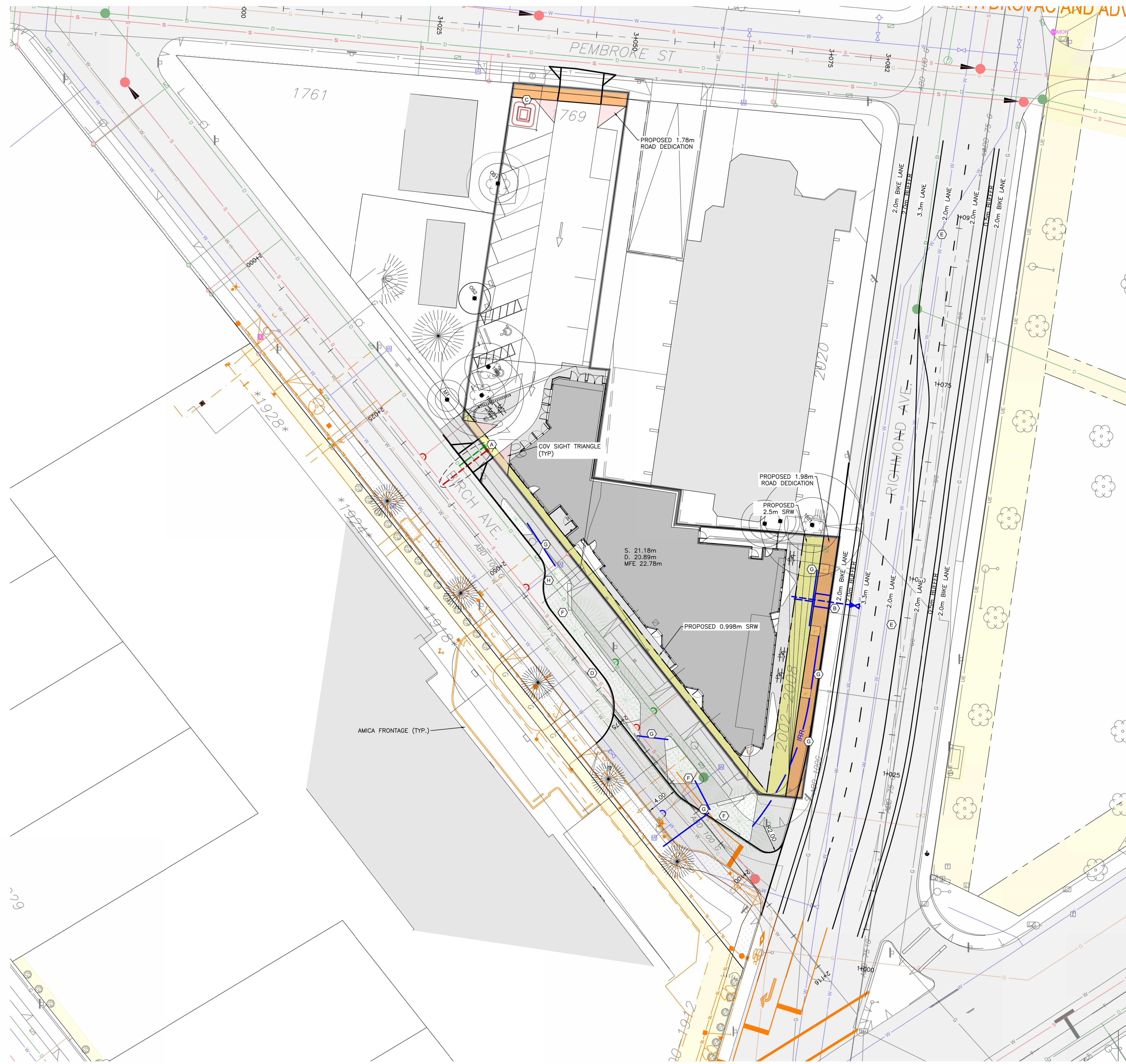


DRAWING TITLE:
DETAILS

DWG NO:

SCALE AS SHOWN

L6.01



- SHEET NOTES:**
- (A) PROPOSED 150 STORM AND SANITARY SERVICES. SIZING. DETAILS TO BE CONFIRMED AT BUILDING PERMIT STAGE.
 - (B) PROPOSED DOMESTIC AND FIRE WATER SERVICES. DETAILS TO BE CONFIRMED AT BUILDING PERMIT STAGE.
 - (C) PROPOSED HYDRO SERVICING. CONCEPTUAL ONLY. PENDING HYDRO REVIEW.
 - (D) PROPOSED BIRCH STREET CURB REALIGNMENT. SEE ARCHITECT PLANS FOR PLAZA DETAILS.
 - (E) PROPOSED RICHMOND AVENUE ULTIMATE FRONTAGE. CONTRACTOR TO INSTALL NEW CURB AND BIKE LANE ACROSS FRONTAGE. REMAINING WORK TO BE DONE BY CITY OF VICTORIA.
 - (F) RUNOFF FROM THE PLAZA TO BE MANAGED THROUGH THE SOILS CELLS. MINIMUM VOLUME TARGET IS 32MM/24-HR RAINFALL EVENT. SOIL CELLS TO HAVE STORAGE, UNDERDRAIN AND OVERFLOW TO CITY STORM MAIN. DETAILS TO BE CONFIRMED AT BUILDING PERMIT STAGE.
 - (G) PROPOSED IRRIGATION SLEEVING UNDER HARD SURFACES. ALL WORK TO BE AS PER SCHEDULE C TO THE VICTORIA SUBDIVISION AND DEVELOPMENT SERVICING BYLAW 12-042. DESIGN TO BE CONFIRMED AT BUILDING PERMIT STAGE.
 - (H) EXISTING WATER SERVICE TO BE CONVERTED TO IRRIGATION SERVICE. DESIGN TO BE CONFIRMED AT BUILDING PERMIT STAGE.

LEGEND			
LAMP STANDARD	⊕LS	CLEANOUT	□
POLE (Hydro, Tel.)	⊕PP	CATCHBASIN	⊕
U/G WIRING	—UE	MANHOLE	⊕
GAS	—G	SERVICE RISER	⊕
WATER	—W	MOUNTABLE CURB	MC
SEWER	—S	NON-MOUNT. CURB	NMC
DRAIN	—D	EDGE ASPHALT	—
		DITCH	—
		METER	⊕
		FLUSH VALVE	⊕
		VALVE	⊕
		REDUCER	⊕
		HYDRANT	⊕
		AIR VALVE	⊕

**2002 RICHMOND AVENUE
FOR CO-ORDINATION
PRELIMINARY SERVICING -
ULTIMATE FRONTAGE**

Scale 1:250 Scale N/A
horiz. vert.
Sheet 1 of 1
Eng. Project No. 34456
Drafted by. RT/JA



JEA J E ANDERSON & ASSOCIATES

SURVEYORS - ENGINEERS
VICTORIA NANAIMO PARKVILLE CAMPBELL RIVER
PHONE: 250-727-2214 info@jeanderson.com

PRELIMINARY ONLY



February 09, 2024

City of Victoria
No.1 Centennial Square
Victoria BC
V8W 1P6

Attn.: Mayor & Council

**Re: 2002 Richmond Road, 1909 Birch Street, 1769 Pembroke Street
Rezoning and Development Permit Application**

Cascadia Architects is pleased to submit, on behalf of Empresa Properties Ltd., a Rezoning and Development Permit Application for the properties located at 2002 Richmond Road, 1909 Birch Street, and 1769 Pembroke Street, commonly referred to as the "Turner Site". The application proposes the construction of a 6-storey 55-unit mixed-use commercial and residential building that carefully responds to the relevant 2012 Official Community Plan directions, the 1996 Jubilee Neighbourhood Plan and City of Victoria Design Guidelines for Multi-Unit Residential projects.

For many years the art-deco inspired building, home to *Turner's News* and *Ian's Coffee Stop*, was a gathering place for residents of North Jubilee and staff at the Jubilee Hospital, and despite the uninviting urban environment around the building, the site was arguably the heart of the Jubilee Neighbourhood. The design team's vision for this application is to create a project that renews that neighbourhood center as a visual landmark for the area and an improved urban environment that explicitly welcomes people by providing generous and attractive public realm amenities. In keeping with this vision, the building is proposed to include animated ground floor uses such as a café and restaurant, as well as purpose-built rental residential homes on 5 floors above the ground level .



In preparing this Development Tracker pre-application package, the design team has received preliminary input from the both the North Jubilee and South Jubilee Neighbourhood Association Executive Committees, as well as local residents, City staff, and specialist consultants, including a transportation planner, landscape architect, and civil and geotechnical engineers. The public consultation and review process to-date included the following meetings:

- Multiple Planning Meetings – with City of Victoria staff from Planning, Engineering, Parks, and Transportation, as well as Council representatives.
- Presentation to 2020 Richmond Road Strata Council – May 2, 2023
- Presentation to NJNA Executive Committee – May 30, 2023
- Presentation to SJNA Executive Committee – June 6, 2023

CASCADIA ARCHITECTS INC
101-804 Broughton Street
Victoria BC, V8W 1E4
Canada

T 250 590 3223

www.cascadiaarchitects.ca
office@cascadiaarchitects.ca

A Corporate Partnership
Principals

GREGORY DAMANT
Architect AIBC, LEED AP

PETER JOHANNKNECHT
Architect AIBC, LEED AP,
Interior Architect AKNW Germany

- Pre-CALUC Community Meeting – June 27, 2023
- CALUC Community Meeting – September 13, 2023
- Milliken Developments (Joint owners of the Amica Building) – October 3, 2023

Existing Zoning, Site Characteristics, and the Jubilee Neighbourhood Plan:

The two parcels on Birch and Pembroke are currently zoned R1-B for single family homes, and the corner property is zoned C-1 for commercial and residential uses up to 3 storeys. The current total site area is approximately 1,587 sq.m.. Proposed land dedications along Richmond Ave and Pembroke St. would reduce the site area to 1,493.8 sq. m.. This area is well-integrated with the public transit and the AAA bicycle networks and is valued for its proximity to the Jubilee Hospital and the Fort and Foul Bay shopping center, as well as to downtown and UVIC via the transportation networks. Victoria's Official Community Plan suggests this area can be re-developed to 6 storeys in height, with a density of up to 2:1 where Plan objectives are advanced.

Description of the Proposal:

The proposed development capitalizes on the slender, triangular shape of the corner property to create a distinctive flat-iron inspired building of 6 storeys, paying homage to the former Turner building, while containing 55 residential units building in a mix of studio, 1-bedroom, and 2-bedroom configurations. The elegant architectural form proposed for the building will elevate this corner, and immediately create a unique landmark in the city as a clear expression of the North Jubilee location and identity. The building massing in this proposal is concentrated at the Birch & Richmond intersection, due to the awkward shape and width of the panhandle of the site that extends to Pembroke. The design team is proposing to use that area as a landscaped parking surface for the project, due to the inability to provide viable underground parking within the convoluted site boundary. This preserves the current open condition of the site where it is adjacent to single-family homes and keeps available the option of future coordinated development with the 2 properties at Birch and Pembroke, resulting in a superior 'neighbourhood fit' for that end of the block.

The project also proposes to create a significant community amenity in partnership with the City of Victoria, by closing the end of Birch Street as it intersects Richmond Road (except for service and emergency vehicle access) to create a public plaza that will extend and amplify the positive pedestrian-oriented activity created by the ground floor commercial spaces. This public plaza will feature stormwater management landscapes, and areas for public seating and presentation. It will also accommodate various temporary uses such as a small neighbourhood farmers' market, street musicians, and occasional food trucks or carts. The ground-level experience will be further enhanced by providing the City with volumetric SRWs on all sides to allow for greater pedestrian and cycling mobility, despite the additional challenges this poses for development on the narrow site. These significant public realm enhancements demonstrate the proponent's commitment to creating a true neighbourhood heart in this location. Accompanying the application is a cost-sharing proposal from the applicant, Empresa Properties.

The project team is dedicated to carrying on the legacy of the past uses of the site through imagery and artwork. The semi-permanent site furniture is proposed to be imprinted with historical imagery. Other opportunities for historical imagery exist, including public areas of the building like the bike rooms and the residential lobby. Further consultation with community members, tenants, and owners is required to finalize the concept.

The proposal's key characteristics can be evaluated against the **2012 Official Community Plan, and 1996 Jubilee Neighbourhood Plan** goals as follows:

- The proposal will require an OCP amendment to accommodate the increase in proposed density to 2.95:1, beyond the 2:1 OCP suggested threshold. As illustrated in the accompanying drawings (A052), the increased density largely results from creating a viable floor plate at the OCP height vision within the constraining site geometry. The case for this amendment is very strong, based on the proposed rental tenure for the residential units, the site's proximity to the adjacent Large Urban Village, and the extent of proposed public realm improvements on a site that has proven financially unfeasible to develop for decades. In all other respects the intent of the Official Community Plan is fully achieved:
 - 6 storey height limit,
 - Improvement to pedestrian and cycling infrastructure around the Jubilee,
 - Intensification of commercial and residential uses,
 - Strengthening of the Large Urban Village centered at Fort Street and Richmond Road.
- The Jubilee Plan dates from 1996, and so is not as current as the OCP, but this proposal nevertheless addresses many of the objectives of the LAP:
 - By revitalizing a derelict site, the proposal is increasing safety and security in the area, (Community Objective 2.3)
 - The active, publicly accessible ground floor uses provide a significant community amenity that also, by virtue of the outdoor enhancements, acts as a potential gathering place for all residents, (informally, toward the intent of Community Objective 2.4) and enhances public safety (Commercial Objective 5.3.4)
 - By creating rental residential units at a variety of sizes close to a major employer that also is a major provider of healthcare services for the area, and in particular seniors, the project meets a crucial need for housing, (Housing Goal 3.2)
 - By massing the development at Richmond and Birch, the project keeps the built form away from the single-family zone, and preserves the opportunity for future, transitional development at the NW corner of the block (Housing Objective 3.3.1 and 3.4.10),
 - By providing rental housing (Housing Objective 3.3.8),
 - Although the existing art-deco inspired Turner Building is not salvageable and not listed as a Heritage feature in the neighbourhood, the proposal does reference key characteristics of the well-loved structure. The design maintains the distinctive bullnose profile at the corner of Richmond and Birch, as well as the corner entry location and configuration, and café / restaurant uses. Additionally, ground floor exterior finishes will include glazed black ceramic tile in reference to the original finish at the base of the Turner Building. In these ways the new development acknowledges the intent of the Heritage Objectives (4.3) in the LAP.
 - The project also adds commercial growth in an appropriate location (Commercial Objective 5.3) and creates a distinctive character for this area of the neighbourhood (Commercial Objective 5.3.2) as well as mixing commercial and residential uses (Commercial Objective 5.3.3),
 - By creating an accessible public landscaped area for local use the proposal addresses the intent of the intent of the Parks Objectives (7.3.1, 7.3.2, 7.3.4, 7.3.5),
 - The closure of Birch Street to cut-through type traffic use, the enhancement of boulevard landscaping, and the creation of the separated bike lane on Richmond Road will address Transportation Objectives (8.3.2, 8.3.3, 8.3.4, 8.3.6)

Exterior Finishes:

Due to the tight triangular site creating a challenging shape to achieve functional floorplates for residential use, the building is designed to use all the available area between Birch Street and Richmond Road, pushing the building faces right to the property lines at the residential levels 2 to 6. The architectural expression must therefore be achieved by the simplicity of sculptural form, without dramatic articulation. The slender bullnose at the corner of Richmond and Birch establishes the dominant character of the building and along the primary frontages of Birch Street and Richmond Road, the building is composed of horizontal bands of vertical fins, rendered in a high-quality metal finish that will vary in its colour and radiance depending on the lighting conditions. This composition creates an elegant, stretched façade proportion along Birch, and then sweeps around the Richmond corner to create the strong fan-like shape as the building steps outward over the generous sidewalk on Richmond. The ground floor is properly recessed, creating weather-protected areas for seating, and giving the building a sense of lightness, as the upper floors 'float' over the ground floor.

The ground floor recalls the previous Turner Building in its materiality of clear glass storefronts framed by grey concrete structure and glazed black ceramic tiles. Access to the ground floor CRUs is via doors that match the original locations and geometry of the Turner Building. High quality paving materials and patterns connect the building's architecture to the forms of the public plaza landscape, where bullnose planters and triangular seating arrangements interspersed with groups of trees create a variety of outdoor spaces suitable to accommodate café patrons, street performers and the public alike.

For building residents, a rooftop garden augments the outdoor access achieved at their units via balconies and Juliet railings and creates a secure gathering and community space for the building.

Transportation and Infrastructure:

The project is exceptionally well situated and served by City of Victoria infrastructure. Schools, parks, and recreation facilities, as well as shopping destinations are all within walking or rolling distance of the site. The future residents will have a range of transportation options available to them. Infrastructure for vehicles, walking, and particularly cycling is immediately accessible from the property, with the newly constructed Fort Street AAA cycling corridors less than a block away.

The project will include 13 surface parking stalls accessed from the driveway at Pembroke Street, including two accessible parking stalls to meet the City bylaw requirement for the commercial space (one being larger to accommodate van parking). Subject to MODO approval, an additional parking stall on-site would be dedicated to a car-share vehicle, and will be supported by an EV charging station. One of the commercial parking stalls will also be provided with an EV charging station.

A large and well-equipped space is available on the main level of the building for cyclists to store and maintain their bikes, whether they ride for fun or as a means of transportation. Providing long-term bicycle parking beyond what's required by Schedule C will help cyclists who ride alone or with their families.. Short-term bicycle stalls are provided directly adjacent to the residential Main Entrance (as per Schedule C), with additional banks of short-term bike parking distributed through the landscape areas and around the commercial units.

In the accompanying Transportation Impact Assessment (TIA) Bunt & Associates has summarized its findings on existing and future traffic operations in the surrounding neighbourhood, project parking supply, rationale for the parking variance, and outlines a Transportation Demand Management (TDM) plan for the project.

Safety and Security:

This development will introduce a new population of residents in the neighbourhood and contribute additional 'eyes on the street'. The overall design has considered passive surveillance of the property, and views to all common areas and access points. The ground floor commercial units will animate the area throughout the day, re-enforcing the street presence with its landscaped area as an active space. Site lighting illuminates the areas around the entire building to promote safety and visibility of landscaped areas. It is important to note that this lighting will be shielded and kept at a lower mounting height in order to avoid glare and light pollution to neighbouring properties. Lastly, access to the building will be secured and available only to the residents and permitted guests.

CPTED (Crime Prevention Through Environmental Design) principles have been employed along the north east exit path along Richmond Road. A fence protects an narrow outdoor pathway, preventing unwanted loitering in a location that has no other public social value.

Sustainable Features:

The following is a list of green building / social sustainability initiatives that will be deployed within the project:

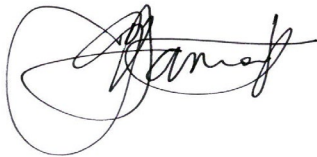
- No existing dwellings or residents displaced during construction,
- Net Positive Housing Creation (55 homes)
- Meeting Step 3 of the BC Energy Step Code as City of Victoria requirement,
- Site is located adjacent to the Richmond Bike Lane (and will improve it to a fully divided lane) and within 250m of the Fort Street Bike Lanes,
- High-efficiency LED lighting throughout common areas and homes,
- Secure bike storage at ground level includes an automatic door with electronic access control,
- Electrical outlets for electric bicycle charging locations within bicycle storage,
- A bicycle wash station and repair stand in convenient location,
- All Parking stalls to have Level 2 EV compatible electrical outlets at building completion, (vehicle energy management system may be required),
- Fresh air ducted to each home, by heat recovery ventilation units,
- No on-site fossil fuel consumption is proposed for residential area services, in anticipation of Victoria's Step 4 Carbon Step Code requirement,
- Stormwater Management Plan implemented during construction, and for street water run-off from public plaza area in final configuration,
- Construction Waste Diversion Plan implemented during construction,
- Community Rooftop Garden for Residents.

In preparing this application package the team has carefully considered community input, City staff input, the relevant Official Community Plan objectives and the Jubilee Neighbourhood Plan. It is our belief that the design for this project is responsive to the neighbourhood context and proposes timeless architecture and public landscapes that will contribute positively to the community experience.

If you have any questions or require further clarification of any part of this application, please do not hesitate to contact our office.

Sincerely,

CASCADIA ARCHITECTS INC.

A handwritten signature in black ink, appearing to read 'Gregory Damant', written in a cursive style.

Gregory Damant, Architect AIBC, RAIC, LEED AP
Principal

A handwritten signature in black ink, appearing to read 'Peter Johannknecht', written in a cursive style.

Peter Johannknecht, Architect AIBC, RAIC, LEED AP
cert. Passive House Designer, Principal